

**BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION**  
**Regular Meeting of February 28, 2022-7 pm**

The Environmental Commission meeting for February 28, 2022, will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link at 7:00 PM.

<https://us02web.zoom.us/j/83901936115?pwd=VnBkOVByY0hiUzdEUXFVbkVZNHZXUT09>

Or by calling 1-646-558-8656 and entering Meeting ID: 829 0193 6115 and Passcode: 777147.

**Meeting Agenda**

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC meeting minutes regular – [January 24, 2022](#)**
- 6. Approval of EC Reorganization minutes - [January 24, 2022](#)**
- 7. Reports and Miscellaneous Correspondence**
  - a. [Roux](#) - Freshwater Wetlands Letter General Permit 10B
- 8. Discussion**
  - a. [Update General Application Comments](#)
  - b. [Annual Report](#)
  - c. Subcommittee Reports
    - i. Applications Review: John Crane (lead) Jim Lamaire, Corey Fischer
    - ii. ANJEC email monitoring / important educational webinars: Nancy Cook (lead) Alice Smyk, Todd Edelstein
      1. [Storm Water Resolution](#)
    - iii. Native Pollinator Group / Plant Sale: Deb DeWitt (lead), Sarah Wolfson
    - iv. Community Outreach / Education: Deb DeWitt (lead), Nancy Cook
    - v. Guerilla Gardening: Sarah Wolfson (lead)
    - vi. Charter Day / AmeriCorps Watershed Project
      1. [Charter Day Information](#)
- 9. Old Business**
  - a. **Status on Current Projects:**
- 10. New Business**
  - a. **Applications**
    - i. [Nash – ZB 21-037 – 61 Archgate Rd](#) – Front Yard Setback for a one-story open porch.
    - ii. [Bhatia – ZB 21-038 – 11 Parkwood Lane](#) – “C” Variance – Pool not located behind rear building line of adjacent dwelling.
    - iii. [Yochum – ZB 22-001 – 58 Penwood Rd](#) – “C” variance for lot coverage (addition to existing dwelling).
    - iv. [Maloney – ZB 22-003 – 109 Woodman Ln](#) – Variance to allow construction of an in-ground pool not located behind the rear building lines of adjacent dwellings.

- 11. Comments by Public**
- 12. Comments by Members**
- 13. Adjournment**

Ellen Houlihan, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – January 24, 2022 – 7pm**

#### **CALL TO ORDER**

Chairperson Debra DeWitt called the meeting to order at 7:23 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Debra DeWitt, Alice Smyk, Jennifer Asay, Nancy Cook (left at 8:01 pm), John Crane, Todd Edelstein, Corey Fischer, James LaMaire, John Valeri Jr., Sarah Wolfson (left at 8:22 pm)

**Absent:** None

**Also Present:** Kaitlin Cartoccio, Recording Secretary

#### **APPROVAL OF MEETING MINUTES**

Motion to approve the November 22, 2021, minutes made by Debra DeWitt, seconded by Alice Smyk. All in favor, motion carried.

#### **REPORTS & MISCELLANEOUS CORRESPONDENCE**

- a. **EcolSciences Inc.**, - Application for an Extension of Letter of Interpretation  
No comments.
- b. **Roux** – Freshwater Wetlands Letter  
No comments.
- c. **Jan 25 GSWA Plant Sale – Jersey Friendly Yard**  
Native Pollinator Group – represents several towns. Hosted a plant sale last year. Committed to another sale. First of three sales.

#### **DISCUSSION**

##### **a. Subcommittees**

Chairperson Debra DeWitt opened the conversation regarding subcommittees for the Commission. Additionally, the Commission's ANJEC membership is up for renewal. Membership is \$375 a year up to 7 members. Good for education and becoming a member of the EC. Nancy Cook suggested that maybe 1 or 2 members could volunteer to comb through emails and send out the most pertinent programming to other members of the Commission. The following subcommittees were also discussed and created. Leads on the subcommittees are as follows:

- i. **Applications** - John Crane, James LaMaire and Corey Fischer
- ii. **ANJEC** - Nancy Cook, Alice Smyk and Todd Edelstein
- iii. **Native Pollinator Group/Plant Sale** - Sarah Wolfson and Debra DeWitt



## ***Bernards Township Environmental Commission***



- iv. **Charter Day** - Maybe combine with Agricultural Committee Charter Day group.
- v. **Community Outreach – Tips of the Week** - TBD
- vi. **Americorps Watershed Project** - TBD

### **OLD BUSINESS**

#### **a. Status on Current Projects:**

##### **ii. Public Outreach**

Tips of the Week. Information about disposing of batteries. Update for the Native Plant Sale.

##### **iii. Liaison – Regional Native Pollinator Working Group**

No update. Nancy Cook left at 8:01 pm

### **NEW BUSINESS**

- a. Birkhold/Kostinas – ZB 21-033 – 33 Springhouse Lane** – Addition over existing – Variance for maximum floor area allowed.

No environmental concerns.

Motion by John Crane, seconded by John Valeri Jr. All in favor, motion carried.

- b. Heymann – ZB 21-034 – 24 Woodstone Road** – Maximum lot coverage – Patio & covered breezeway.

The Environmental Commission notes the existing lot coverage exceeds the maximum amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is a concern with this application, therefore site features to promote the recharge of stormwater from the roof leaders should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners.

Motion by John Crane, seconded by Corey Fischer. All in favor, motion carried.

- c. Fetchko – ZB 21-035 – 103 Washington Ave.** – Front yard setback relief for addition

No environmental concerns.

Motion by John Valeri Jr, seconded by John Crane. All in favor, motion carried.

- d. B3 Church Street LLC – ZB 21-036 – 15 Church Street.** – Variance to allow (2) apartments when only (1) is allowed.

No environmental concerns.

Motion by James LaMaire, seconded by John Valeri Jr. All in favor, motion carried.



## ***Bernards Township Environmental Commission***



- e. **Faizan/Kirkwood – PB 21-005- 62/48 Wisteria Way** – Amended Pre/Final Subdivision Condition, which resulted in the creation of an emergency access easement.

Debra DeWitt recused herself at 8:21pm. Sarah Wolfson was away at 8:22 pm. No environmental concerns.

Motion by John Valeri Jr, seconded by Corey Fischer

All in favor, motion carried.

### **PUBLIC COMMENT**

No members of the public

### **COMMENTS BY MEMBERS**

Debra DeWitt returned 8:25 pm. John Crane offered assistance if any new members need help and asked for contact list. Todd Edelstein commented that the Environmental Commission member handbook was very helpful. Master Comments – add recharge comment. Update lot coverage for #3 and #4. Jennifer Asay thanked everyone on the commission for all their work so far and asked for updates for Township Committee. There was discussion regarding Zoom vs in meeting in person. February meeting will stay virtual.

### **ADJOURNMENT**

Meeting was adjourned at 8:40 pm. Motion by Todd Edelstein, seconded by Debra DeWitt  
All in favor, motion carried.

Respectfully submitted,  
Kaitlin Cartoccio, Meeting Secretary



*Bernards Township Environmental Commission*

**TO:** Planning Board Chairperson and Members  
**FROM:** Alice Smyk – Vice Chair  
Bernards Township Environmental Commission  
**DATE:** January 26, 2022

The Environmental Commission reviewed this application at their January 24, 2022 meeting and forwards the following comments:

**Faizan / Kirkwood – PB 21-005 – 62/48 Wisteria Way**

The Environmental Commission has no comments on this application.

Cc: David Schley, Township Planner  
Cyndi Kiefer, Secretary; for distribution to PB members and Attorney to applicant



## *Bernards Township Environmental Commission*

**TO:** Zoning Board Chairperson and Members  
**FROM:** Deb Dewitt, Chairperson  
Bernards Township Environmental Commission  
**DATE:** January 26, 2022  
**RE:** Applications review

The Environmental Commission reviewed these applications at their January 24, 2022 meeting and forwards the following comments.

**Birkhold/Kostinas - ZB21-033, 33 Springhouse Lane**

The Environmental Commission has no comments on this application.

**Heymann - ZB21-034, 24 Woodstone Road**

The Environmental Commission notes the existing lot coverage exceeds the maximum amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is a concern with this application, therefore site features to promote the recharge of stormwater from the roof leaders should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nju.gov/dep/gi/>)

**Fetchko - ZB21-035, 103 Washington Avenue**

The Environmental Commission has no comments on this application.

**B3 Church Street LLC - ZB21-036, 15 Church Street**

The Environmental Commission has no comments on this application.

Cc: David Schley, Township Planner  
Cyndi Kiefer, Secretary; for distribution to BOA members



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION REORGANIZATION MEETING MINUTES – January 24, 2022 – 7pm**

#### **CALL TO ORDER**

Recording Secretary called the meeting to order at 7:01 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Debra DeWitt, Alice Smyk, Jennifer Asay, Nancy Cook, John Crane, Todd Edelstein, Corey Fischer, James LaMaire, John Valeri Jr., Sarah Wolfson

**Absent:** None

**Also Present:** Kaitlin Cartoccio, Recording Secretary

#### **REVIEW TOWNSHIP ORDINANCE FOR ENVIRONMENTAL COMMISSION**

The ordinance was reviewed by the Environmental Commission. Debra DeWitt mentioned an Annual Report would be forthcoming.

#### **NOMINATION FOR CHAIRPERSON**

Kaitlin Cartoccio opened the call for nominations for Chairperson. Nancy Cook nominated Debra DeWitt. Seconded by Jim LaMaire. All in favor.

#### **NOMINATION FOR VICE CHAIRPERSON**

Kaitlin Cartoccio opened the call for nominations for Vice Chairperson. Debra DeWitt nominated Alice Smyk. Nancy Cook seconded. All in favor.

#### **SUB-COMMITTEE APPOINTMENTS**

The Committee discussed and decided that Alice Smyk would be the Environmental Commission representative on the Tree Protection Committee with Nancy Cook as the alternate representative.

#### **COMMENTS BY MEMBERS**

No comments

#### **ADJOURNMENT**

Meeting was adjourned at 7:23 pm. Motion by Debra DeWitt, seconded by Alice Smyk. All in favor, motion carried.

Respectfully submitted,  
Kaitlin Cartoccio, Meeting Secretary

January 24, 2022

To: Municipal Official, County Official or Property Owner

From: Meredith Harris, Roux Associates, Inc.

Re: Freshwater Wetlands General Permit 10B – Minor Road Crossings, and Flood Hazard Area Individual Permit E-Submission  
Regarding Property at 300 N Maple Ave (Block 803 Lot 2)  
Bernards Township, Somerset County, New Jersey

To Whom It May Concern:

This letter is to provide you with legal notification that an application for an authorization under Freshwater Wetlands General Permit 10B and a Flood Hazard Area Individual Permit has been submitted to the New Jersey Department of Environmental Protection, Division of Land Resource Protection for the development shown on the enclosed plan(s). A brief description of the proposed project follows:

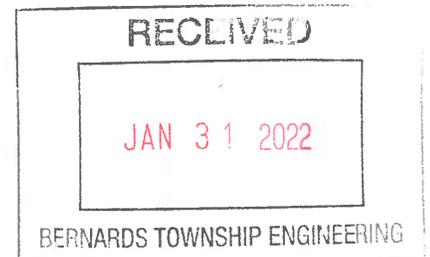
The proposed project involves the widening of an existing roadway, construction of a guard house, security gates, and a turnaround area for vehicles.

The complete permit application package can be reviewed at either the municipal clerk's office in the municipality in which the site subject to the application is located, or by appointment at the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
P.O. Box 420, Code 501-02A  
Trenton, New Jersey 08625  
Attn: The Township of Bernards Supervisor

You can also contact Meredith Harris, acting as an agent for Verizon Corporate Services Group, Inc. at (856) 423-8800 with questions.

Enclosed: Site Layout Plan





**BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION**  
**Application Review/Generic Comments**

**Best Management Practices**

1. The Environmental Commission notes the presence of freshwater wetlands and a surface water body on the subject property. **Best management practices** to protect these sensitive ecological areas should be implemented during the site work (sediment and erosion controls) and post-construction (organic lawn care, protect and preserve natural soil, vegetation, and grading in buffer zones and within the stream).
2. The Environmental Commission notes that due to the site and surrounding topography storm water **best management practices** should be given extra consideration during site work and as part of final site grading and restoration. In addition, implementation of best management practices to preserve and protect trees during the site work should be considered.

**Lot Coverage**

3. The Environmental Commission notes the existing lot coverage exceeds the maximum amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is a concern with this application, therefore site features to promote the recharge of stormwater from the roof leaders should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nju.gov/dep/gi/>)
4. The Commission would ask the Board to remind the applicants that they are virtually **at capacity on lot coverage** and that any future additions such as patios, sheds, pools, concrete pads for mechanicals (AC, generators) or any other impervious surface coverage items would put them over the limit. The Commission suggests they discuss this with the applicant and perhaps the applicant may want to consider reducing the amount of impervious surface coverage.

**Storm Water**

5. The Environmental Commission notes the lack of details regarding the **recharge of stormwater** as part of the proposed development. The recharge of stormwater is required when impervious surface is increased by > 1,000 sq ft. Site drainage in general is a concern due to the existing characteristics of the property, for example the presence of poorly drained soil.

**Steep Slopes**

6. The Commission would like to bring to the Board’s attention the **steep slopes** shown on the plan and recommends that testimony be given about stabilization for vegetation purposes.

**Natural Resource Inventory**

7. In regards to this application, the township’s **NRI** shows this property contains XX (e.g., the endangered wood turtle, which are identified as a level 3 out of 5 endangered species). As such, wetland buffers should be checked to ensure they are the required 150 feet.

**BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION**  
**Application Review/Generic Comments**

8. The Commission notes the intermediate resource value wetlands on the property. The EC would also like the Board to know that according to the Bernards Township **Natural Resource Inventory**, this property is an area for endangered species; specifically, critical area Rank III for the wood turtle. In addition, according to the township's Natural Resource Inventory (NRI), this property appears to be ranked 3 for habitat for the wood turtle.

**Wetlands**

9. This property contains a **wetlands conservation easement** and as such, the Environmental Commission would like to see an LOI. In addition, the Commission would like the Board to examine the Riparian Buffer.
10. With regard to the presence of and proposed development on the existing **wetlands**, the Environmental Commission defers to the NJDEP review of the Freshwater Wetland Individual Permit.

**Tree Permits/Protection/Replacement**

11. The Commission would like to note if any **tree permits** have been taken out and the replacement of same. In regards to this application, the Environmental Commission feels that long-term tree survivability should be the goal of any tree replacement plan and that native hardwood species should be selected whenever practicable.
12. In regards to this application, the Environmental Commission would like to see a **tree removal and replacement plan**. Long-term tree survivability should be the goal of any tree replacement plan and native hardwood species should be selected whenever practical.
13. The Environmental Commission asks that the applicant be required to contribute to the **Township Tree fund** for any trees they do not plant.
14. The Commission reviewed the revised plans and notes that the applicant is requesting a waiver of the **tree requirements**. The Commission recommends that the Board request that a certified arborist or forester provide testimony to the Board on the poor or unhealthy condition of the trees before any consideration is given to reducing the number of required trees.

**Critical Habitat**

15. The Environmental Commission notes that the proposed development is within Critical Habitat Area XX, per the ERI.

**Stream Buffers**

16. The EC believes that the impact of this development on the environment would be contradictory to the stream buffer conservation ordinance which limits or prohibits certain activities, including erecting any permanent structure. The stream buffer conservation ordinance was created to better protect the stream buffers and enhance the water quality of the adjacent streams. The regulations provide reasonable controls governing the restoration, conservation, disturbance, and management of existing stream buffers along all perennial (flows continuously) and intermittent (does not always have water

**BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION**  
**Application Review/Generic Comments**

in it) streams, lakes, and ponds in the municipality. Therefore, the EC does not support any intrusion into the stream buffer conservation area

**Pool Discharge**

17. In regards to this application, **pool water discharge** may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

**Master Plan**

18. The Environmental Commission would request the Board to have the applicant discuss how the proposal promotes the environmental goals and objectives of the Master Plan.

## **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION**

### **2021 ANNUAL REPORT**

The following is a summary of the 2021 activities of the Bernards Township Environmental Commission ("EC" or "Commission").

#### **MISSION STATEMENT**

The Bernards Township Environmental Commission is responsible for ensuring that the environmental issues in Bernards Township, NJ are given the right priority to protect and preserve natural resources of the Township and surrounding areas including land, water, air, and bios (flora and fauna). As a result of NJDEP having oversight of the NJ Historic Preservation Office, occasionally the EC will offer historic preservation comments in accordance with Bernards Township Master Plan.

#### **GOALS**

The Commission accomplishes its mission via:

- a) Taking proactive stances on local environmental matters, and strengthening the local planning process
- b) Coordinating rational, balanced reviews of development applications for the appropriate township bodies
- c) Increasing public awareness and understanding of local and regional environmental issues
- d) Keeping abreast of, and being involved in, environmental issues that affect our surrounding areas and communities
- e) Staying up to date on ordinances and regulations for Bernards Township with training sessions.

#### **2021 SUMMARY**

##### **Budget:**

In 2021, the EC spent \$2,017.08 on the annual ANJEC membership (\$400) and the Reusable Bag Challenge.

##### **2021 Accomplishments:**

***Development Application Reviews:*** During 2021, the EC held ten meetings, all virtually via Zoom. As an advisory board, the EC continued to provide commentary to the Planning Board, Board of Adjustment and Township Committee regarding environmental impacts and issues. During 2021, the EC reviewed 32 development applications and revisions: 26 Board of Adjustment and 6 Planning Board. In comparison, during 2020, the EC reviewed 28 Board of Adjustment and 8 Planning Board. Note: Of the 26 Board of Adjustment applications that were reviewed, 10 of them were for a variance for a pool not located behind the rear building line of adjacent dwellings.

***Master Plan Review:*** At the request of David Banisch on behalf of the Planning Board, the Environmental Commission reviewed the Township's *Conservation and Open Space Plan Element* and

the *Green Buildings and Environmental Sustainability Plan Element* of the Master Plan. Eleven recommendations were made and forwarded to the Planning Board in September.

***Tree Protection:***

The Environmental Commission works cooperatively with the Township's Shade Tree Commission and Engineering Department to assess tree removal applications. The assessments focus on any safety issues associated with the tree, the health of the tree, and canopy impact. In some cases, site visits are warranted. Typically, tree removals are completed in conjunction with replacement/mitigation measures and replacements focus on native species. In 2021, 12-15 of these applications were reviewed.

***Public Outreach:*** Throughout the year, over 15 environmentally themed, educational/awareness pieces were posted jointly to the Township website home page and the EC home page + the Township Facebook page. From there, these pieces were shared to a number of community FB groups such as: Bernards InSight, Bernards Township Community, Basking Ridge Moms, BR Women Lite, Bernards Beat. Topics included different tips on refuse/reduce/reuse/recycle (10 "tips of the week"), plus pumpkin and Christmas tree recycling, and awareness/treatment of spotted lanternfly eggs, nymphs, adults, and ailanthus trees.

***Advisory and Volunteerism:*** The EC provided advice and guidance to a couple of Ridge High School clubs regarding their green efforts and several students attended Commission meetings. Additionally, the EC helped promote other's environmental-related projects such as the Girl Scouts "Caps for a Cause," Parks & Recreation's TREX challenge and the Ridge Girls Basketball fundraiser for Christmas tree recycling. The Bernards Township EC was selectively invited to participate in the first annual GSWA Native Pollinator Plant Sale and promoted the sale via social media. Members also volunteered at the GSWA HQ to prepare all the orders for distribution to the various towns and transported and distributed all the orders from Bernards Township residents.

***Trips and Events:*** In conjunction with Earth Day, the EC launched the Reusable Bag Challenge to all Bernards Township students in grades K-8. The theme was Refuse, Reduce, Reuse, Recycle. Over 100 entries were submitted and of them, 5 winners were chosen. 250 bags customized with the winning designs were ordered and offered at no cost to residents. In June, members of the Commission visited the Colgate Recycling Plant, one of several that Somerset County contracts with for paper, plastic, glass, and aluminum recycling. In November, the EC organized a free Pumpkin Smash held at English Farm/Dogwood Farm to promote keeping pumpkins out of landfills.

***Partnerships:*** As noted above, The Commission partnered with members of the Township's Agricultural Advisory Committee to host a pumpkin smash. Additionally, the EC partnered with the Shade Tree Commission (Jack Gray) to develop a joint statement to residents regarding the identification and treatment of spotted lanternflies and their preferred host, the ailanthus tree. The EC also invited the township's AmeriCorps Watershed Ambassador (Sydney Abraham) to a meeting, and she explained their mission and how they can partner with the EC to help with environmental education and community stewardship.

At the end of 2021, the EC said goodbye to 3 members and our TC liaison and welcomed 1 new member. We look forward to serving Bernards Township and its residents in 2022 with a new TC liaison and several new members.

Respectfully submitted on behalf of the Bernards Township Environmental Commission.

Cc: Township Committee  
Rhonda Pisano, Township Clerk

**RESOLUTION IN SUPPORT OF THE ABILITY OF MUNICIPALITIES TO ADOPT REGULATIONS TO PROTECT PUBLIC HEALTH, SAFETY, AND WELFARE FROM THREATS OF FLOODING**

**WHEREAS**, in recent years, residents have experienced more frequent and severe storms, which have caused increased flooding and flood damage in the municipality;

**WHEREAS**, the increase of flooding events and flood damage threatens the public health, safety, and welfare, imposes economic damages to residents, and taxes municipal services that are forced to respond to increased flooding;

**WHEREAS**, pursuant to N.J.A.C. 7:8-1.5(a), municipalities are permitted to impose additional or more stringent stormwater management requirements than the model ordinance promulgated by the New Jersey Department of Environmental Protection (“NJDEP”);

**WHEREAS**, each municipality has unique situations that may require additional or more stringent regulations in order to be in full compliance with the controlling state and federal statutes, regulations, and permits, and in order to protect their residents from threats of flooding and flooding related damage;

**WHEREAS**, the New Jersey Department of Community Affairs is considering proposed regulations that would further curtail a municipality’s ability to protect its residents from the threat of flooding and flood related damage;

**NOW THEREFORE, BE IT RESOLVED** by the [COUNCIL/BOARD] that it supports regulations that provide flexibility to municipalities to adopt additional and/or more stringent stormwater regulations, in order to allow municipalities to protect its residents from threats of flooding and flood damage;

**BE IT FURTHER RESOLVED**, that the [COUNCIL/BOARD] opposes the continuation of any Residential Site Improvement Standard regulations that would limit a municipality’s ability to establish more protective flood prevention and stormwater management regulations than the model ordinances promulgated by the NJDEP; and

**BE IT FURTHER RESOLVED**, that the [COUNCIL/BOARD] requests the Governor and the state legislature take action to ensure that the Residential Site Improvement Standards do not limit a municipality’s ability to protect its residents from the threat of flooding; and

**BE IT FURTHER RESOLVED**, that the [COUNCIL/BOARD] requests the NJDEP to take whatever legal action available to ensure that a municipality’s ability to protect its residents from flooding is not in any way impeded or restricted.

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[SIGNATURE]

[TITLE]

I hereby certify the foregoing to be a true resolution adopted by the [BOARD/COUNCIL] on [DATE].

---

[SIGNATURE]  
[TITLE]

# KEEP THIS COPY FOR YOUR RECORDS!!!

## Charter Day Vendor Rules & Regulations

### Application Regulations

- All required documents on the checklist must be submitted at the time of application, including my Certificate of Insurance. Incomplete applications will be denied.
- Your Certificate of Insurance must correctly follow the instructions and sample provided. Applications with incorrect insurance will be denied.
- Payment in full is due at the time of application. Application without payment will be denied. There are no refunds once paid, even if the event is cancelled.

### Event Rules

- Every vendor will have an assigned set-up arrival time (sent in a future mailing), 20 minutes to unload one vehicle at the booth and one parking space in a designated lot.
- All booths must be "open for business" by 12PM, close promptly at 6 PM and be completely cleaned up by 7PM. Booth space must be staffed and open for the duration of the event.
- The size of my booth is limited to the space purchased.
- My presence is limited to my booth space only. No traveling solicitation or advertisement.
- Booth space cannot be shared amongst multiple organizations or businesses.
- Tents, tables, chairs and electricity will not be provided for me.
  - Tents may be no larger purchased booth space.
  - Tables must fit within purchased booth space and covered with a tablecloth or otherwise suitable professional display. No boxes, trash or debris should be visible.
  - Food vendors only are permitted to bring their own generator(s) should they need electricity for operation.
- Items for sale:
  - Items not listed on the booth space application will not be allowed for giveaway or sale.
  - Any items deemed unsafe, inappropriate or disruptive may not be sold, including, but not limited to: silly string, snaps/poppers, sparklers/fireworks, stink bombs, water pistols, toy weapons and fake cigarettes.
  - Non-Food Vendors are limited to pre-packaged food items only and/or one prepared food item and may be required to obtain a food handler and/or fire permit.

### Weather Policy

In case of inclement weather, Charter Day will proceed as planned as long as it is safe to do so for our staff, volunteers, entertainers, vendors and attendees. Heavy rain, thunderstorms or other severe weather may cause all or part of the event to be cancelled. Cancellation decisions will likely be made the same day as the event and not in advance. There are no refunds once paid, even if the event is cancelled.

As a Charter Day vendor, I understand and agree to the above outlined application regulations, event rules and weather policy. I further understand and agree that any and all actions that are not in accordance with the rules, regulations and policies above may result in the loss of my application fee, denial of entry to the event, removal from the event or denial of application to future events.

**KEEP THIS COPY FOR YOUR RECORDS!!!**



## **TOWNSHIP OF BERNARDS**

### **FIRE PREVENTION BUREAU**

277 SOUTH MAPLE AVENUE

BASKING RIDGE, NJ 07920-1441

(908) 204-2511 Office (908) 204-3089 Fax

## **Charter Day**

# **FIRE PERMIT INFORMATION**

*Please read carefully to determine if your booth will require a fire safety permit*

If you are using an open flame, open flame device, a tent over the size of 900 square feet or are bringing a food truck you will need to obtain a fire safety permit. You will need to call the Fire Prevention Office at 908-204-2511 to determine the type of permit you need, the fee, and any other paperwork required with submitting a permit application. **Fire permit applications must be submitted no later than Monday May 2, 2022.**

*If you will be using compressed gas for balloons or any other purpose, you must substantially secure the tank to prevent it from falling. No permit is required for these types of tanks, but if found to be not substantially secured; these tanks will be subject to violation.*

Fire Prevention will be inspecting each booth on the morning of the event. If your permit inspection is passed, you will be given a fire safety permit certificate to display. If you do not obtain a permit when one is required, you will be told to leave.

The permit application is enclosed with all Food Vendor Applications. If you are a non-food vendor and believe you need a fire safety permit, please call the Fire Prevention Bureau at 908-204-2511.

Thank you in advance for your anticipated co-operation.

Frank N. D'Amore Jr, Fire Official  
Bernards Township Fire Prevention Bureau  
277 S. Maple Avenue  
Basking Ridge, NJ 07920  
908-204-2511

# **Food License Information**

*Please read carefully to determine if your booth will require a Food License*

## **If your booth will be vending food**

*(applies to both food vendors and non-profit or commercial vendors selling food)*  
**you must have a Food License from the Health Department.**

## **If you do not currently hold a yearly license with the Bernards Twp Health Department**

Complete the form on the reverse side, attach a list of the food items you will be selling and submit it with your booth application along with the \$50 one day license fee, payable to "Bernards Township".  
*Non-Profit Organizations must complete the application, but are exempt from fees.*

## **If you currently hold a yearly license with the Bernards Twp Health Department**

Complete the form on the reverse side, attach a list of the food items you will be selling and submit it with your booth application.  
Do not submit the license fee, instead include a copy of your current license.

All license applications and permit fees should be returned to the Department of Parks & Recreation with your vendor application. Permit fee should be submitted as a separate check, not included in booth fee.  
Do not return applications to the Health Department.

**Questions on the Food License? Call the Health Department at 908-204-3071.**

## APPLICATION FOR TEMPORARY FOOD ESTABLISHMENT LICENSE

Bernards Township       Bernardsville Borough       Borough of Peapack & Gladstone

Name of Event \_\_\_\_\_ Date of Event \_\_\_\_\_

Event Coordinator Name: \_\_\_\_\_

**EVENT INFORMATION:**

Name \_\_\_\_\_

Address \_\_\_\_\_

Telephone \_\_\_\_\_ Email Address \_\_\_\_\_

**VENDOR/BOOTH OPERATOR INFORMATION:**

Trade Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_ Emergency Phone \_\_\_\_\_

Fax \_\_\_\_\_ Manager/Person in Charge \_\_\_\_\_

Fee Submitted \_\_\_\_\_

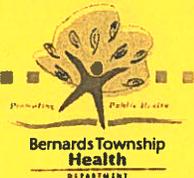
**\*\*\*Please list what you will be selling for this event and attach it to this form.\*\*\***

<u>TOWN</u>	<u>TYPE</u>	<u>FEE</u>
All	Non-Profit Organization	None
Bernards Township	Roadstand/Temporary 1-2days	\$50.00
	Temporary (3 or more days)	\$100.00
Bernardsville Borough	Mobile/Temporary (1 day)	\$50.00
	Mobile/Temporary (1 week)	\$100.00
Borough of Peapack & Gladstone	Roadstand/Temporary (1-2 days)	\$35.00
	Temporary (3 or more days)	\$75.00

I, \_\_\_\_\_, hereby apply for a license to operate a retail food establishment and agree to comply with, and abide by, all the provisions of Chapter 24 of the New Jersey Sanitary Code and all local codes regulating retail food establishments.

Signature: \_\_\_\_\_

Event Coordinator, please collect one (1) application per vendor and payment when applicable. Coordinator, mail applications and checks to the Bernards Township Health Department, address below. One permit will be issued per event. *If event is being held in Bernardsville, make check payable to the Borough of Bernardsville; if event is being held in Peapack & Gladstone, make check payable to the Borough of Peapack & Gladstone.* Please have each vendor include a list of the foods they will be serving at the event.



### Bernards Township Health Department

262 South Finley Avenue  
Basking Ridge, NJ 07920  
P. 908.204.2520 F. 908.204.3075  
[www.bernardshealth.org](http://www.bernardshealth.org)

*Contractual Health Agency for:*  
Bernards Township  
Bernardsville Borough  
Chester Borough  
Long Hill Township  
Mendham Borough  
Peapack and Gladstone Borough

**BERNARDS TOWNSHIP CHARTER DAY**  
**Saturday, May 21, 2022**  
**12PM – 6PM**  
**MUNICIPAL DEPARTMENT OR COMMITTEE**  
**VENDOR APPLICATION FORM**  
**ONE 10x10 BOOTH SPACE**

*For Office Use Only:*  
BT Departments/Committees Only  
Received: \_\_\_\_\_

**Department/Committee Name:** \_\_\_\_\_

**Contact Person:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Town:** \_\_\_\_\_ **Zip:** \_\_\_\_\_

**Phone #:** \_\_\_\_\_ **Alternate Phone #:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**Describe how you will utilize and staff your booth:**

*(i.e. information, table display, giveaways, volunteers, etc.)*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

.....  
**Booth Space:** One table and two chairs will be provided at your booth space. Tents may be no more than 10'x10' with straight poles. We ask that you bring your own tent, but may be able to provide one for you if needed. Tables and displays must fit within your 10'x10' booth space. Electricity is not available. See reverse side for additional rules & regulations. **NO REFUNDS ONCE PAID.**

**Application Dates:**

Applications are accepted on a space available basis. Submit this application ASAP to reserve your space!

**Township Application Checklist:**

- Completed, signed **Vendor Application Form**

**Return complete application by mail or in person to:**

Bernards Township Parks & Recreation  
1 Collyer Lane, Basking Ridge, NJ 07920

**REVERSE SIDE MUST BE SIGNED!!!**

# Charter Day

## Vendor Rules & Regulations

### Application Regulations

- All required documents on the checklist must be submitted at the time of application, including my Certificate of Insurance. Incomplete applications will be denied.
- Your Certificate of Insurance must correctly follow the instructions and sample provided. Applications with incorrect insurance will be denied.
- Payment in full is due at the time of application. Application without payment will be denied. There are no refunds once paid, even if the event is cancelled.

### Event Rules

- Every vendor will have an assigned set-up arrival time (sent in a future mailing), 20 minutes to unload one vehicle at the booth and one parking space in a designated lot.
- All booths must be “open for business” by 12PM, close promptly at 6 PM and be completely cleaned up by 7PM. Booth space must be staffed and open for the duration of the event.
- The size of my booth is limited to the space purchased.
- My presence is limited to my booth space only. No traveling solicitation or advertisement.
- Booth space cannot be shared amongst multiple organizations or businesses.
- Tents, tables, chairs and electricity will not be provided for me.
  - Tents may be no larger purchased booth space.
  - Tables must fit within purchased booth space and covered with a tablecloth or otherwise suitable professional display. No boxes, trash or debris should be visible.
  - Food vendors only are permitted to bring their own generator(s) should they need electricity for operation.
- Items for sale:
  - Items not listed on the booth space application will not be allowed for giveaway or sale.
  - Any items deemed unsafe, inappropriate or disruptive may not be sold, including, but not limited to: silly string, snaps/poppers, sparklers/fireworks, stink bombs, water pistols, toy weapons and fake cigarettes.
  - Non-Food Vendors are limited to pre-packaged food items only and/or one prepared food item and may be required to obtain a food handler and/or fire permit.

### Weather Policy

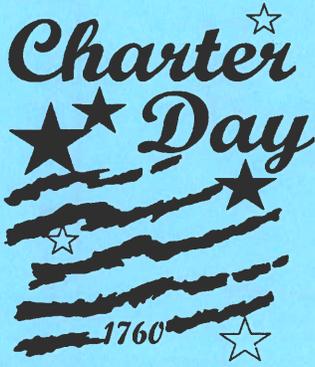
In case of inclement weather, Charter Day will proceed as planned as long as it is safe to do so for our staff, volunteers, entertainers, vendors and attendees. Heavy rain, thunderstorms or other severe weather may cause all or part of the event to be cancelled. Cancellation decisions will likely be made the same day as the event and not in advance. There are no refunds once paid, even if the event is cancelled.

As a Charter Day vendor, I understand and agree to the above outlined application regulations, event rules and weather policy. I further understand and agree that any and all actions that are not in accordance with the rules, regulations and policies above may result in the loss of my application fee, denial of entry to the event, removal from the event or denial of application to future events.

Organization's Name: \_\_\_\_\_

Representative's Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Join us in commemorating the  
262<sup>nd</sup> Anniversary of Bernards Township  
at our Annual  
**Charter Day Celebration**  
**on Saturday, May 21, 2022**  
**from 12pm – 6pm (new time!)**  
in Downtown Basking Ridge.

Coordinated by the Department of Parks & Recreation, Charter Day is an annual event which celebrates the history and 1760 Charter of Bernards Township and showcases community groups, businesses and talent. The event is held on the 3<sup>rd</sup> Saturday of May from 12pm – 6pm in the Downtown Basking Ridge area.

The event features:

- a street fair with area businesses, school groups, non-profit organizations, local artisans and food vendors.
- entertainment including musical and dance performances, demonstrations, strolling magicians and more.
- a student art exhibit and the Essence of Bernards photography exhibit.
- historical displays at the Brick Academy.
- and amusement rides and games for children of all ages.

For more information on the event or performance inquiries, contact the Parks & Recreation Department a 908-204-3003 or [recreation@bernards.org](mailto:recreation@bernards.org).

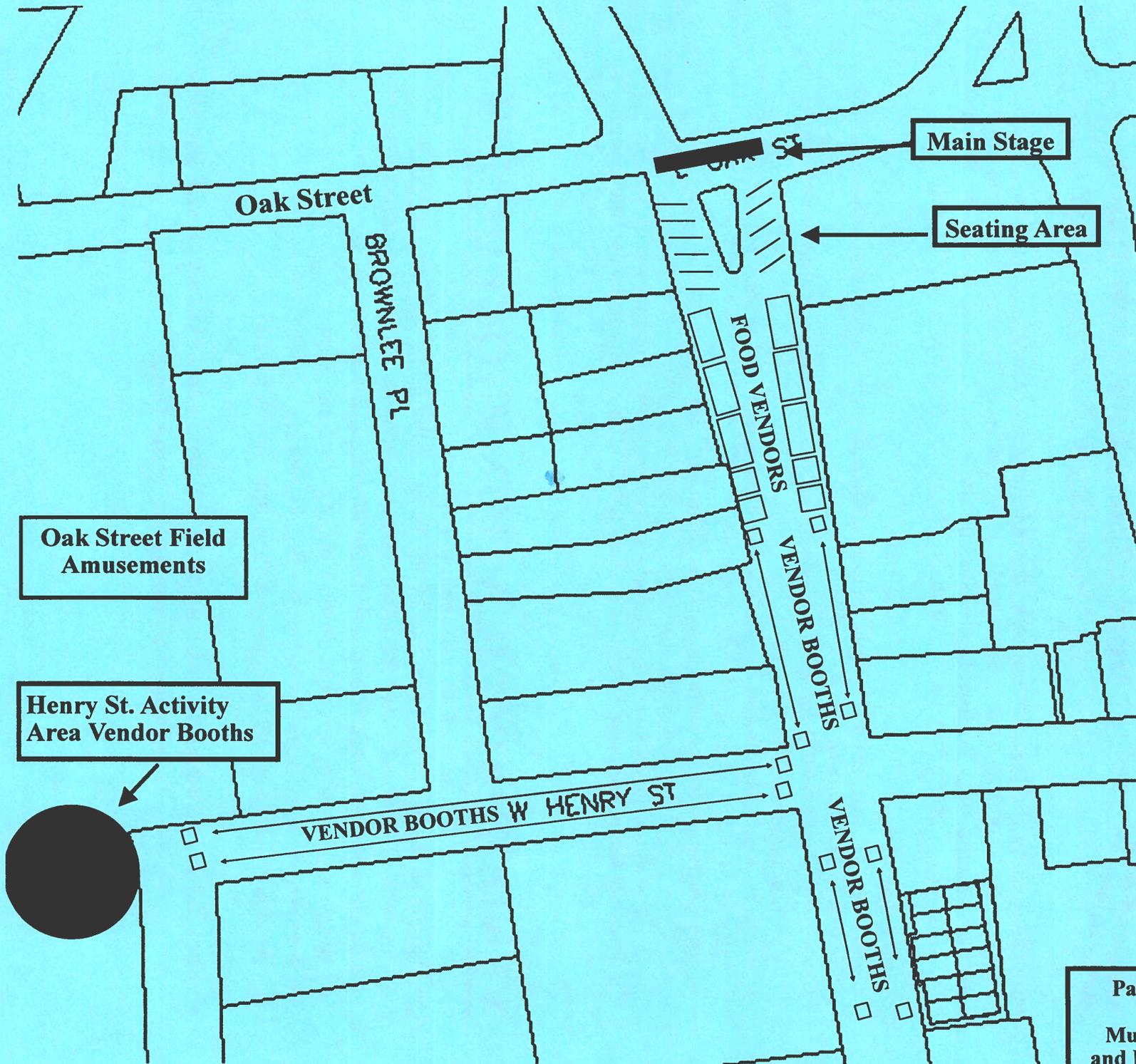
## **VENDOR APPLICATION PROCEDURES**

Please read all information in this mailing carefully!

Applications are accepted on a space available basis. Submit this application ASAP according to the schedule below. *Residency is based on where the organization/business is located OR where the organization representative/company owner resides.*

- Bernards Township Resident Based Vendors – Submit Now
- Somerset County Resident Vendors - Submit starting March 2
- All other Non-Resident Vendors – Submit starting March 23

**A checklist is included on your application form to ensure you submit all required items at the same time!**

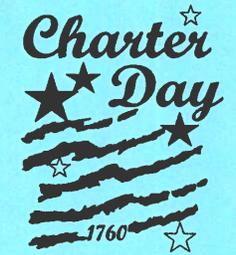


**Specific booth location requests cannot be made.**

**Electricity is not available at any location.**

**Food Vendors must provide their own generators.**

**You will be mailed information on the location of your booth space, set up instructions and your parking permit 2 weeks prior to the event.**



**2022**

**Parking & Shuttle at Municipal Complex and Ridge High School**

EC

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-037 Block: 7901 Lot: 8 Zone: R-4

Applicant: NASH, DAVID MICHELLE

Address of Property: 61 ARCLGATE RD.

Description: FRONT YARD SETBACK FOR A ONE-STORY  
OPEN PORCH.

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input type="checkbox"/>            | Checklist                  |

**SCHEDULING**

12.6.21 Original Submission Date  
1.20.22 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
5.20.22 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.9.22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

12.6.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS  
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify): _____                  |

**1. APPLICANT:** DAVID AND MICHELLE NASH

Address: 61 ARCHGATE ROAD BASKING RIDGE, NJ 07920

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile) 908 377-5892 (MN)

Email (will be used for official notifications): mem582@gmail.com

**2. OWNER (if different from applicant):** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**

Name: JONATHAN E. BOOTH Profession: ARCHITECT

Address: 33 BULLION ROAD BASKING RIDGE, NJ 07920

Phone: 908 204 9927 Email (will be used for official notifications): JOABOOTH@AIC.GMAIL.COM

**5. PROPERTY INFORMATION:** Block(s): 7901 Lot(s): 8 Zone: R-4

Street Address: 61 ARCHGATE ROAD Total Area (square feet/acres): 40,012 sq ft / .92 ac

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?** \_\_\_\_\_

[✓] No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

*the existing 40,017 st property contains the following structures*  
a) *two story, four bedroom residence of 2608 sf*  
b) *a 96 sf shed*

*The proposed addition provides an open front porch of 12' by 23'-4" (280 sf)*

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

*Variance relief is sought from the following ord. sec. 21-15.1(d)1, Table 501 specifically, to permit a front yard setback of 68.8', where a min. of 75' is required, and 72.7' exists.*

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

*see attached*

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

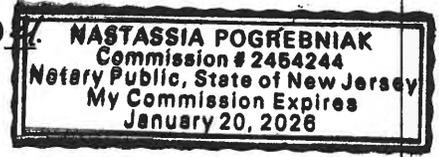
**APPLICANT(S) SIGN HERE:**

I/we, Michelle Nash and David Nash hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Michelle Nash and David Nash

Sworn and subscribed before me, this 26 day of November, 2017.

Nys  
Notary Nastassia Pogrebniak



**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary \_\_\_\_\_

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

**1. Modest nature of proposed improvement**

The proposed one story open porch is small in scale, and will be an aesthetic amenity on the front of the house. It requires a single variance, as all other zoning criteria are satisfied.

**2. Lack of conforming alternatives for a front porch**

The available area at the front of the house is limited. While most of the proposed porch conforms to the front yard setback, a portion extends to 68.8'. This dimension is about 4' closer than the existing closest point at the front (portico at 72.7').

NASH RESIDENCE  
 61 ARCHGATE RDM  
 BLK 7901 LOT 8  
 SUBMIT 17 COPIES TOTAL

FORM F

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 Ac 43,560 sq	0.92 Ac 40,012 sq	0.92 Ac 40,012 sq
LOT WIDTH	200'		
FRONTAGE	100'	148'	148'
FRONT YARD SETBACK	75'	see below	see below
REAR YARD SETBACK	75'	120.6'	120.6'
COMBINED SIDE YARD	50'	88.4'	88.1'
SIDE YARD	20'	49.3' @ So 39.1' @ No	49.0 @ So 39.1' @ No
COVERAGE	15% 6002 sq	11.82% 4729 sq	12.52% 5010 sq
HEIGHT	2 1/2 ST 35'	2 ST 24'	2 ST 24'
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

TO EXIST  
 MAIN RES → 76.1'

TO EXIST  
 OPEN PORTICO → 72.7'

76.1'

68.8'

TO PROPOSED  
 OPEN PORCH,  
 REQUIRES  
 VARIANCE

**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: DAVID AND MICHELLE NASH

Block: 7901 Lot: 8

Street Address: 61 ARCHGATE RD

Michelle Nash  
I, David Nash, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:

David Nash

Date:

11/25/21

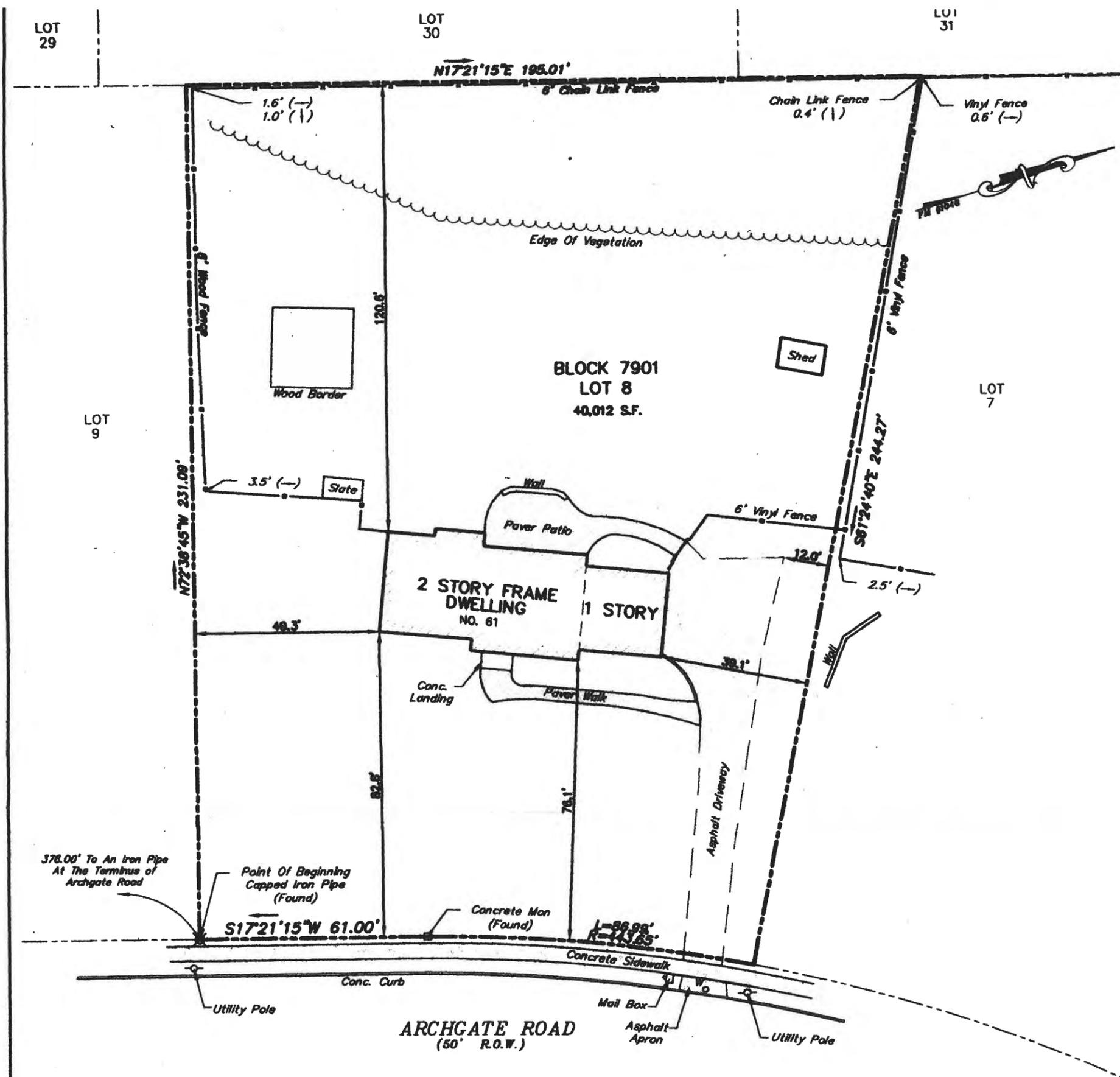
Mt Nash 11/25/21











**SURVEY REFERENCE :**

DEED REFERENCE: ROBERT M. WILLIAMS AND KRISTEN R. MULVOY WILLIAMS TO JOHN AND MARY HOLD, DATED DECEMBER 7, 2015. RECORDED IN THE SOMERSET COUNTY CLERK'S OFFICE IN DEED BOOK 6843, PAGE 2980 RECORDED ON DECEMBER 23, 2015.

MAP REFERENCE: "FINAL MAP SECTION NO. 3, GLENBROOK, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, N.J." PREPARED BY ALRNHAMMER ASSOCIATES, LAST REVISED ON MARCH 23, 1986. RECORDED IN THE SOMERSET COUNTY CLERK'S OFFICE AS MAP NO. 1046, JULY 5, 1985.

**NOTES :**

THE CERTIFICATION OF THIS SURVEY ON THE DATE SHOWN IS LIMITED TO THE NAMED PARTIES FOR THE PURCHASE AND/OR MORTGAGE OF THE HEREIN DELINEATED PROPERTY. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR AND/OR FIRM FOR THE USE OF THE SURVEY FOR ANY OTHER PURPOSE, INCLUDING, BUT NOT LIMITED TO THE USE OF THE SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, AND DIRECT OR INDIRECT USE BY ANY PARTY NOT SHOWN IN THE CERTIFICATION.

SURVEY IS SUBJECT TO ANY STATEMENTS OF FACT, ALL EASEMENTS, RIGHT OF WAY AND AGREEMENTS OF RECORD, WHICH MAY BE DISCLOSED BY A COMPLETE AND ACCURATE TITLE SEARCH.

BUILDING LOCATION/DIMENSIONS SHOWN HEREON ARE TO THE FOUNDATION AND ARE NOT TO BE USED AS A BASIS FOR THE ERECTION OF FENCES OR OTHER PERMANENT STRUCTURES.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.14 (N.J.S.A. 45:8-38.3) AND N.J.A.C. 13:40-5.1(d).

THE LOCATION OR DELINEATION OF WETLANDS OR TIDELAND CLAIM LINES DOES NOT FALL WITHIN THE SCOPE OF THIS SURVEY.

THE LOCATION OF UNDERGROUND OR OTHERWISE CONCEALED STRUCTURES AND UTILITIES DOES NOT FALL WITHIN THE SCOPE OF THIS SURVEY.

No.	Date	Revision	Drawn By	Chkd. By
<b>CAUTION : IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.</b>				

**MAP OF SURVEY**  
**TAX LOT 8 TAX BLOCK 7901**  
**TAX MAP SHEET No. 79**  
 BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

CERTIFIED TO :

...

...

...

...

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY WAS MADE IN ACCORDANCE WITH THE RECORD DESCRIPTION BY ME OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PRESCRIBED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS".

**FREDRICK L. VOSS** M. J. Professional Engineer and Land Surveyor License No. 25797

Survey Date: 6-04-2019 Scale: 1"=30' Drawn By: C.R. Checked By: F.L.V. File: 19-141

**GTS CONSULTANTS**  
 Engineering, Surveying & Mapping

2 Hanover Avenue, Unit A-1  
 Freshfield, New Jersey 07728  
 (732) 459-0200 Fax (732) 459-0227



REVISIONS	BY

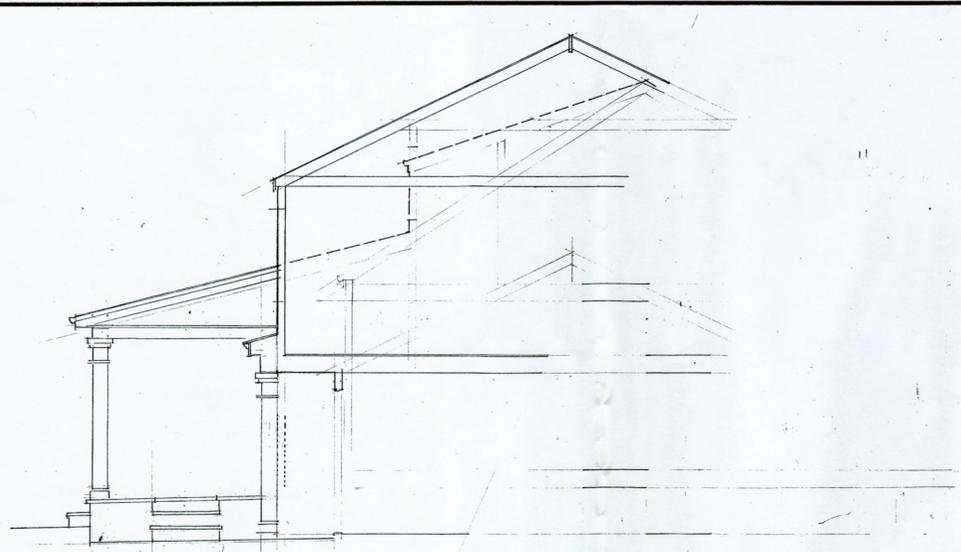


**Jonathon E. Booth**  
 Architect  
 T 908 204-9527  
 F 908 204-9528  
 33 Bellvue Road  
 Basking Ridge, New Jersey  
 07920

*Jonathon E. Booth*  
 Jonathon E. Booth  
 NJ lic # AI 11475 00

**Porch Addition**  
 at  
**Nash Residence**

61 Archgate Road  
 Basking Ridge,  
 New Jersey  
 blk 7901 lot 8

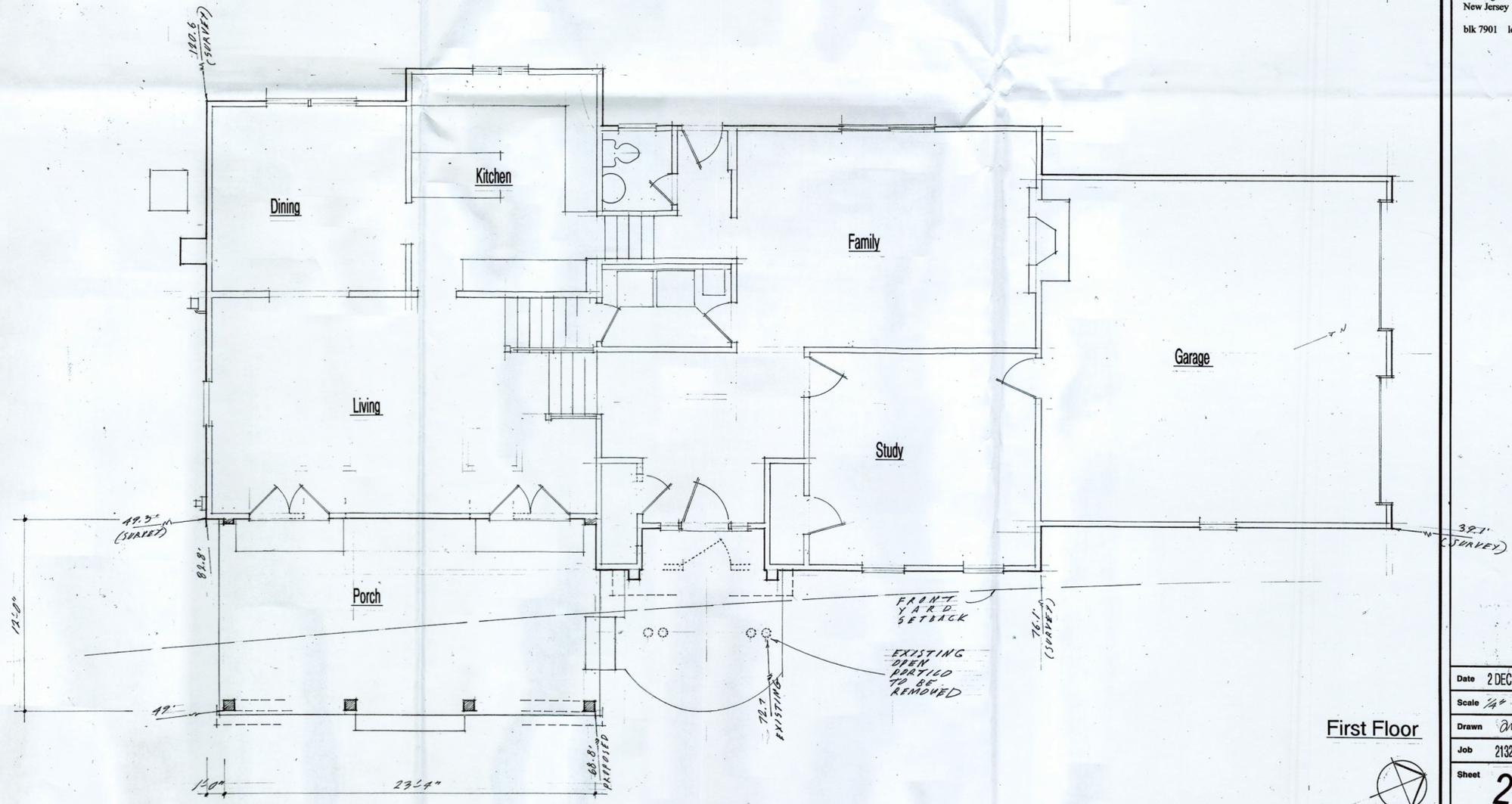


North



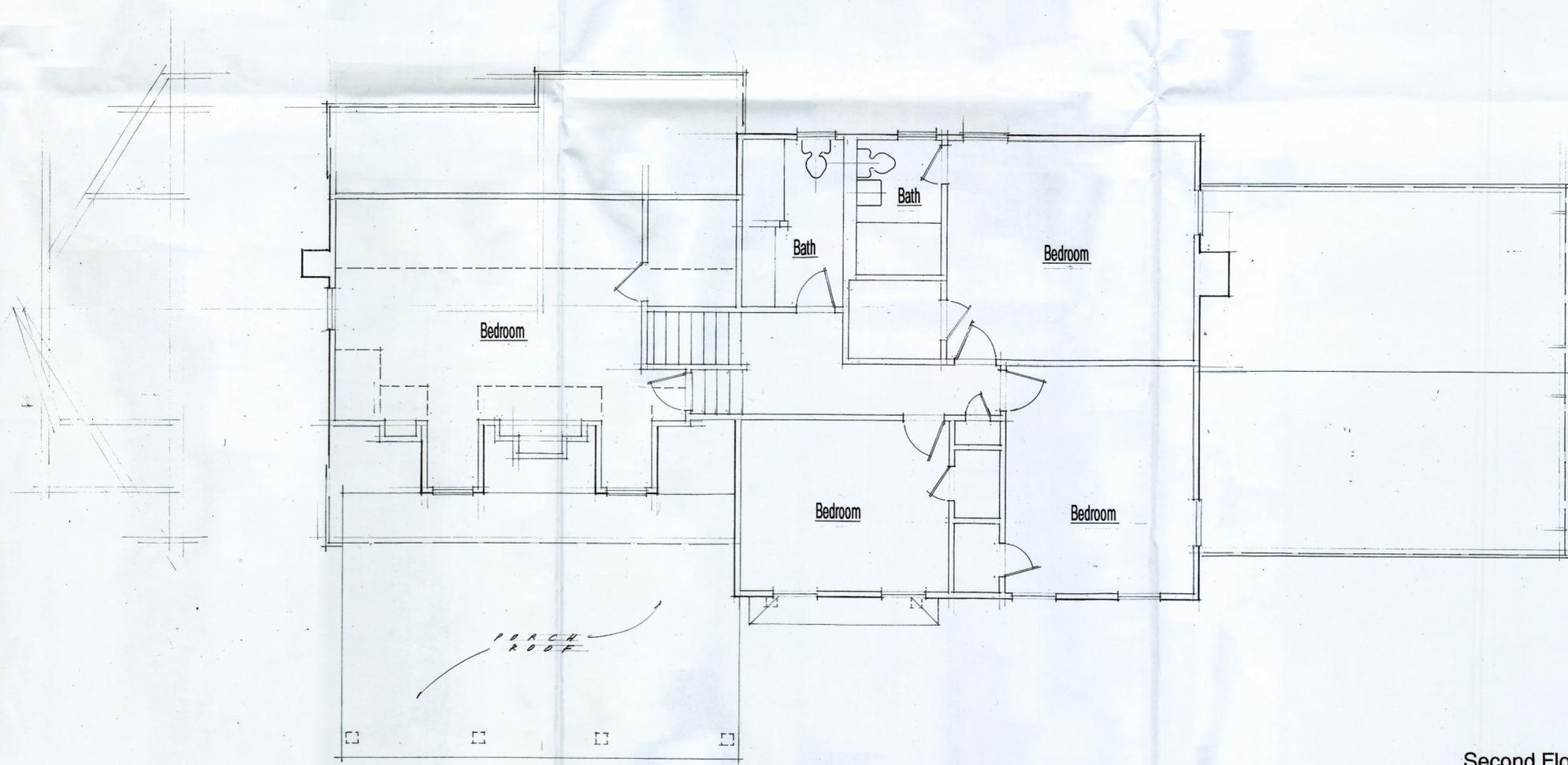
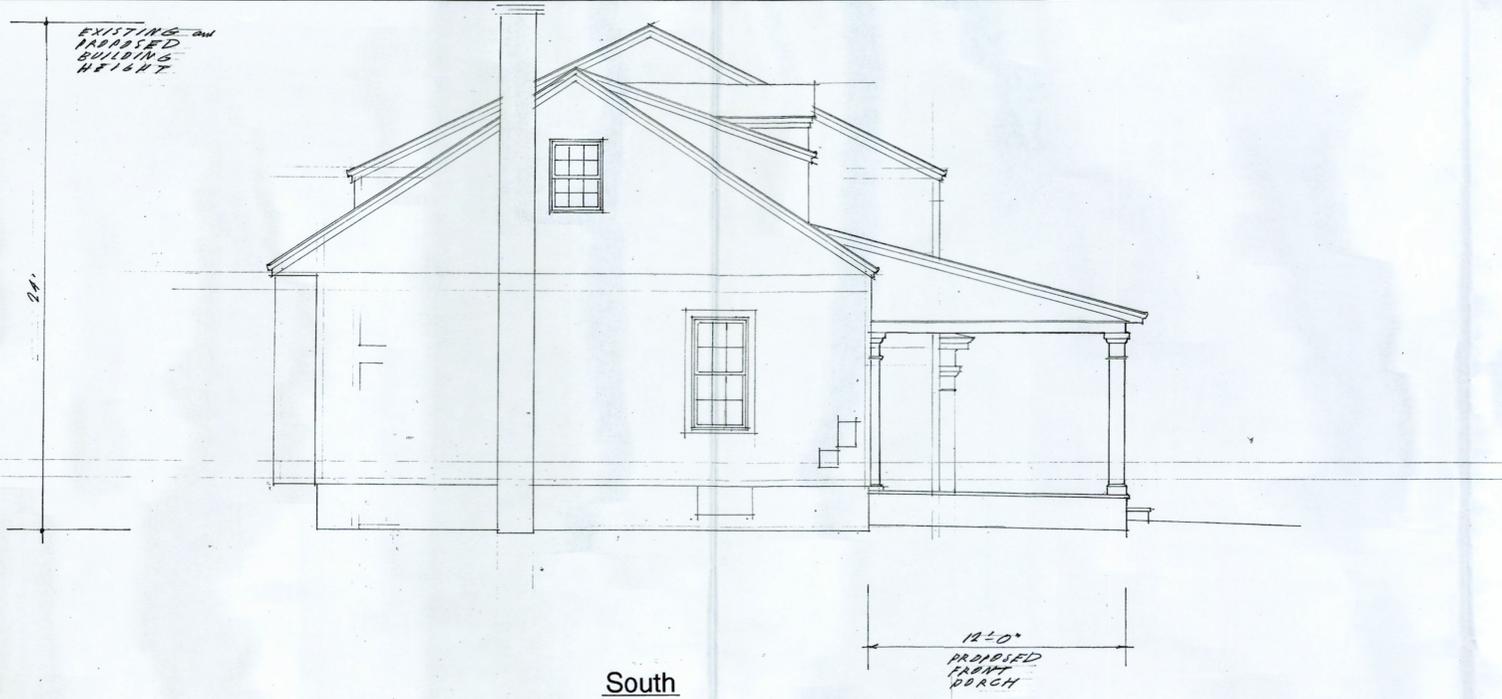
East

232'4"  
 PROPOSED  
 FRONT  
 PORCH



First Floor

Date	2 DEC 21
Scale	1/4" = 1'
Drawn	an
Job	2132
Sheet	2
Of	3 Sheets



Second Floor



REVISIONS	BY

**Jonathon E. Booth**  
 Architect  
 T 908 204-9527  
 F 908 204-9528  
 33 Bullion Road  
 Basking Ridge, New Jersey  
 07920

*Jonathon E. Booth*  
 Jonathon E. Booth  
 NJ Lic # AI 11475 00

**Porch Addition**  
 at  
**Nash Residence**  
 61 Archgate Road  
 Basking Ridge,  
 New Jersey  
 blk 7901 lot 8

Date 2 DEC 21  
 Scale 1/4" = 1'  
 Drawn an  
 Job 2132  
 Sheet **3**  
 Of 3 Sheets

# ADDITIONAL DOCS

EC

## TOWNSHIP OF BERNARDS ZONING BOARD OF ADJUSTMENT APPLICATION STATUS FORM

PLANS REPLACE EXISTING

Application No: ZB21-038 Block: 11201 Lot: 23 Zone: R-1

Applicant: BHATIA, KSHITIJ & NYATI SHAH

Address of Property: 11 PARKWOOD LANE

Description: "C" VARIANCE - POOL NOT LOCATED  
BEHIND REAR BUILDING LINE OF ADJACENT  
DWELLING

### APPLICATION CHECKLIST

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

### SCHEDULING

12.13.21 Original Submission Date  
1.27.22 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
5.27.22 Time to Act (45/95/120 days)

### HEARING

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.9.22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

### DISTRIBUTION

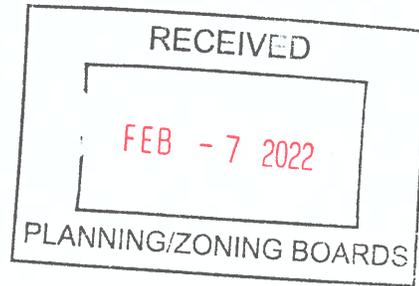
12.13.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

### NOTES



ENVIRONMENTAL  
TECHNOLOGY  
INC.

Environmental Consultants



February 4, 2022

SENT VIA EMAIL: kbhatia00@gmail.com

Mr. Kshitij Bhatia  
11 Parkwood Lane  
Basking Ridge, NJ 07920

Re: Wetlands/Transition Area Investigation  
11 Parkwood Lane  
Tax Map Block 11201, Lot 23  
Township of Bernards, Somerset County, New Jersey

Dear Mr. Bhatia:

Per your request, Environmental Technology Inc. has visited the above referenced property and conducted a partial wetlands delineation to determine the presence or absence of freshwater wetlands or their associated transition areas in proximity to the proposed construction of a pool, patio and covered porch. The limits of the disturbance for the project are depicted on the plans prepared by DJ Egarian & Associates, Inc., consisting of one sheet, entitled "Pool Location & Grading Plan for the Bhatia Residence," dated November 15, 2021, last revised February 2, 2022. This review was pursuant to the Freshwater Wetlands Protection Act Rules (N.J.A.C 7:7A).

Our methodology and findings are as follows:

### **STUDY METHODOLOGY**

The partial wetlands delineation was performed by David C. Krueger of Environmental Technology on January 25, 2022.

In accordance with the New Jersey Freshwater Wetlands Protection Act, and outlined by the New Jersey Department of Environmental Protection (NJDEP), the extent of the wetlands were determined by implementing the methodology that is currently accepted by the United States Environmental Protection Agency (USEPA), namely Federal Manual for Identifying and Delineating Jurisdictional Wetlands dated January 10, 1989 and supplements. This methodology states that for an area to be considered wetland all three of the following parameters must be present:

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1. Hydric Soils
2. A Predominance of Hydrophytic Vegetation
3. Hydrology

The determination of hydric soils in the field is made by the use of a manually operated soil sampler. Then a determination of hydric soils is made by using Munsell Soil Color Charts. Transects are made from the wetlands to the uplands to determine the point at which soils no longer were determined to be hydric. Hydric soils are those soils that have a chroma of less than or equal to 1 (when no mottling is present) or a matrix chroma of less than or equal to 2 when mottling is present.

When soils classified as a sand soil are encountered Munsell Soil Color Charts are not used exclusively. In these instances hydric determinations are also made by the presence of one or more of the following conditions: high organic matter content in the surface horizon, the streaking of subsurface horizons by organic matter, or the presence of organic pans.

In situations in which soils exhibit significant coloration due to the nature of the parent material (e.g. red shales) the soils often do not exhibit the characteristic chromas associated with hydric soils. In the above situations the Munsell Soil Color Charts cannot always be used to evaluate the hydric nature of the soil. In these cases their hydric nature according to the Soil Conservation Service (SCS), and the other criteria carry more weight.

Vegetation is classified according to the Eastern Mountains and Piedmont 2014 Regional Wetland Plant List prepared by the USACOE. The classifications, according to this list are as follows:

Obligate (OBL) Always found in wetlands under natural (not planted) conditions (frequency greater than 99%), but may persist in non-wetlands if planted there by man or in wetlands that have been drained, filled, or otherwise transformed into non-wetlands.

Facultative Wetland (FACW) Usually found in wetlands (67%-99% frequency), but occasionally found in non-wetlands.

Facultative (FAC) Sometimes found in wetlands (34%-66% frequency), but also occurs in non-wetlands.

Facultative Upland (FACU) Seldom found in wetlands (1%-33% frequency) and usually occurs in non-wetlands.

Non-wetland (UPL) Occurs in wetlands in another region, but not found (<1% frequency) in wetlands in the region specified. If a species does not occur in wetlands in any region, it is not on the list.

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According to the Federal Manual for Identifying and Delineating Jurisdictional Wetlands dated January 10, 1989, an area has hydrophytic vegetation, when under normal circumstances more than 50 percent of the composition of the dominant species from all strata are obligate wetland (OBL), facultative wetland (FACW), and/or facultative (FAC) species.

In the non-growing season hydrophytic vegetation is assumed to be present, since during this time of the year many herbaceous species are either unidentifiable or non-existent.

Hydrology is determined by the evidence of water, either visible or indicators that water was present. This is noted by visible factors such as drift lines, high water marks on trees, sediment deposits including encrusted detritus, displacement of leaf litter as the result of water flowage, and drainage patterns. During the growing season, saturated soil samples and/or the water table is noted as evidence of hydrology when they are encountered within 12 inches of the soil surface.

Seasonal high water table information is used, when available, from the Soil Conservation Service. Recent rainfall and/or other precipitation are also considered when evaluating hydrology.

In situations where the native conditions have been altered such as; cleared lands (e.g. agricultural lands), areas where the original soil has been altered (such as formerly plowed or filled lands), certain criteria are given more weight than others due to the lack of reliability of the affected parameter as an indicator.

## **FINDINGS**

The investigation found the wetlands in proximity to the proposed project to be located in the southeastern section of the lot within a small wooded area. These wetlands appeared to be isolated. There were no streams of watercourses observed on or adjacent to the site and none are depicted on or adjacent to the site according to New Jersey GeoWeb.

Based on our research, the on-site wetlands are classified as intermediate resource value according to the New Jersey Freshwater Wetlands Protection Act and Rules governing such found at N.J.A.C. 7:7A. The basis for this determination is that the wetlands are small and disjunct from any other habitats. In addition, any nearby watercourses are classified in the New Jersey Surface Water Quality Standards as FW-2, Non-Trout.

Based on our wetlands delineation and a review of the referenced development plan, no portion of the proposed project disturbance limit is within a wetland or wetland transition area.

Based on the methodology currently accepted by the NJDEP pursuant to N.J.A.C. 7:7A, there are no areas within the proposed area of disturbance for the project which are classified as freshwater wetlands or transition areas. Therefore, no NJDEP wetlands approval is required for the proposed project.

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The information provided is based on the most current information available and our best professional judgment. This letter does not consider pending or future legislation or regulations that may change the opinions provided.

Please do not hesitate to contact our office if you should have any questions regarding our findings.



Very truly,

ENVIRONMENTAL TECHNOLOGY INC.

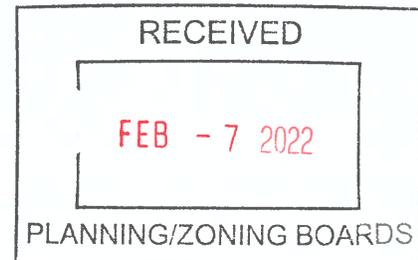
David C. Krueger, President  
Professional Wetland Scientist 000662  
Certified Wetland Delineator WDCP94MD03101146B

DCK  
cc: David J. Egarian, P.E. -via email  
22012/r/dck

Date: February 7, 2022

**SENT VIA E-MAIL**

Bernards Township Zoning Board of Adjustment  
277 South Maple Avenue,  
Basking Ridge, NJ 07920



**Subject: Bhatia and Shah-Bhatia Variance Application #ZB21-038**

The responses to items highlighted in the letter dated December 29, 2021 from the town planner, David Schley, are included below.

1. The complete dimensional statistic table (Form F) for the property, existing dwelling and proposed covered patio is attached.

The distance between the roof of the proposed covered porch and the west property line is 48' and is less than the required side yard setback of 50'. Thus, we are amending the variance application to include a variance for the side yard setback.

The following arguments are made in support of adding this variance: (i) the existing dwelling is 39.7' from the west property line and the proposed roof does not reduce the existing setback; (ii) the patio is an open structure and only the roof overhang extends within the setback; and (iii) the roof overhang is needed to cover access to a rear door, which aids usability and safety of the patio.

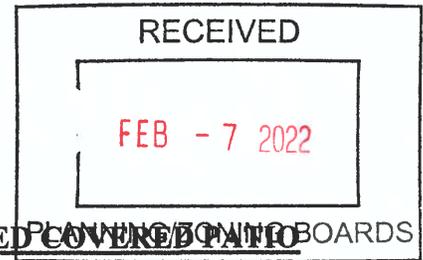
2. Wetland and Wetland transition area investigation was conducted by David Krueger of Environmental Technology Inc, and their letter dated February 4, 2022 is attached.

The letter confirms that no portion of the proposed project disturbance limit is within a wetland or wetland transition area.

Sincerely,

Kshitij Bhatia and Niyati Shah-Bhatia

BHATIA  
ZB21-030



**FORM F**

**DIMENSIONAL STATISTICS – DWELLING AND PROPOSED COVERED PATIO**

Relevant dimensional statistics shown for existing dwelling and proposed covered patio attached to the existing dwelling.

	REQUIRED	EXISTING	PROPOSED
LOT AREA	3 acres	2.1 acres	2.1 acres (no change)
LOT WIDTH	250'	200'	200' (no change)
FRONTAGE	125'	206'	206' (no change)
FRONT YARD SETBACK	100'	110'	110' (no change)
REAR YARD SETBACK	100'	250'	250' (no change)
COMBINED SIDE YARD	100'	92.9'	92.9' (no change)
SIDE YARD <sup>1</sup> (west side)	50'	39.7'	39.7' (no change)
SIDE YARD (east side)	50'	53.2'	53.2' (no change)
COVERAGE	15.0%	10.9%	12.8%
HEIGHT	35'	34'	34' (no change)
<i>IF REQUIRED,</i> GROSS FLOOR AREA	n.a.		
<i>IF REQUIRED,</i> FLOOR AREA RATIO	n.a.		
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA	n.a.		

n.a. = not applicable.

<sup>1</sup> The side wall of existing dwelling is 39.7' from the west property line. The proposed roof or the covered patio is 48' from the west property line.

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-038 Block: 11201 Lot: 23 Zone: R-1

Applicant: BHATIA, KSHITIJ & NYATI SHAH

Address of Property: 11 PARKWOOD LANE

Description: "C" VARIANCE - POOL NOT LOCATED  
BEHIND REAR BUILDING LINE OF ADJACENT  
DWELLING

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

12.13.21 Original Submission Date  
1.27.22 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
5.27.22 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.9.22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

12.13.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

MIGHT BE 2/17/22

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify): _____                  |

**1. APPLICANT**          Kshitij Bhatia and Niyati Shah-Bhatia    

Address:     11 Parkwood Ln, Basking Ridge, NJ 07920    

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile)     (917) 609-6530    

Email (*will be used for official notifications*):     kbhatia00@gmail.com    

**2. OWNER** (*if different from applicant*): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (*will be used for official notifications*): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (*will be used for official notifications*): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (*Engineer, Architect, etc. Attach additional sheet if necessary*):

Name:     Jeff Egarian     Profession:     Engineer    

Address:     271 Route 46W Suite G208 Fairfield, NJ 07004    

Phone: (973) 898-1401 \_\_\_\_\_ Email (*will be used for official notifications*):     jeffegarian@djegarian.com    

**5. PROPERTY INFORMATION:** Block(s):     11201     Lot(s):     23     Zone:     R-1    

Street Address:     11 Parkwood Ln Basking Ridge NJ 07920     Total Area (*square feet/acres*):     2.1 acre    

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (*if yes, explain or attach Board resolution*) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (*if yes, explain*) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

[ ] No [x] Yes (if yes, explain) 25' wide access easement in the rear of the property (shown on the survey).

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

Single family home in a 2.1 acre lot in R-1 zone. Property owners plan to build an in-ground pool in the rear yard.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):** \_\_\_\_\_

Seeking relief from Ordinance 21-18.1 "In all cases the pool shall be located behind the rear building line of existing residential structures on adjoining lots."

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

No confirming location due to the orientation of the building at the rear of the subject property. Proposed location near the dwelling allows better access, is safer for monitoring children and creates less disturbance (to impervious and tree cover). The pool is not detrimental to neighbors and is in line with the character of the neighborhood.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Kshitij Bhatia \_\_\_\_\_ and Niyati Shah-Bhatia \_\_\_\_\_ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Kshitij Bhatia and Niyati

Sworn and subscribed before me, this 9<sup>th</sup> day of DECEMBER, 2021.

[Signature]

Notary **CYNTHIA KIEFER**  
Notary Public - New Jersey  
Commission #2442187

**OWNERS SIGN HERE (IF APPLICANT IS NOT THE OWNER):**  
Expires 01/10/24

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary

**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	✓		

**SUBMIT ORIGINAL AND 16 COPIES**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: Kshitij Bhatia and Niyati Shah-Bhatia

Block: 11201 Lot: 23

Street Address: 11 Parkwood Ln, Basking Ridge, NJ 07920

I, Kshitij Bhatia, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: *Kshitij Bhatia* Date: 12/9/2021

**FORM F**

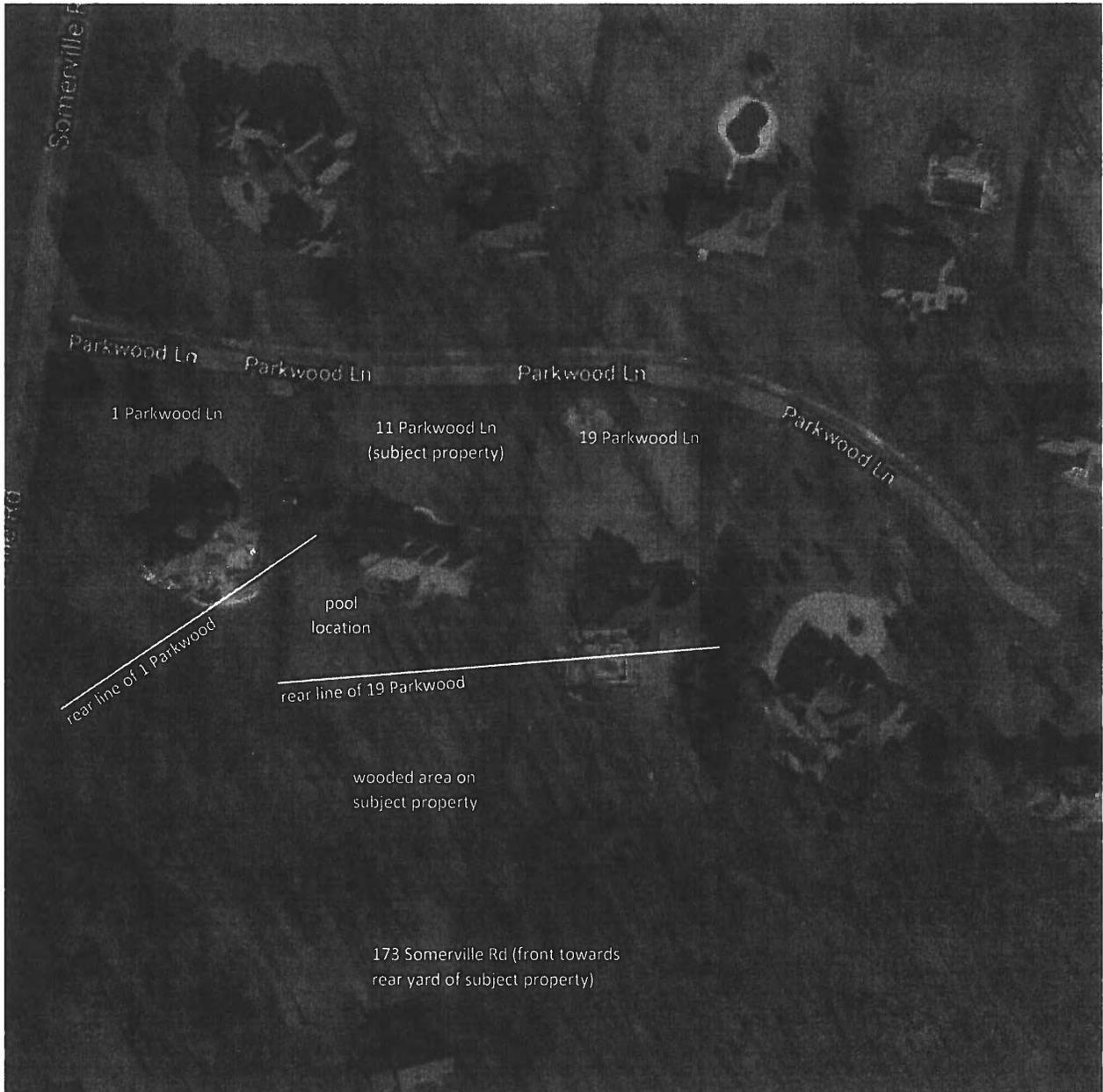
**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	n.a.		
LOT WIDTH	n.a.		
FRONTAGE	n.a.		
FRONT YARD SETBACK	n.a.		
REAR YARD SETBACK	20'	n.a.	223.3'
COMBINED SIDE YARD	n.a.		
SIDE YARD	20'	n.a.	20'
COVERAGE	15.0%	10.9%	12.8%
HEIGHT	n.a.		
<i>IF REQUIRED,</i> GROSS FLOOR AREA	n.a.		
<i>IF REQUIRED,</i> FLOOR AREA RATIO	n.a.		
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA	n.a.		

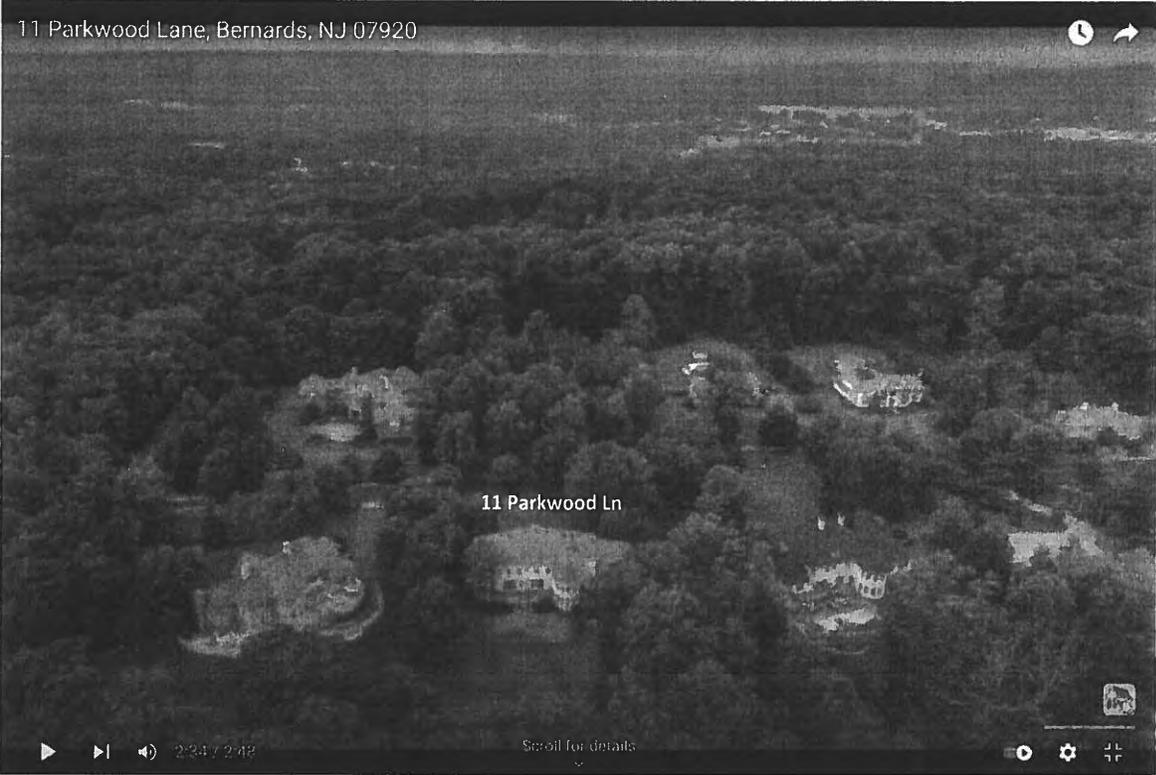
n.a. = not applicable

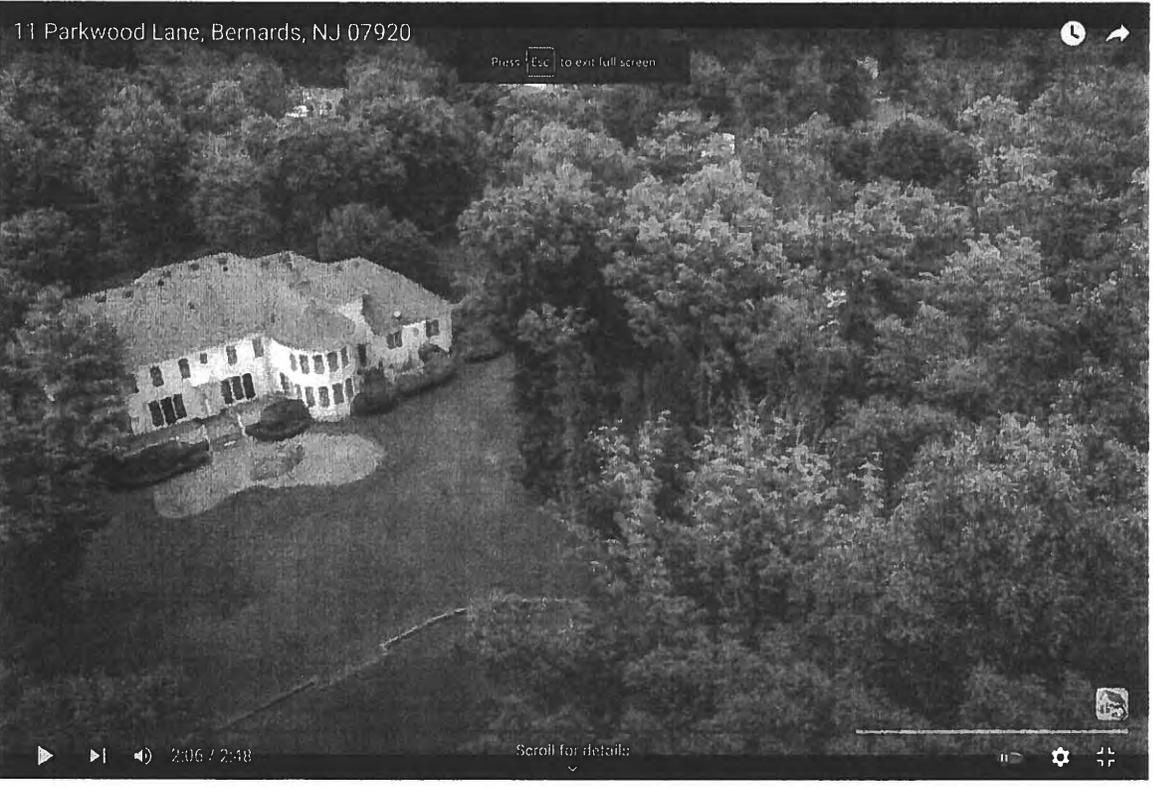
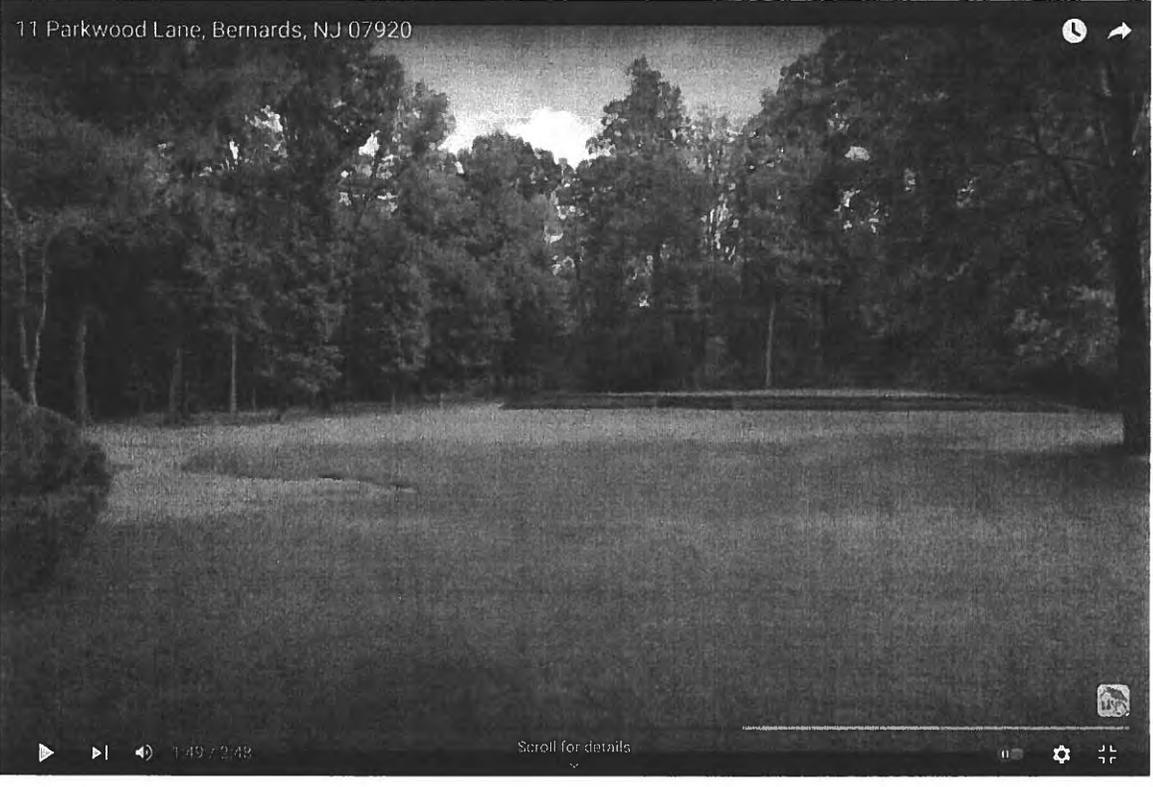
Relevant dimensional statistics shown for the proposed pool and surrounding patios.

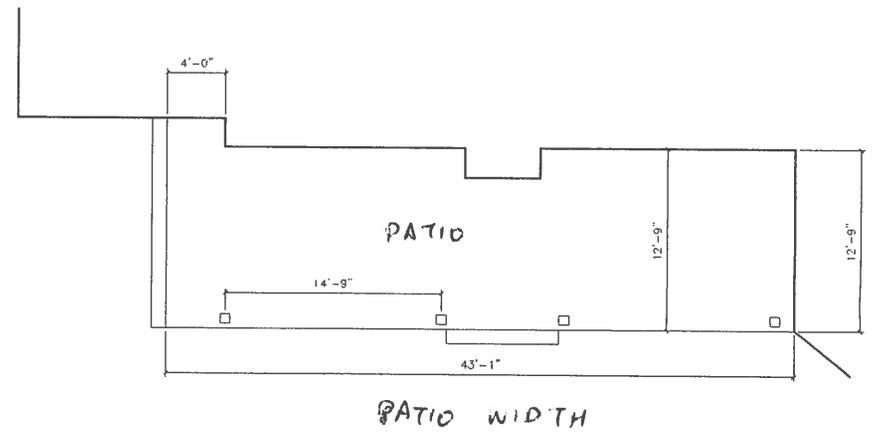
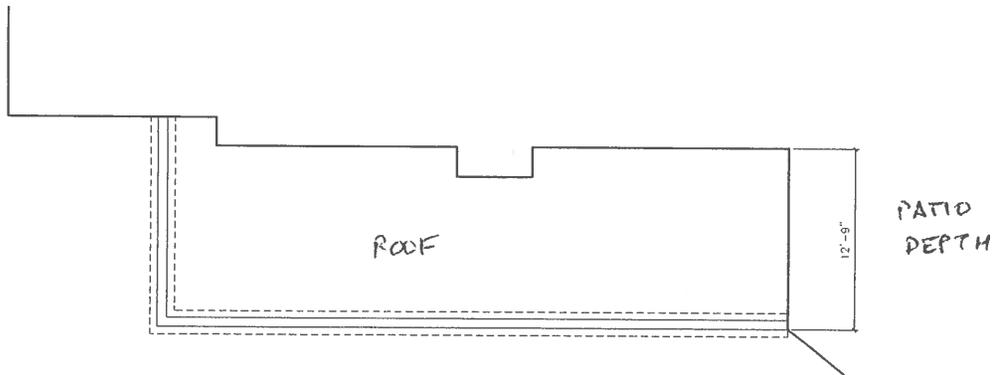
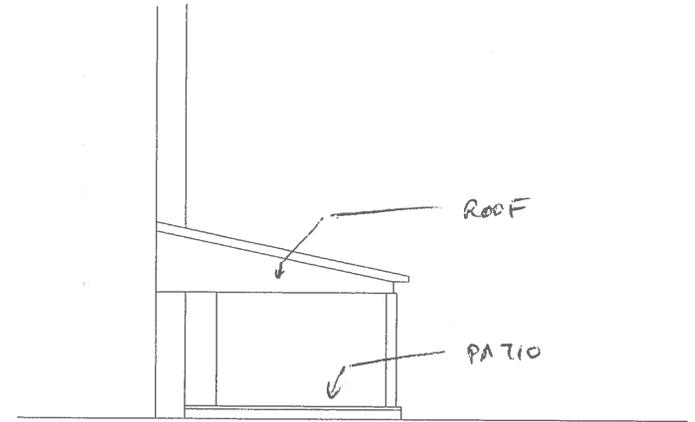
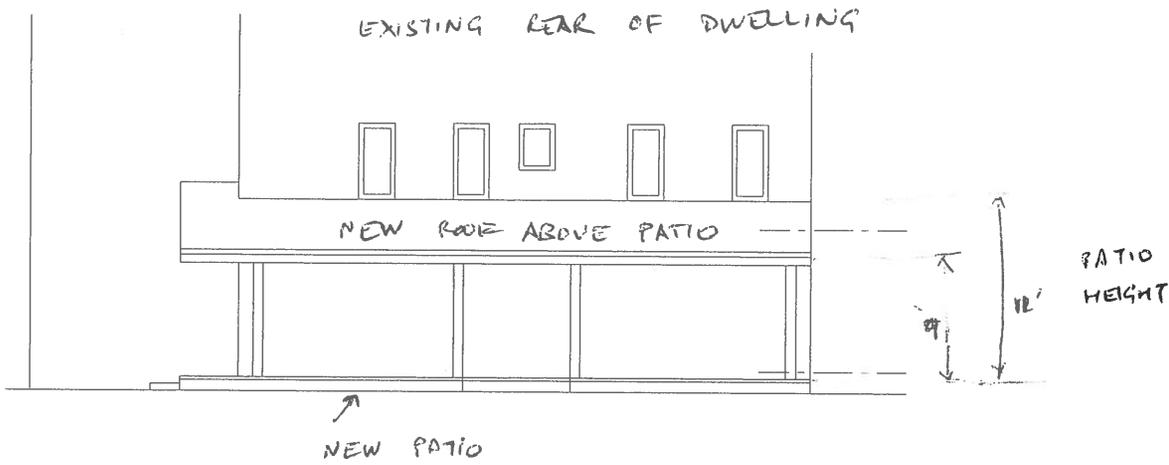
**11 Parkwood Lane and Adjoining Properties (Top View)**



**Property Pictures: 11 Parkwood Ln**









SCALE: 1"=40'  
ELEVATION DATUM PER NAVD'88  
CONTOUR AT 2' INTERVALS

PER FM#2729



235.47'  
S 72°17'30" W

25' WIDE ACCESS  
EASEMENT PER FM AND TM

(FM LOT 20.11)  
TM LOT 22  
BLOCK 11201

TM LOT 20  
BLOCK 11201

CHAINLINK FENCE

75' REAR SETBACK PER FM

TREE LINE

**SURVEY REFERENCES**

1. DEED BOOK 7118 PAGE 104
2. KNOWN AND DESIGNATED AS LOT 20.10 AS SET FORTH ON A CERTAIN MAP ENTITLED "GRAEMARE BLOCK 177, LOT 20, TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, STATE OF NJ" WHICH MAP WAS FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OCTOBER 5, 1989 AS MAP NO 2729.
3. TAX ASSESSMENT MAP OF THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY
4. VERTICAL DATUM PER NAVD'88

**GENERAL NOTES**

1. PROPERTY SUBJECT TO DOCUMENTS OF RECORD AND TO AN ACCURATE TITLE SEARCH.
2. THE SUBJECT PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, OR EXCEPTIONS, OR CONVEYANCES THAT MAY EXIST.
3. ONLY SURFACE CONDITIONS ARE SHOWN, NO RESPONSIBILITY IS TAKEN FOR BURIED PIPES, WIRES, SEPTIC, WELLS, UST'S, ETC.
4. THE SUBJECT PROPERTY IS SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTION OF SAID PROPERTY LYING WITHIN THE RIGHTS OF WAY OF THE ROADS SHOWN.
5. "A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM ULTIMATE USER PURSUANT TO P.L. 2003, c.14(N.J.S.A. 45:8-36.3) AND N.J.A.C.13:40-5.1(d).

METAL FENCE

20' SIDE SETBACK PER FM  
S 12°11'30" W  
407.07'

(FM LOT 20.10)  
TM LOT 23  
BLOCK 11201  
91,738.8 SF ±  
2.106 AC ±

496.20'  
N 12°11'30" E  
METAL FENCE  
30' SIDE SETBACK PER FM

(FM LOT 20.09)  
TM LOT 24  
BLOCK 11201

WOOD FENCE

WOOD FENCE

PAVER PATIO

SUMP PUMP

388 CHAINLINK CONC.

DECK

WOOD FENCE

386 WALL

2 STORY  
BRICK & STUCCO  
DWELLING  
#11

ASPHALT DRIVE

153.2

390

75' FRONT SETBACK PER FM

388

109.7

129.9

386

384

WELL

UTIL BOXES

380

A113.24'  
R925.00'

POB

93.00'  
N 87°36'44" W

PARKWOOD LANE  
(50' WIDE)

CAP FND.  
BM=377.91

**BOUNDARY  
TOPOGRAPHIC  
SURVEY**

BLOCK 11201 LOT 23  
11 PARKWOOD LANE  
TOWNSHIP OF BASKING RIDGE  
SOMERSET COUNTY, NEW JERSEY

REVISION:	DRAWN BY: AP
	CHECK BY: WTM
	DATE: 09/09/21
	SCALE: 1:40
	PROJECT: 11 PARKWOOD

**PAX** Surveying & Environmental Consultants, LLC  
271 US 46 West, SUITE G 208  
FAIRFIELD, NEW JERSEY 07004  
201-230-3521 bill@paxsurvey.com

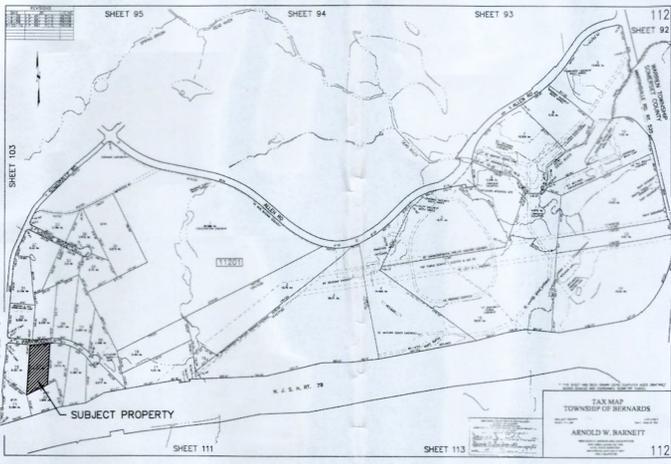
*[Signature]*  
**WILLIAM T. MANNING, PLS**  
NJ LICENSE NO. NJ24GS04060800  
CERT. OF AUTHORIZATION NO. 24GA28248200

**LEGEND**

- 87.65 Existing Spot Elevation
- - - Existing Contour
- 89.06 Proposed Spot Elevation
- - - Proposed Contour
- TW Proposed Top of Wall
- BW Proposed Bottom of Wall
- lw Existing Top of Wall
- lb Existing Bottom of Wall

**LEGEND**

- 87.65 Existing Spot Elevation
- - - Existing Contour
- 89.06 Proposed Spot Elevation
- - - Proposed Contour
- TW Proposed Top of Wall
- BW Proposed Bottom of Wall
- lw Existing Top of Wall
- lb Existing Bottom of Wall



AREA MAP

**ZONING DATA—POOL CONSTRUCTION**

Zone: R-1  
Block 11201 Lot 23  
Owner: Bhatia

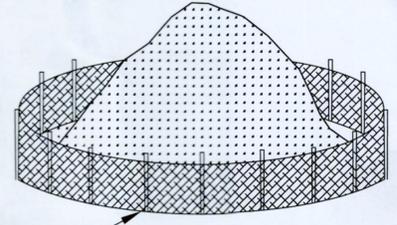
	REQUIRED	PROPOSED	Variance Req'd
Side Yard Setback to Patio	20'	20.0'	No
Rear Yard Setback to Patio	20'	223.3'	No
Setback from House to Pool	10'	29.1'	No
Maximum Lot Coverage	15%	12.8%	No

Variance Required:  
Ord 21.18.1 (pool to be behind rear line of adjacent properties)

**LOT COVERAGE**

Lot Area	Item	Existing (sf)	Proposed (sf)	Variance	
91,739	House/Covered Porch	4,332	4,332		
	Driveway	3,427	3,427		
	Front Walk	746	746		
	Rear Patio/Walks	1,479	294		
	A/C pads	20	20		
	Prop. Pool/Coping		924		
	Prop. Spa		64		
	Prop. Pool Patio		1,390		
	Prop. Covered Porch		487		
	Equip Pads		32		
	10,004				
		Max. Lot Coverage	10.9%	12.8%	No

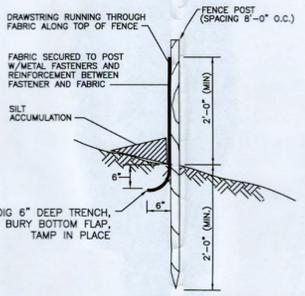
Net Increase in Impervious Coverage = 1,712 sf - Pool Surface Area (800 sf) = 912 sf



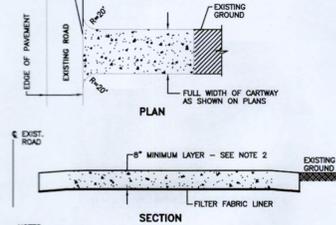
TOPSOIL STOCK PILE DETAIL



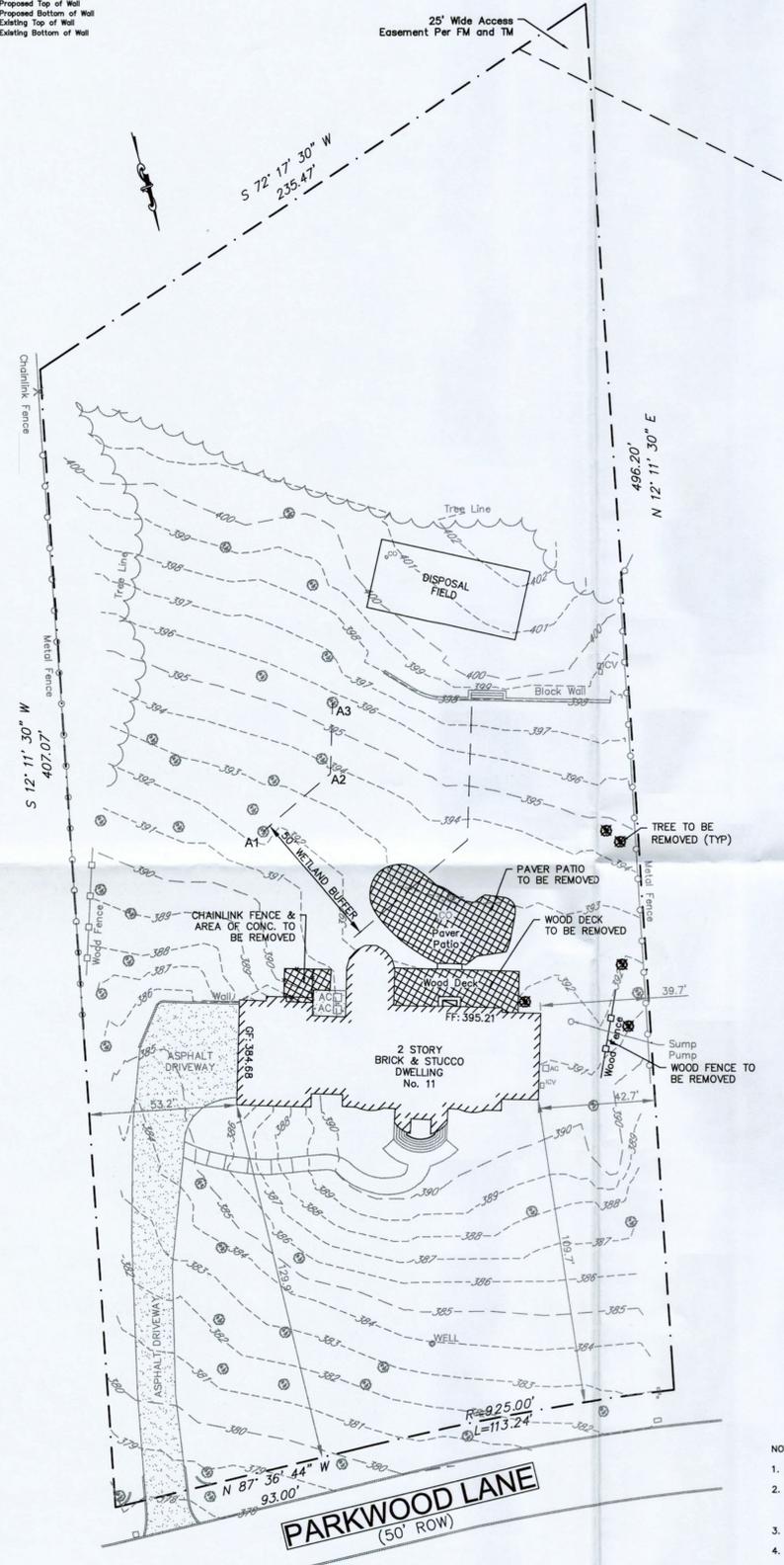
GRASS SWALE DETAIL



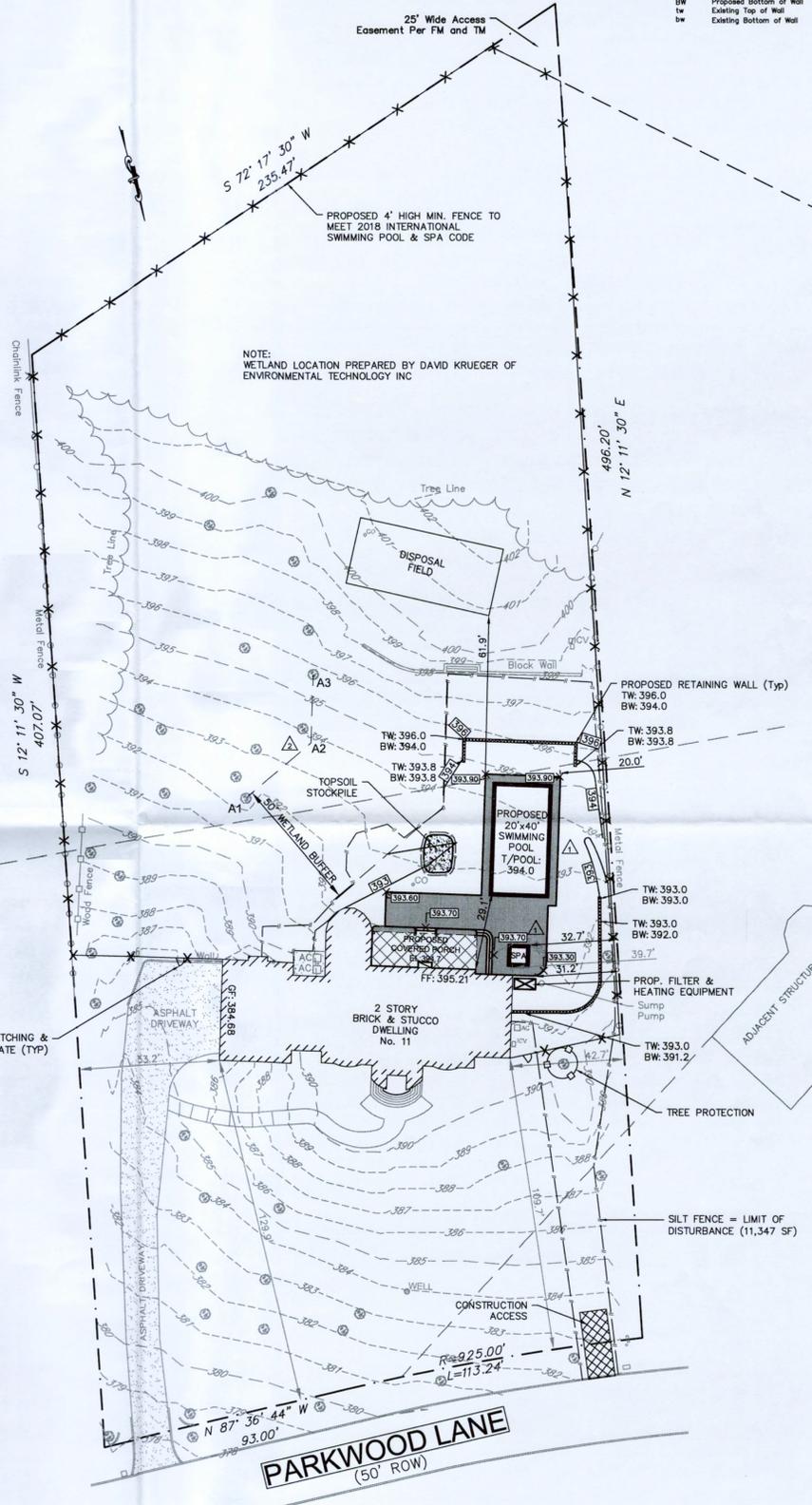
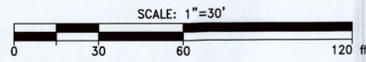
SILT FENCE DETAIL



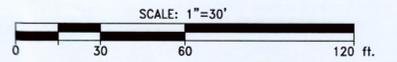
TRACKING PAD DETAIL



EXISTING CONDITIONS PLAN



POOL LOCATION & GRADING PLAN



- NOTES:
- EXISTING BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY PAX SURVEYING, DATED 09.09.21.
  - OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF THE POOL.
  - CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT OF THE POOL BOTH VERTICALLY AND HORIZONTALLY.
  - POOL SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/NPSI-5 PER THE INTERNATIONAL RESIDENTIAL CODE.
  - FENCE SHALL BE INSTALLED A MINIMUM OF 12" INSIDE THE PROPERTY LINE. HOME OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE LOCATION AND CONSTRUCTION.
  - IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ARBORIST TO ASSESS THE DAMAGE TO THE TREES.
  - DRIVEWAY TO BE UTILIZED FOR CONSTRUCTION ACCESS.
  - POOL EMPTYING PROCEDURES SHALL BE IN ACCORDANCE WITH NJDEP REGULATIONS.
  - CONTRACTOR SHALL LOCATE EXISTING SEPTIC UTILITIES PRIOR TO MOBILIZATION. CONTRACTOR SHALL HAND DIG IN THE AREAS IN CLOSE PROXIMITY TO SEPTIC TANKS AND LATERALS. HEAVY MACHINERY SHALL NOT BE OPERATED NEAR SEPTIC.

- REVISION
- | NO. | DATE     | APPROVED |
|-----|----------|----------|
| 1   | 12.07.21 | DJE      |
| 2   | 02.02.22 | DJE      |

DATE	APPROVED
12.07.21	DJE
02.02.22	DJE

DESIGNER: JDE  
DRAWN BY: JDE/JS  
CHECK BY: DJE  
DATE: 11.15.21  
SCALE: 1" = 30'  
PROJECT NO.: 21278

**DJ EGARIAN & ASSOCIATES Inc.**  
Civil/Mechanical/Environmental Engineering Services  
271 Route 46 Suite G208, Fairfield, NJ 07004  
Ph:(973)898-1401 Fax:(862)702-3017 www.djegarian.com

**POOL LOCATION & GRADING PLAN FOR THE BHATIA RESIDENCE**  
11 PARKWOOD LANE  
BLOCK 11201 LOT 23  
TOWNSHIP OF BASKING RIDGE, SOMERSET COUNTY, NJ

DRAWING NO: 1  
SHEET 1 OF 1

Z:\2021 Project Folders\21278 - Bhatia, kahlil\21278\_020222.dwg - 24x36, 2/8/2022 11:06:14 AM, JeffEgarian, 1:1

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB22:001 Block: 6701 Lot: 17 Zone: R-4

Applicant: YOCLUM, GEOFFREY G. & MICHELLE A.

Address of Property: 58 PENWOOD ROAD

Description: (C) VARIANCE FOR LOT COVERAGE  
(ADDITION TO EXISTING DWELLING)

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

1/11/22 Original Submission Date  
2/25/22 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
6/25/22 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.9.22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

1/11/22 \_\_\_\_\_ Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify): _____                  |

**1. APPLICANT:** GEOFF and MICHELLE YOCHUM

Address: 58 PENWOOD Road BASKING RIDGE, NJ 07920

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile) 908 313-5127 (6X)

Email (will be used for official notifications): macheh@gmail.com  
gyochum@gmail.com

**2. OWNER (if different from applicant):** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**

Name: JONATHAN E. BOOTH Profession: ARCHITECT

Address: 33 BILLION Road BASKING RIDGE, NJ 07920

Phone: 908 304-3782 Email (will be used for official notifications): jonbootharc@gmail.com

**5. PROPERTY INFORMATION:** Block(s): 6701 Lot(s): 17 Zone: R-4

Street Address: 58 PENWOOD Road Total Area (square feet/acres): 40,649 sq ft  
- 93 ac

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

[] No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

*The existing 10,649 sq ft property contains the following structures:  
a) a 2 story, 5 br residence at 3459 st, b) a swimming pool and related sheds  
The proposed addition provides an expanded kitchen.*

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):** \_\_\_\_\_

*Variance relief is sought from the following ord. section:  
Sec. 21-15.1(d)1, Table 502 (Ch 21 attach 7) Specifically, to permit lot coverage  
of 16.27% where a maximum of 15% is allowed, and 15.57% exists.*

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

*see attached*

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Geoffrey Yochum and Michelle Yochum hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and [Signature]

Sworn and subscribed before me, this 8<sup>th</sup> day of January, 2022

[Signature]  
Notary

**MANJUSREE R. REVURI**  
NOTARY PUBLIC OF NEW JERSEY  
ID # 50001769  
My Commission Expires 8/13/2024

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL REQUEST:**

The existing 40,649 sf property contains the following structures:

two story, five bedroom residence of sf  
swimming pool, with associated sheds

The proposed addition provides an expanded kitchen

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS:**

Variance relief is sought from the following ordinance section:

21-15.1(d)1, Table 501 (Ch 21 attachment 7)

Specifically, Lot Coverage:

To permit 16.24%, where a maximum of 15% is allowed, and 15.57% exists

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

**1. Modest nature of proposed improvement**

The proposed one story addition (268 sf) is small in scale.

**2. Effective buffering of residence from adjoining neighbors**

The residence is visually screened from neighboring residences, with a dense evergreen buffer around perimeter of property.

**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: GEORGE AND MICHELLE YOCHUM

Block: 6701 Lot: 17

Street Address: 58 PENWOOD ROAD

I, Michelle + Geoff Yochum owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: 

Date: 1/5/2022

YOUNG RESIDENCE  
 53 PENWOLD Road  
 BLK 6701 LOT 17

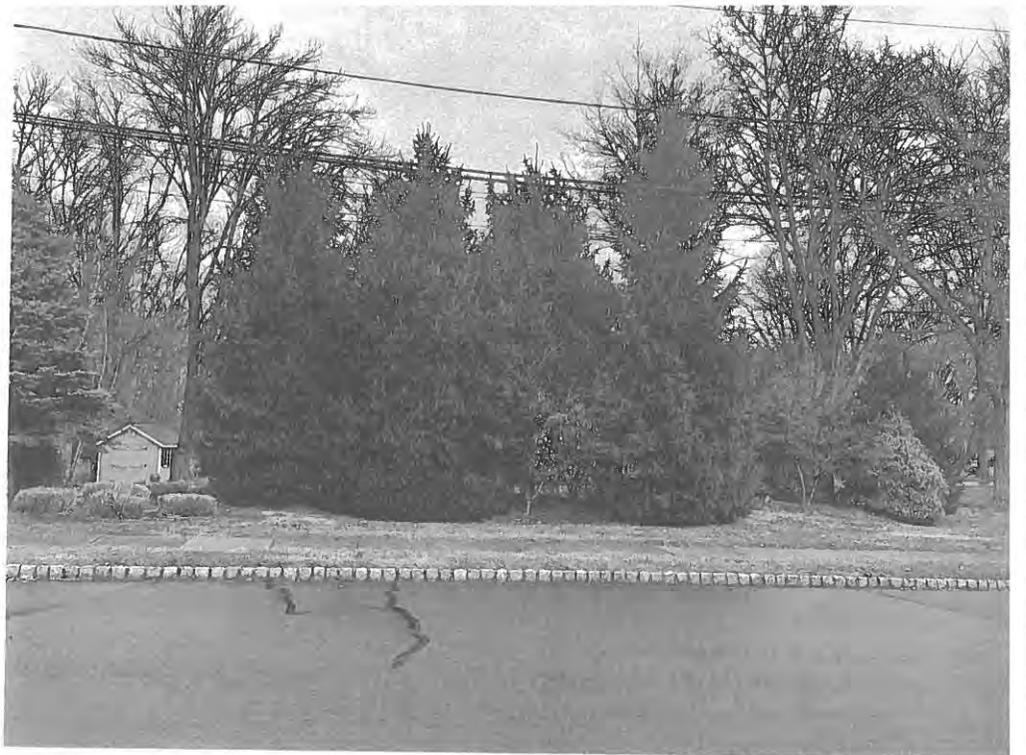
FORM F

SUBMIT 17 COPIES TOTAL

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 AC 43,560 sq	0.93 AC 40,649 sq	0.93 AC 40,649 sq
LOT WIDTH	200'	175'	175'
FRONTAGE	100'	310'	310'
FRONT YARD SETBACK	75'	77.8' @ Penwd 76.4' @ Oxlow	77.8' @ Penwd 76.4' @ Oxlow
REAR YARD SETBACK	75'	95'	81'
COMBINED SIDE YARD	50'	1/4 corner lot	1/4 corner lot
SIDE YARD	20'	30.5'	30.5'
COVERAGE	15% 6024 sq	15.57% 6255 sq	16.24% 6523 sq
HEIGHT	2 1/2 st 35'	2 st 29'	2 1/2 st 29'
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

REQUIRE  
 VARIAN.



TOKUM

**APPENDIX D, ARTICLE III**

**Checklist**

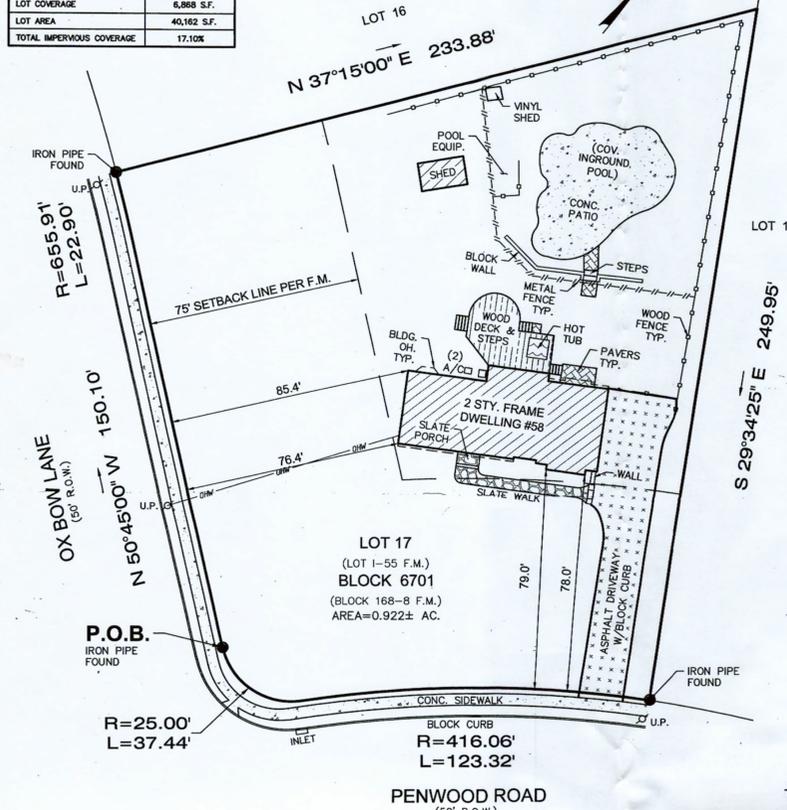
**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

**\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\***

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	



IMPERVIOUS COVERAGE	
DESCRIPTION	EXISTING/PROPOSED
DRILLING COVERAGE	2,077 S.F.
DRIVEWAY	1,901 S.F.
CONCRETE POOL PATIO	1,736 S.F.
WOOD DECK & STEPS	613 S.F.
SHEDS	188 S.F.
PAVER WALK & PATIO	156 S.F.
WALLS & CURBS	147 S.F.
LOT COVERAGE	6,868 S.F.
LOT AREA	40,162 S.F.
TOTAL IMPERVIOUS COVERAGE	17.10%



**Zoning Data**  
zone district R4 single family residence

Lot Area	Required	Existing	Proposed
1 ac	0.922 ac	0.922 ac	0.922 ac
43,560 sf	40,162 sf	40,162 sf	40,162 sf

Front Yard	Side Yard	Side Yard Combined	Rear Yard	Building Height	Lot Coverage	Max
75'	20'	50'	75'	35'	15%	(6024 sf)
78.0' @ Pen 76.4' @ Oxb	30.5'	not applicable, corner lot	95'	29'	15.57%	(6255 sf)
79.3' @ Oxb proposed	30.5'		81'	29'	16.24%	(6523 sf)
				2 story		requires variance 268 sf added

**Lot Coverage Calculations**

	Existing	Proposed
Dwelling	2077	2077
Driveway	1951	1951
Proposed Addition	0	268
Pool and Surround	1736	1736
Deck/Steps	(613)	(747) exempt
Sheds	188	188
Paver Walk/Patio	156	156
Walls and Curbs	147	147
	6255 (15.57%)	6523 (16.24%)

- Notes:**
- Property is served by natural gas, public water and sewer
  - This project requires the removal of no trees
  - There are no know regulated wetlands or riparian zones impacted by this project
  - Existing and proposed exterior decks do not contribute to coverage calculations
  - Total Land Disturbance: 700 approx sf

**Bernards Township**  
Parcel Offset List

Target Parcel(s): Block-Lot: 6701-17  
YOCHUM, GEOFFREY & MICHELLE  
58 PENWOOD RD

13 parcels fall within 200 feet of this parcel(s).

- |  |  |
|--|--|
| Block-Lot: 6704-2<br>MORETTI, NICHOLAS & JEAN B<br>25 OXBOW LN<br>BASKING RIDGE NJ 07920<br>RE: 25 OXBOW LN        | Block-Lot: 6701-19<br>BRIDGE, ANDREW W & CHRISTINE M<br>68 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 68 PENWOOD RD     |
| Block-Lot: 6704-1<br>LAUX, JEFFREY & ASHLEY<br>31 OXBOW LN<br>BASKING RIDGE NJ 07920<br>RE: 31 OXBOW LN            | Block-Lot: 6701-18<br>POST, JUSTIN & HILLARY<br>64 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 64 PENWOOD RD             |
| Block-Lot: 6703-10<br>EVANS, MICHAEL S & JULIE I<br>55 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 55 PENWOOD RD   | Block-Lot: 6701-16<br>CARGO, PAUL H & LINDA G<br>28 OXBOW LN<br>BASKING RIDGE NJ 07920<br>RE: 28 OXBOW LN                |
| Block-Lot: 6703-9<br>WILSON, WILLIAM & DONNA<br>49 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 49 PENWOOD RD       | Block-Lot: 6701-15<br>LOFGREN, SARAH & STEPHEN<br>22 OXBOW LN<br>BASKING RIDGE NJ 07920<br>RE: 22 OXBOW LN               |
| Block-Lot: 6703-12<br>MCCARTHY, JOSEPH R & GINDY D<br>71 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 71 PENWOOD RD | Block-Lot: 6701-9<br>MASTRANGELO, JEFFREY & AMANDA<br>27 ADDISON DR<br>BASKING RIDGE NJ 07920<br>RE: 27 ADDISON DR       |
| Block-Lot: 6703-11<br>DELEONARDIS, ANN<br>63 PENWOOD RD<br>BASKING RIDGE NJ 07920<br>RE: 63 PENWOOD RD             | Block-Lot: 6701-8<br>LAMBERT, MATTHEW J & MIHM, KRISTINE<br>33 ADDISON DR<br>BASKING RIDGE NJ 07920<br>RE: 33 ADDISON DR |
|  | Block-Lot: 6701-7<br>FELICITO, JAMES J & NANCY R<br>41 ADDISON DR<br>BASKING RIDGE NJ 07920<br>RE: 41 ADDISON DR         |

Date Printed: 10/27/2021 Page 1 of 2

**Owners**  
Geoffrey and Michelle Yochum  
58 Penwood Road  
Basking Ridge, New Jersey  
07920  
908 313-5127 (gy cel)  
gyochum@gmail.com  
macheh@gmail.com

**Area, sf**

	Existing	Addition	Proposed
First Floor	1367	268	1635
Second Floor	1824	0	1824
Attached Garage	688	0	688
<b>Total</b>	<b>3191</b>	<b>268</b>	<b>3459</b>

- Building Data**
- Notes:
- Volume of Addition: 4105 cf
  - 2018 IRC NJ Edition Use Classification: R5 single family
  - 2018 IRC NJ Edition Construction Type: 5B unprotected
  - Design Live Loads per 2018 IRC NJ Section R301.5:
    - Attics without storage: 10 psf
    - Attics with limited storage: 20
    - Decks: 40
    - Habitable attics and served with fixed stairs: 30
    - Rooms other than sleeping rooms: 40
    - Sleeping rooms: 30
    - Stairs: 40
  - Project Description:
    - one story, 268 sf addition to the first floor
    - related interior alterations, including comprehensive kitchen remodel
    - expansion of an existing exterior deck
  - Building Height: Existing and Proposed 2 st, 29'
  - The residence is served by the following:
    - public water and sewer
    - natural gas service
    - overhead electrical supply

PREPARED FOR: GEOFF YOCHUM

CERTIFICATE OF AUTHORIZATION: 24628220800

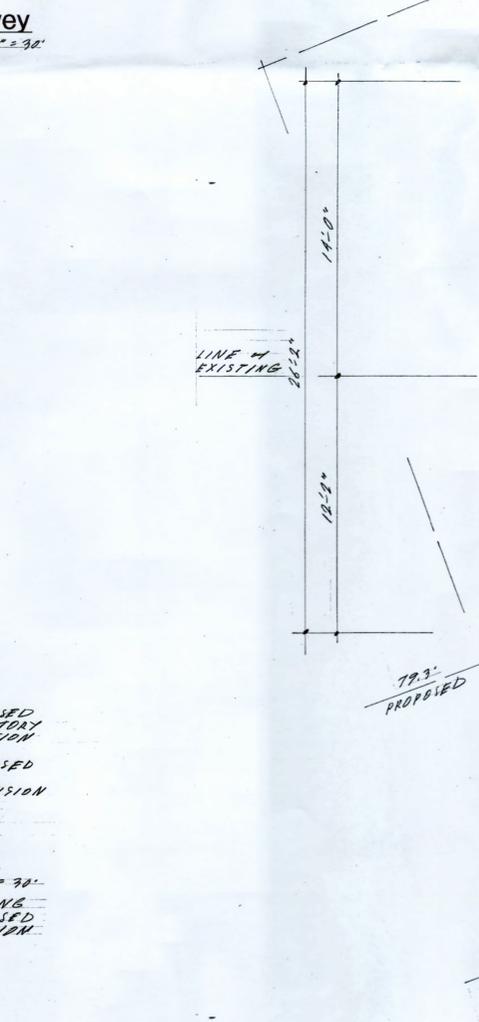
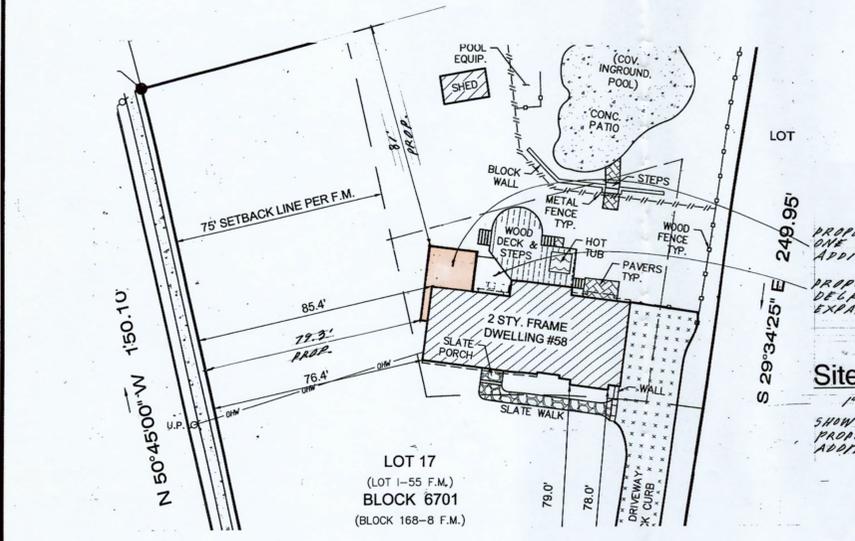
**MORGAN**  
engineering & surveying  
www.morganengineeringllc.com

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691

**SURVEY OF PROPERTY**

LOT 17 BLOCK 6701  
TOWNSHIP OF BERNARDS  
COUNTY OF SOMERSET NEW JERSEY

Scale: Drawn By: Date: JOB # CAD File # Sheet #



Basement

REVISIONS	BY

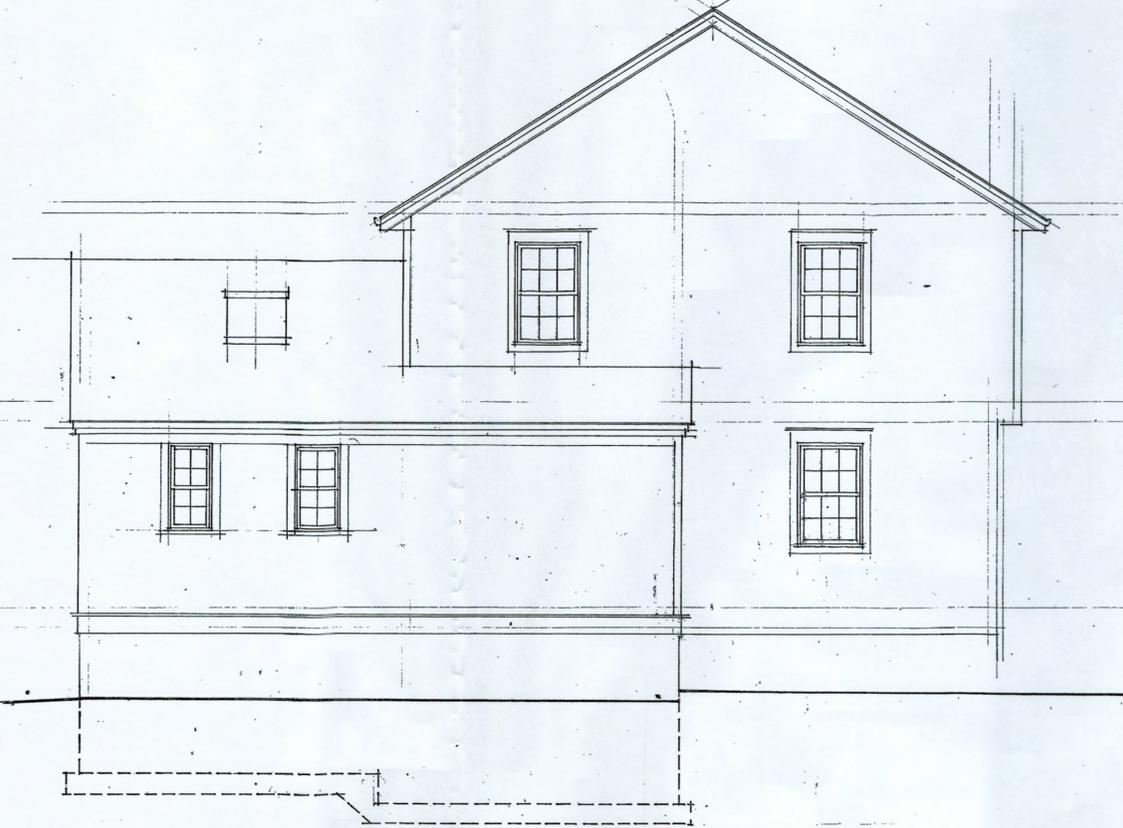
**Jonathan E. Booth**  
Architect  
T 908 204-9527  
F 908 204-9528  
33 Bullion Road  
Basking Ridge, New Jersey  
07920

*Jonathan E. Booth*  
Jonathan E. Booth  
NJ lic # AI 11475 00

Addition and Alteration to

**Yochum Residence**  
58 Penwood Road  
Basking Ridge, New Jersey  
blk 6701 lot 17

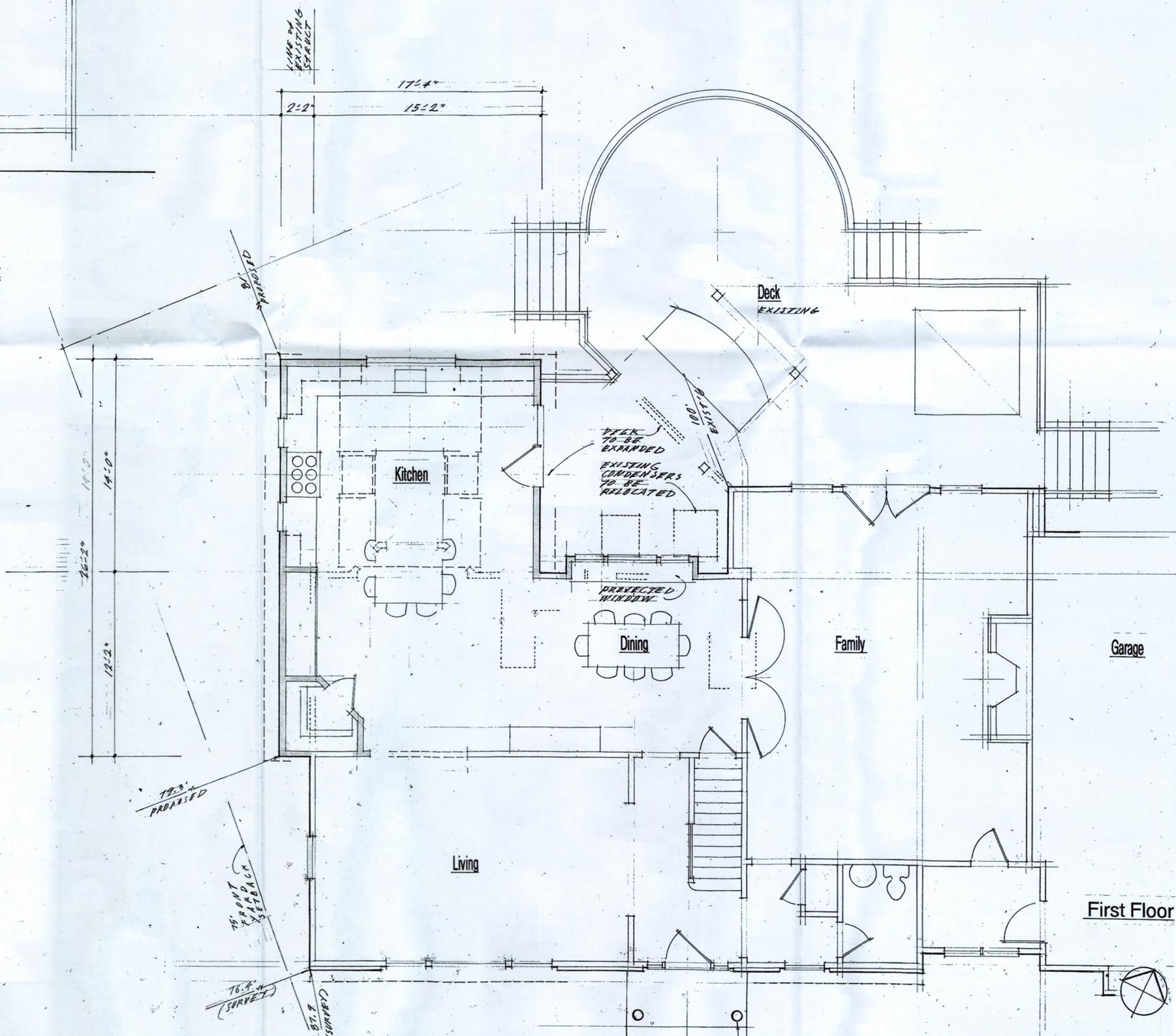
Date 7 JAN 22  
Scale 1/4" = 1'  
Drawn Jm  
Job 2103  
Sheet 1  
Of 3 Sheets



West



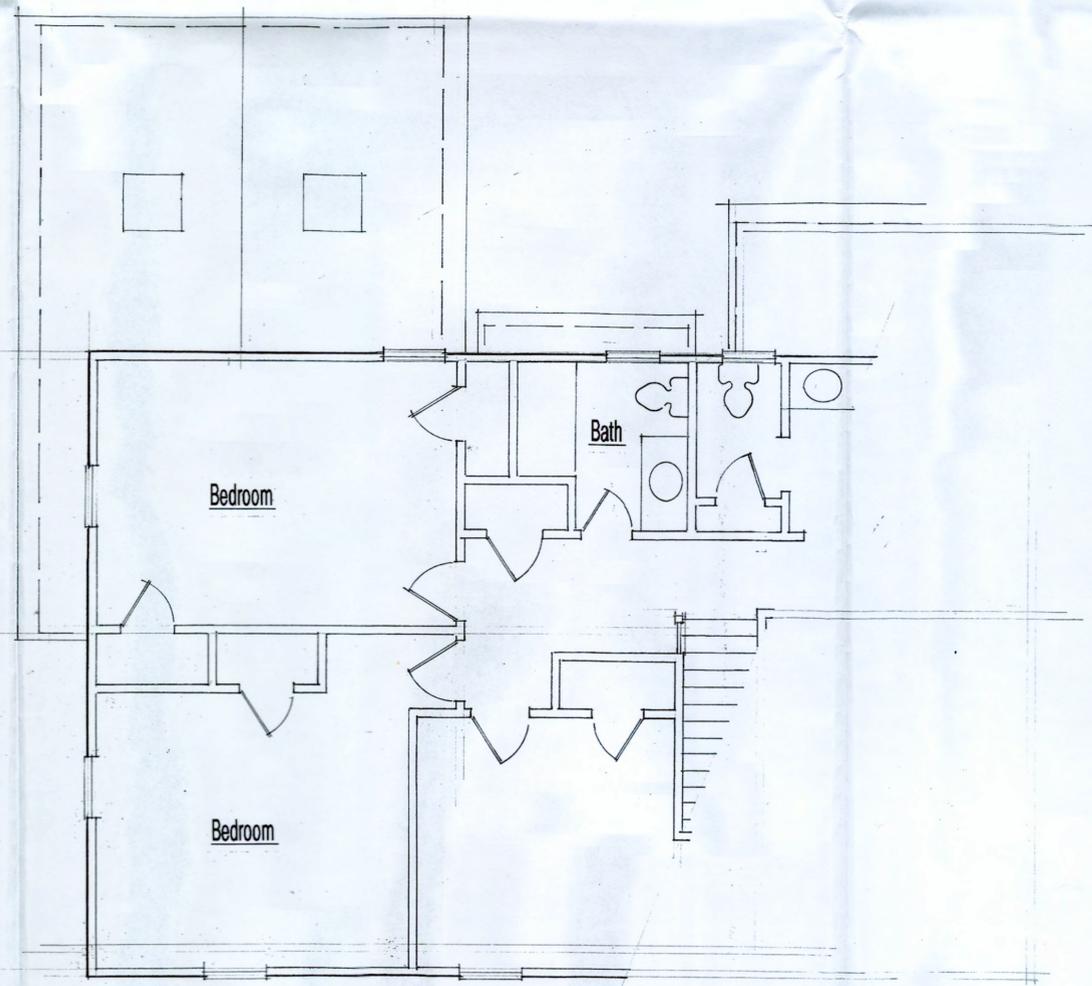
South



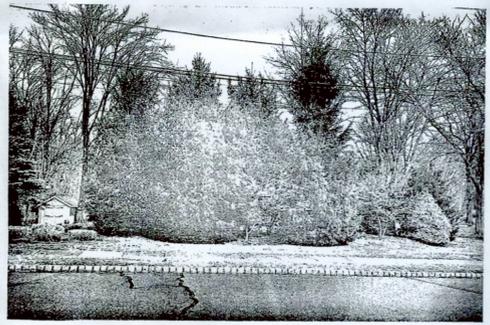
First Floor



North



Second Floor



**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB22-003 Block: 9501 Lot: 29 Zone: PRD-5

Applicant: MALONEY, KARL & SHEEREN

Address of Property: 109 WOODMAN LANE

Description: VARIANCE TO ALLOW CONSTRUCTION OF AN IN-GROUND POOL NOT LOCATED BEHIND THE REAR BUILDING LINES OF ADJACENT DWELLINGS

**APPLICATION CHECKLIST**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9                                 | <input checked="" type="checkbox"/> Architectural Plans        |
| <input checked="" type="checkbox"/> Site Visit Consent (A)              | <input checked="" type="checkbox"/> Survey                     |
| <input type="checkbox"/> Ownership Form (B)                             | <input checked="" type="checkbox"/> Photographs                |
| <input checked="" type="checkbox"/> 200' Property Search List (C)       | <input checked="" type="checkbox"/> Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> Tax Certification (D)               | <input checked="" type="checkbox"/> Application Fee            |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> Escrow Deposit             |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> Imaging Fee                |
| <input type="checkbox"/> Contributions Disclosure Form (G)              | <input type="checkbox"/> Tax Map Revision Fee                  |
|   | <input checked="" type="checkbox"/> Checklist                  |

**SCHEDULING**

- 1/21/22 Original Submission Date
- 3/7/22 Completeness Deadline (45 days)
- \_\_\_\_\_ Incomplete Date
- \_\_\_\_\_ Resubmission Date
- \_\_\_\_\_ Date Complete
- 7/15/22 Time to Act (45/95/120 days)

**HEARING**

- \_\_\_\_\_ Notice to Property Owners
- \_\_\_\_\_ Date of Publication
- \_\_\_\_\_ Completeness Hearing
- 3/9/22 Public Hearing
- \_\_\_\_\_ Carried to Date
- \_\_\_\_\_ Decision - Approved/Denied
- \_\_\_\_\_ Resolution Memorialized
- \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

- 1/24/22 Environmental Comm
- \_\_\_\_\_ Fire Official
- \_\_\_\_\_ LCFAS
- \_\_\_\_\_ Police

**NOTES**

## TOWNSHIP OF BERNARDS 2020 ZONING BOARD OF ADJUSTMENT APPLICATION

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): |
|--|--|

**1. APPLICANT:** Kari Maloney + Sharon Maloney  
 Address: 109 Woodman Ln Basking Ridge NJ 07920  
 Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile) 908 716 3860  
 Email (will be used for official notifications): adudeck@ppas.com / tajdds@gmail.com

**2. OWNER (if different from applicant):** MA  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** MA  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**  
 Name: G. Gloride + Associates Profession: Professional Engineer  
 Address: PO Box 449 Oak Ridge NJ 07438  
 Phone: 973-677-9247 Email (will be used for official notifications): gregv@rydtconsulting.com

**5. PROPERTY INFORMATION:** Block(s): 9501 Lot(s): 29 Zone: PRD-5 of PUD5  
 Street Address: 109 Woodman Ln Total Area (square feet/acres): 2.02

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No [ ] Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No [ ] Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:**

Residential / Residential inground pool + pool cabana.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

Ordinance section # 21.18.1, pool is required to be behind line of left side property owner. (adjoining lot)

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

Residential Property, the homeowner to the left sits much further back, so due to this ordinance we are unable to comply

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Karl Maloney and Sharon Maudney hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and [Signature]

Sworn and subscribed before me, this 7<sup>th</sup> day of November, 2020

[Signature]  
Notary

2020 Steven A Annese  
NOTARY PUBLIC  
STATE OF NEW JERSEY  
ID # 2333812  
MY COMMISSION EXPIRES September 7, 2024

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary

SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: Karl Maloney + Sharon Maloney Application: \_\_\_\_\_

Block: 9501 Lot: 29

Street Address: 109 Woodman Ln.

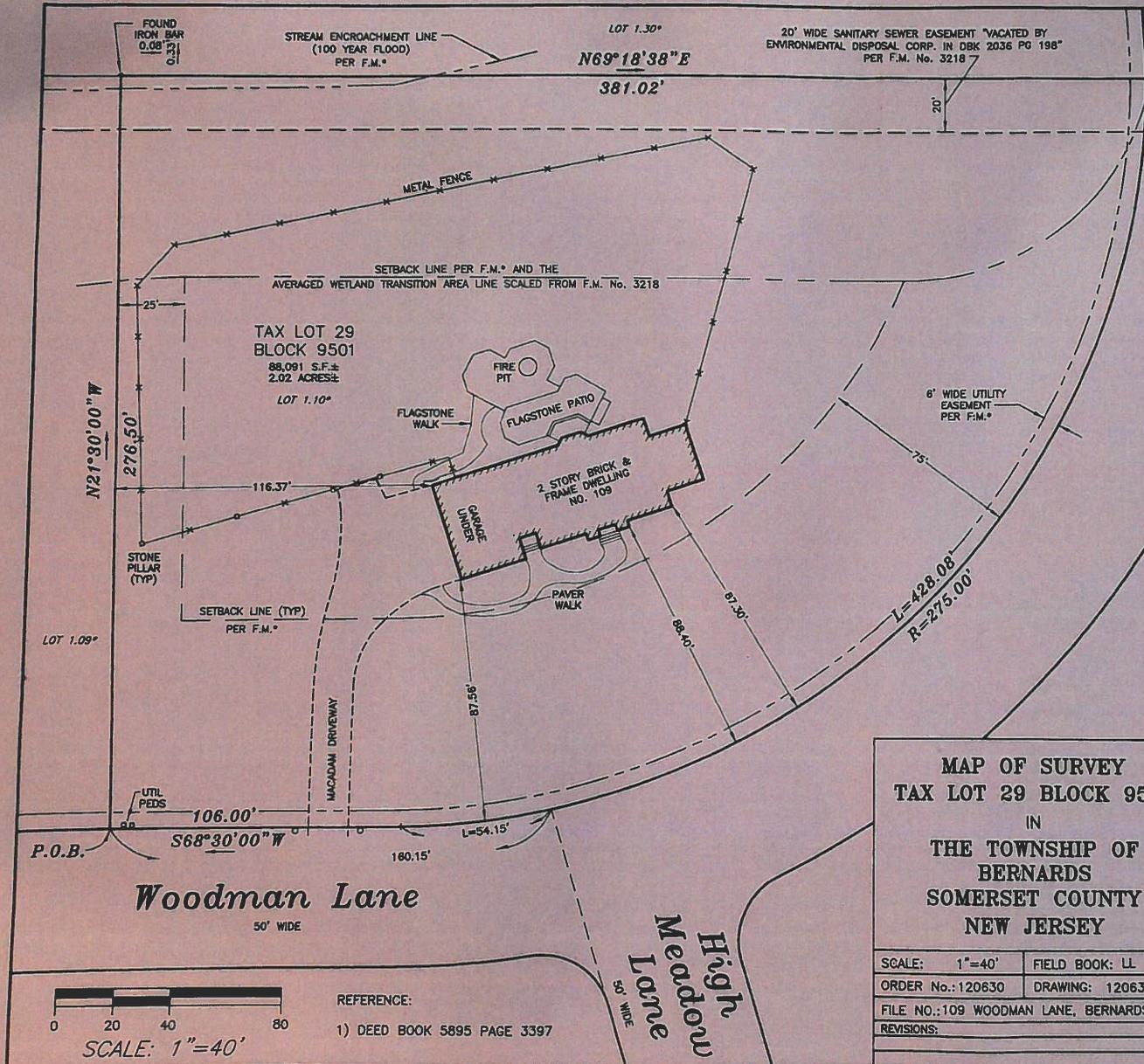
I, Karl Maloney + Sharon Maloney, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 11.7.21

SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	7,000 sqft	2.02	N/A
LOT WIDTH	50'	381'	N/A
FRONTAGE	N/A	534'	N/A
FRONT YARD SETBACK	75'	75'	140'
REAR YARD SETBACK	25'	20'	83'
COMBINED SIDE YARD	25'	25'	270'
SIDE YARD	25'	25'	28' / 252'
COVERAGE	15%	9.1%	13.7%
HEIGHT	N/A	0	Cabana - 15'
IF REQUIRED, GROSS FLOOR AREA	N/A	N/A	N/A
IF REQUIRED, FLOOR AREA RATIO	N/A	N/A	N/A
IF REQUIRED, IMPROVABLE LOT AREA	N/A	N/A	N/A



\* MAP REFERENCE:

- 1) BEING KNOWN AND DESIGNATED AS LOT 1.10 IN BLOCK 174.02 AS SHOWN ON A MAP ENTITLED, "THE HILLS DEVELOPMENT COMPANY, MAJOR SUBDIVISION, THE HILLS, SECTION 14, LOT 7 & PART OF LOT 1.01, BLOCK 174, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY, FINAL PLAT PLAN," DATED OCTOBER 13, 1993, REVISED TO DECEMBER 1, 1994, AND FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON DECEMBER 20, 1994 AS MAP NO. 3061.
- 2) ALSO BEING KNOWN AND DESIGNATED AS LOT 1.10 IN BLOCK 174.02 AS SHOWN ON A REVISED MAP ENTITLED, "CENTRONE BUILDING CORP., INC., THE HILLS-SECTION 14, BEACON MANOR, LOTS 1.01 THROUGH 1.33, BLOCK 174.02, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY, PLAN OF RESUBDIVISION," DATED MAY 31, 1996, AND FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON NOVEMBER 22, 1996 AS MAP NO. 3218.

NOTES:

- 1) THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND TO ANY OTHER PERTINENT FACTS WHICH A COMPLETE TITLE SEARCH MIGHT DISCLOSE.
- 2) A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(d).

THIS SURVEY IS CERTIFIED ONLY TO:  
 JOSEPH BURON AND KAREN L. BURON  
 ROBERT J. NISH, ESQ.  
 WEICHERT TITLE AGENCY #W-254438  
 FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 WEICHERT FINANCIAL SERVICES, ITS SUCCESSORS  
 AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

MAP OF SURVEY  
 TAX LOT 29 BLOCK 9501  
 IN  
 THE TOWNSHIP OF  
 BERNARDS  
 SOMERSET COUNTY  
 NEW JERSEY

SCALE: 1"=40'	FIELD BOOK: LL
ORDER No.: 120630	DRAWING: 120630
FILE NO.: 109 WOODMAN LANE, BERNARDS TWP	
REVISIONS:	

SWANSON, HALSEY & ASSOCIATES, LL  
 LAND SURVEYORS

NJ Certificate of Authorization No. 24GA28182700

P.O. Box 372, 201 Lee's Hill Road  
 New Vernon, New Jersey 07976  
 Phone (973) 425-1258  
 FAX (973) 425-0670  
 www.swansonhalseysurveying.com

DAVID B. SWANSON  
 PROFESSIONAL LAND SURVEYOR

*David B. Swanson*

Date: JUNE 29, 2012

NJ LICENSE No. 24GS04330000

SCALE: 1"=40'

0 20 40 80

REFERENCE:  
 1) DEED BOOK 5895 PAGE 3397



<<<<If the Neighbor to the right of 109 Woodman walked out of their house and peered over the fence to 109 Woodman, this is what they would see. They are more across the street than next to.



<<<< If the neighbor to the left of 109 Woodman walked out of their house, this is what they would see.



<<< If the person that lives directly behind 109 woodman would go of the back of their house and walk through their yard and wetlands to 109 Woodman's fence, this is what they would see.

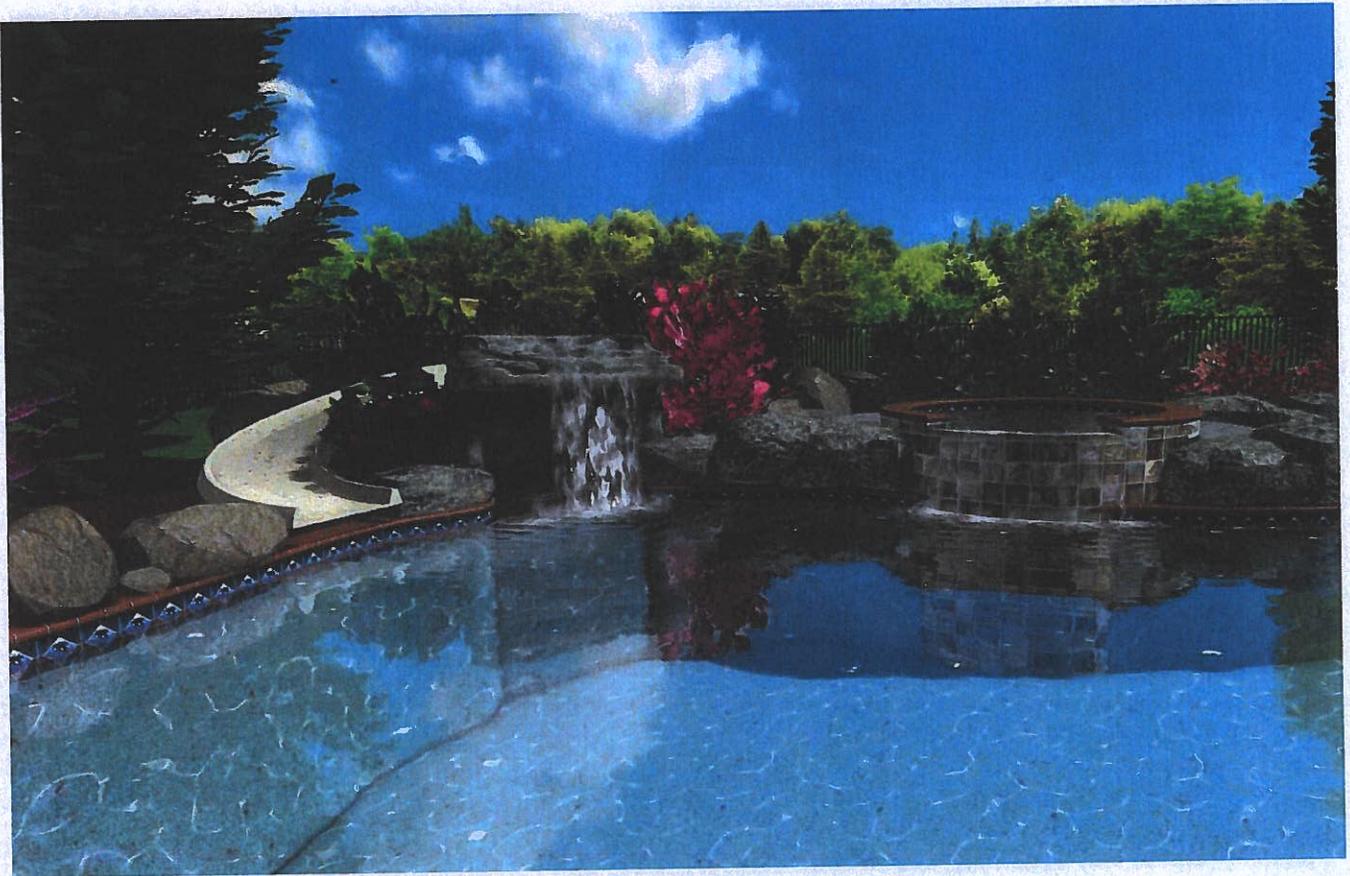


Looking directly out back of 109 Woodman house. >>>>

















**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	X		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	X		
7	Calculations of existing & proposed lot coverage percentages.	X		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	X		
9	Photographs of the property in the location of the proposed improvements.	X		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		X	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		X	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	X		

# 24'x24' Grand Estate Vinyl Pavilion

## GENERAL NOTES

All notes do not necessarily apply due to different requirements on each project. This plan is intended to reflect only the structural design of this building. The contractor shall review all applicable local, state, and federal building codes prior to the start of construction to ensure building conformance. Timber Tech Engineering, Inc. is not responsible for information pertaining to this project if not shown on drawings or listed below. Revisions to the plans shall be approved by engineer of record.

## DESIGN REQUIREMENTS

1. Governing Code:  
Including, not limited to: IBC 2009
2. Dead Loads:
  - A. Roof 5 psf
  - B. Floor n/a psf
  - C. Other n/a psf
3. Live Loads:
  - A. Roof (See also note #4) 37.8 psf
  - B. Floor n/a psf
  - C. Other n/a psf
4. Snow Loads:
  - A. Ground Snow (Pg) 45 psf
  - B. Flat Roof Snow (Pf) 37.8 psf
  - C. Snow Exposure Factor (Ce) 1.0
  - D. Snow Load Importance Factor (I) 1.0
  - E. Unbalanced Snow
    - i. Windward Roof 0 psf
    - ii. Leeward Roof 45 psf
5. Wind Load
  - A. Basic Wind Speed (V) 140 mph
  - B. Wind Load Importance Factor (I) 1.0
  - C. Wind Exposure Category C
  - D. Enclosure Category Open
  - E. Components and Cladding: +73 psf/90 psf
6. Earthquake Design Data:  
(Analysis based on equivalent lateral force procedure)
  - A. Spectral Response Acceleration at 1 sec, S 0.64
  - B. Spectral Response Acceleration at short periods, S 0.92
  - C. Occupancy Importance Factor, I 1.0
  - D. Site Class D
  - E. Basic Structural System  
Cantilevered Column: Timber Frame
  - F. Response Modification Factor (R) 1.5
  - G. Deflection Amplification Factor (Cd) 1.5

## ABBREVIATIONS:

@	at	mil.	millimeter
bm.	beam	min.	minimum
conc.	concrete	nts	not to scale
cont.	continuous	o/c	on center
dia.	diameter	pcf	pounds per cubic foot
exist.	existing	pl.	plywood
flr.	floor	psf	pounds per square foot
ft.	foot/feet	psl	pounds per square inch
ga.	gauge	req'd.	required
hdw.	hardware	s.s	stainless steel
hdr.	header	st.	steel
jst.	joist	thk.	thick
ksi	kips per square inch	trd.	treated
lbs.	pounds	typ.	typical
max.	maximum	wf	with
		mfr.	manufacturer

## WOOD

1. General Requirements
    - A. Structural wood members and connections shall be of sufficient size or capacity to carry all design loads without exceeding the allowable design values specified in "The National Design specification for Wood Construction" (NDS), 2005 edition, and its "Supplement" by the American Forest and Paper Association (AF&PA).
    - B. Wood members used for load supporting purposes shall have the grade mark of a lumber grading agency certified by the American Lumber Standards Committee.
  2. Dimension Lumber
    - A. All lumber species, graded visually or mechanically, shall comply with the NDS by AF&PA, and the "American Softwood Lumber Standard" (PS 20-94) by the U.S. Department of Commerce.
    - B. The minimum grade and species for posts, beams, headers, and other primary structural members shall be Dense Select Structural Southern Pine, unless specified otherwise.
    - C. Lumber used for secondary framing shall be #1 Southern Yellow Pine (SYP) or better.
    - D. Post frame headers shall be two-span continuous beams with all multiple ply headers overlapping so that the butt joints for each ply do not occur at the same post.
    - E. Mechanically laminated columns shall conform with ANSI/ASAE EP 559.
  3. Pressure Preservative Treatment (PPT)
    - A. Pressure treatment to be performed according to the American Wood Preservers' Association (AWPA) standards.
    - B. Pressure treated members shall have the inspection mark of an agency accredited by the American Lumber Standards Committee.
    - C. Preservative: Ammonia Copper Quaternary ammonia (ACQ) or Copper Boron Azole (CBA)
    - D. Minimum waterborne treatment retention shall be 0.4 pcf for members above ground, and 0.8 pcf for members in contact with earth.
    - E. Treat indicated items and the following:
      1. Wood members exposed to weather or insect infestation.
      2. Wood members in direct contact with earth or concrete.
      3. Wood members exposed to high moisture content (>19% for dimension lumber, >16% for glued laminated timber).
      4. Wood members less than 12 inches above grade.
    - F. Field treat newly exposed wood where cutting, drilling or notching pressure treated lumber.
    - G. Metal connectors used in treated wood shall be hot-dip galvanized as per ASTM A153-01a.
  4. Connections shall be designed and constructed according to the NDS by AF&PA and shall conform to the following:
    - A. The minimum connection shall be two 12 penny nails, or as detailed on the drawings.
    - B. Other connections as per standard construction practice.
- Polyvinyl Chloride Compound (PVC)**
1. General Requirements
    - A. PVC sleeve material used to wrap wood members to be supplied according to Certainfeed corporation specifications or equivalent.
    - B. PVC sleeve material to be 0.160" thick for posts, and 0.105" thick for other structural members

## Design Reaction Chart

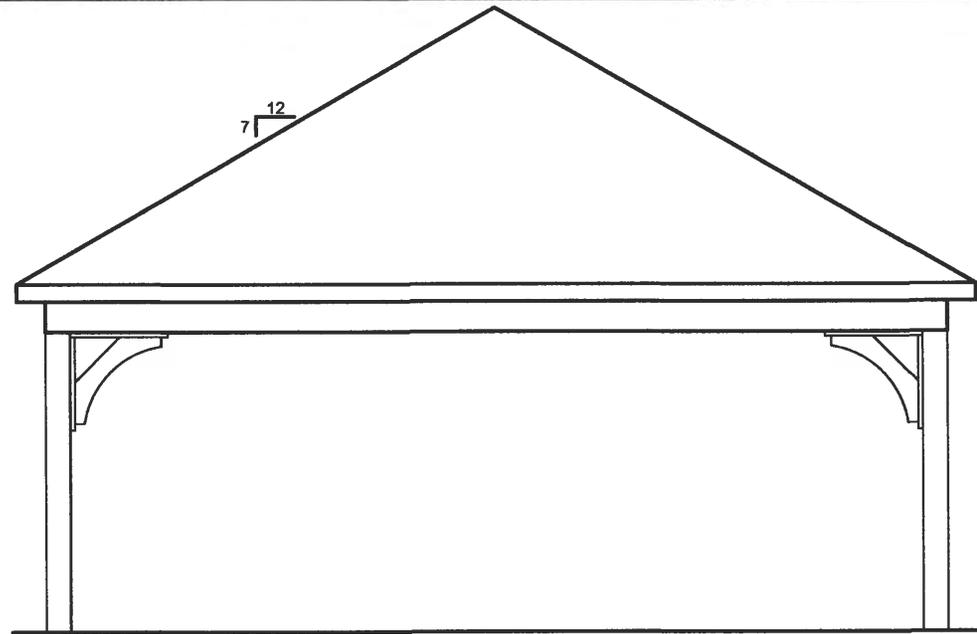
Max. uplift at column base	475 lb
Max. downward force at column base	6,550 lb
Max. shear at column base	1,250 lb

Structural System Designed for clear wind flow conditions with blockage less than or equal to 50% only. Open structure shall not have objects below the roof which inhibit wind flow by creating more than 50% blockage as per ASCE 7-05 Figure 6-18B Note2.

## Drawing Index

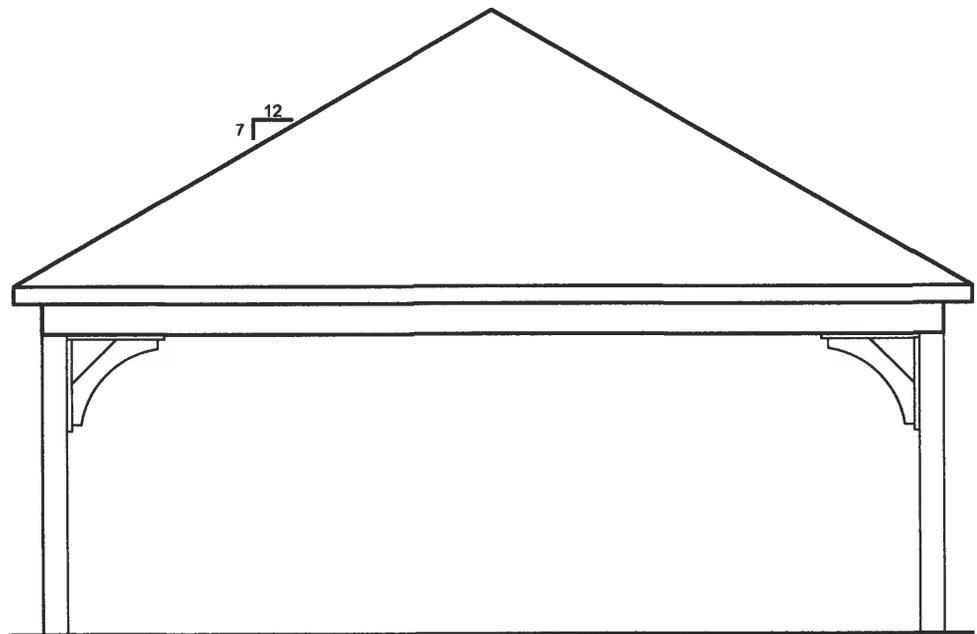
- Page 1 - Elevations
- Page 2 - Post Layout Plan
- Page 3 - Roof Framing
- Page 4 - Cross Section, Details
- Page 5 - Page 8 - Details

This drawing is the property of Country Lane Woodworking, LLC, provided by Timber Tech Engineering, Inc. and reproduction, alteration or use of this drawing without the written consent of Country Lane Woodworking, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



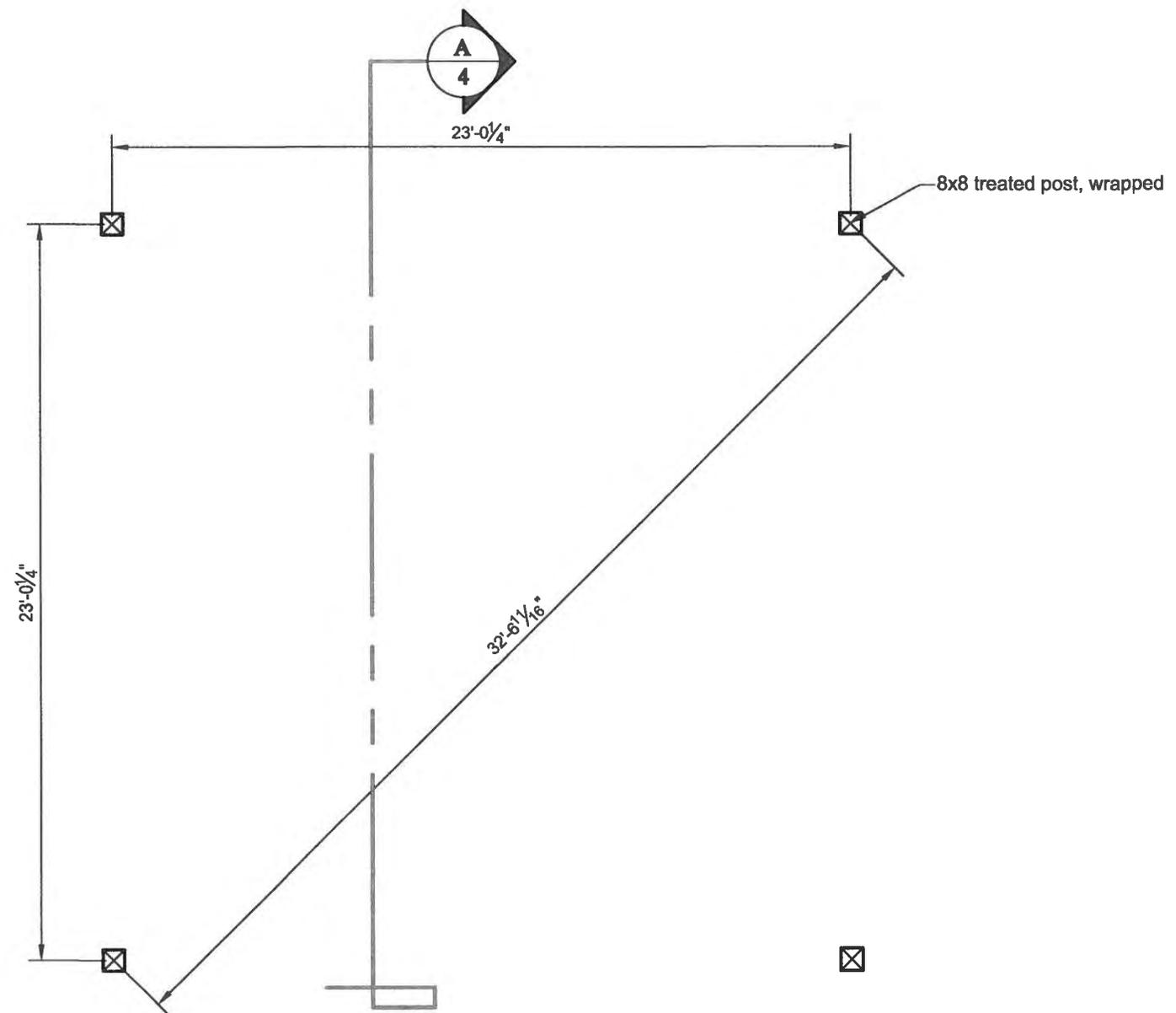
**End Elevation**

NTS



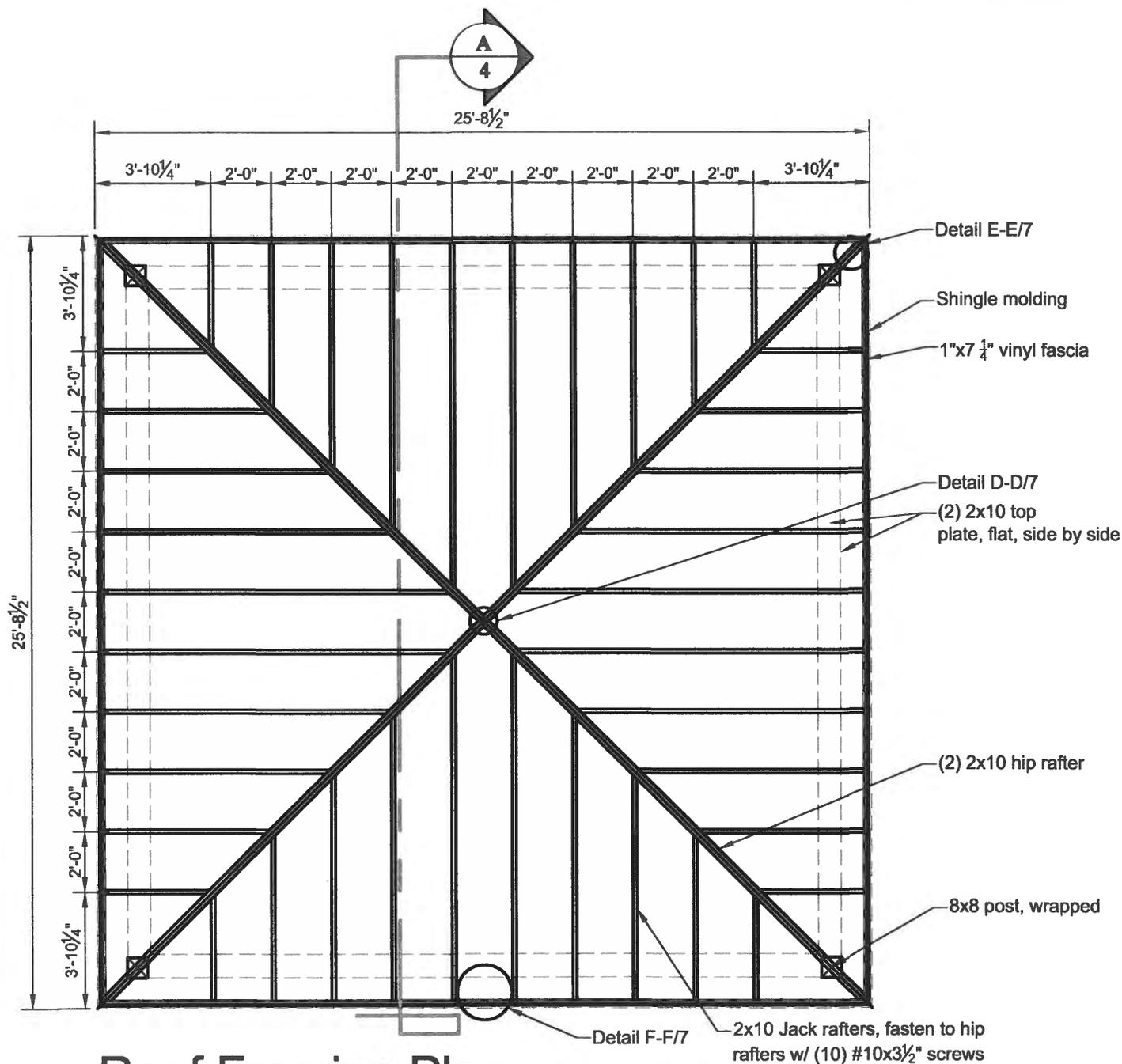
**Side Elevation**

NTS



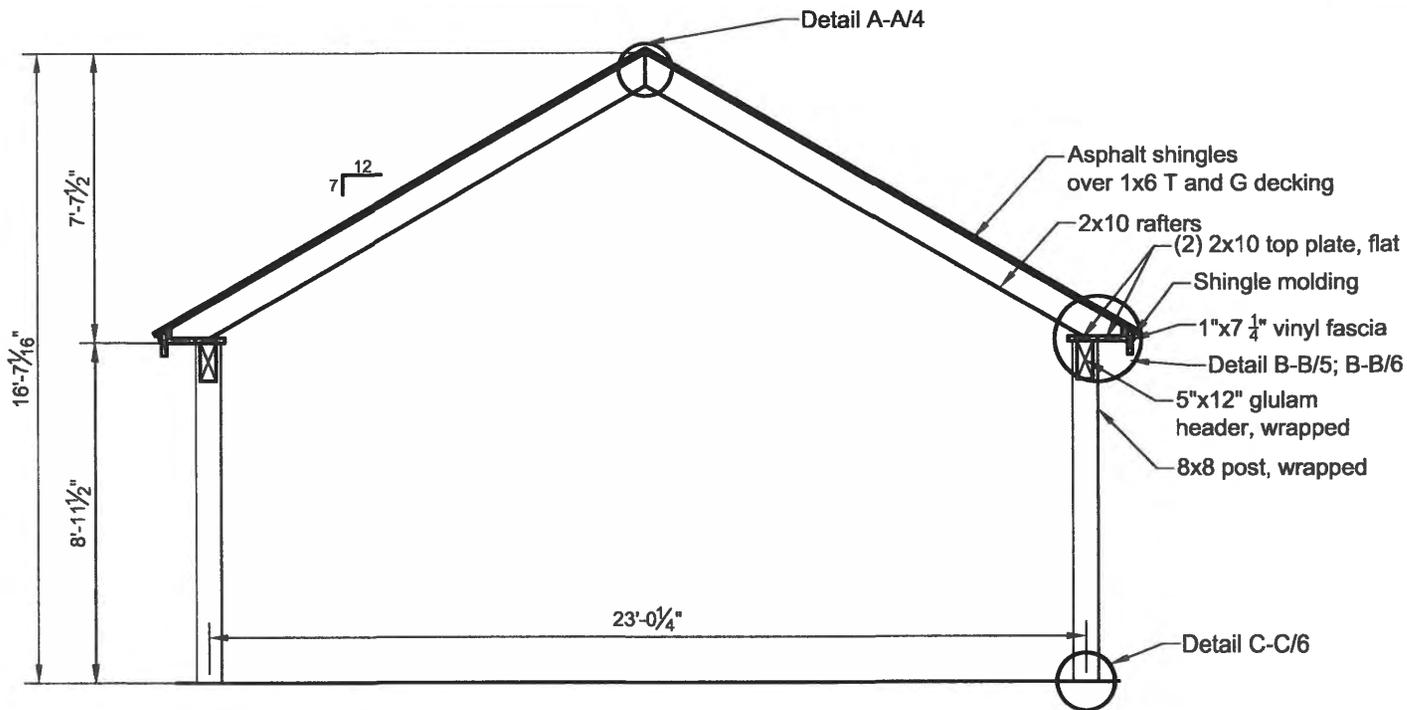
Post Layout Plan

NTS



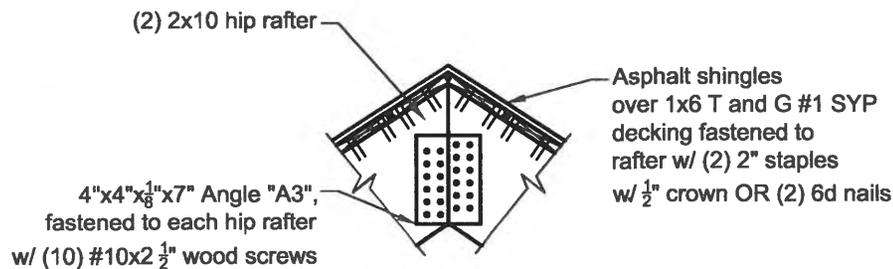
# Roof Framing Plan

NTS



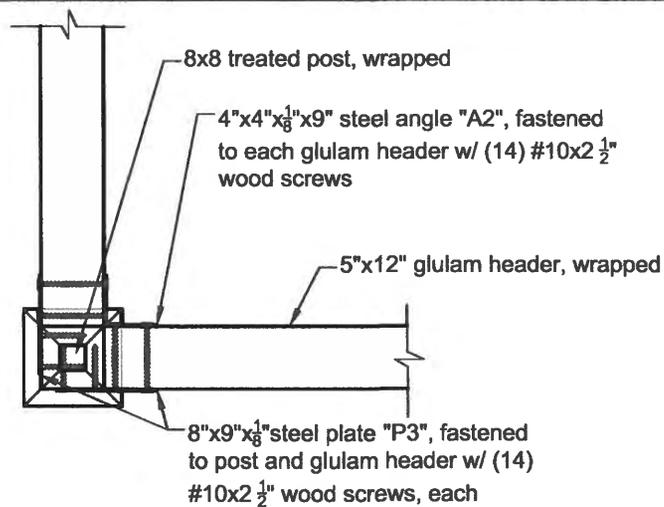
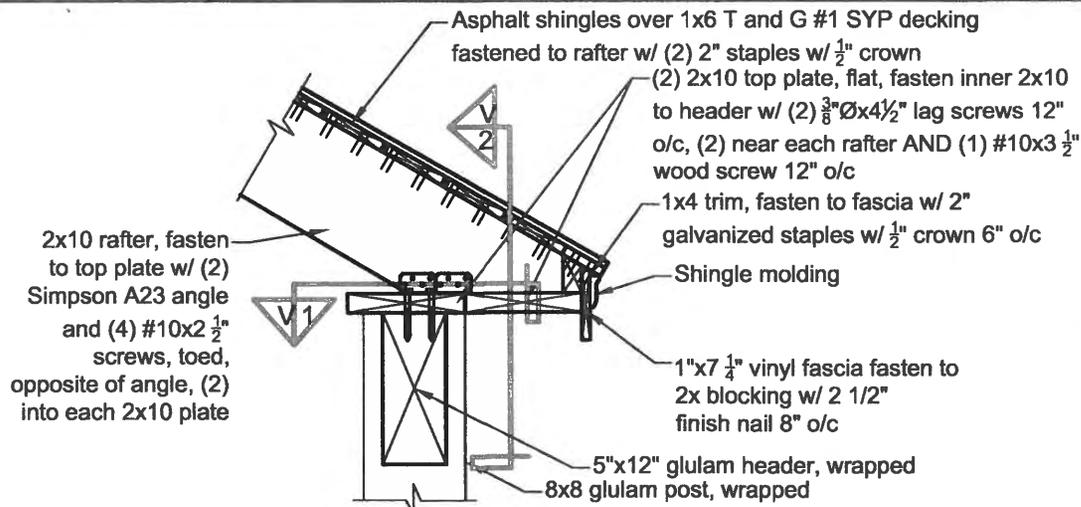
**Cross Section A/4**

NTS



**Detail A-A/4**  
Typical Hip Rafter

NTS

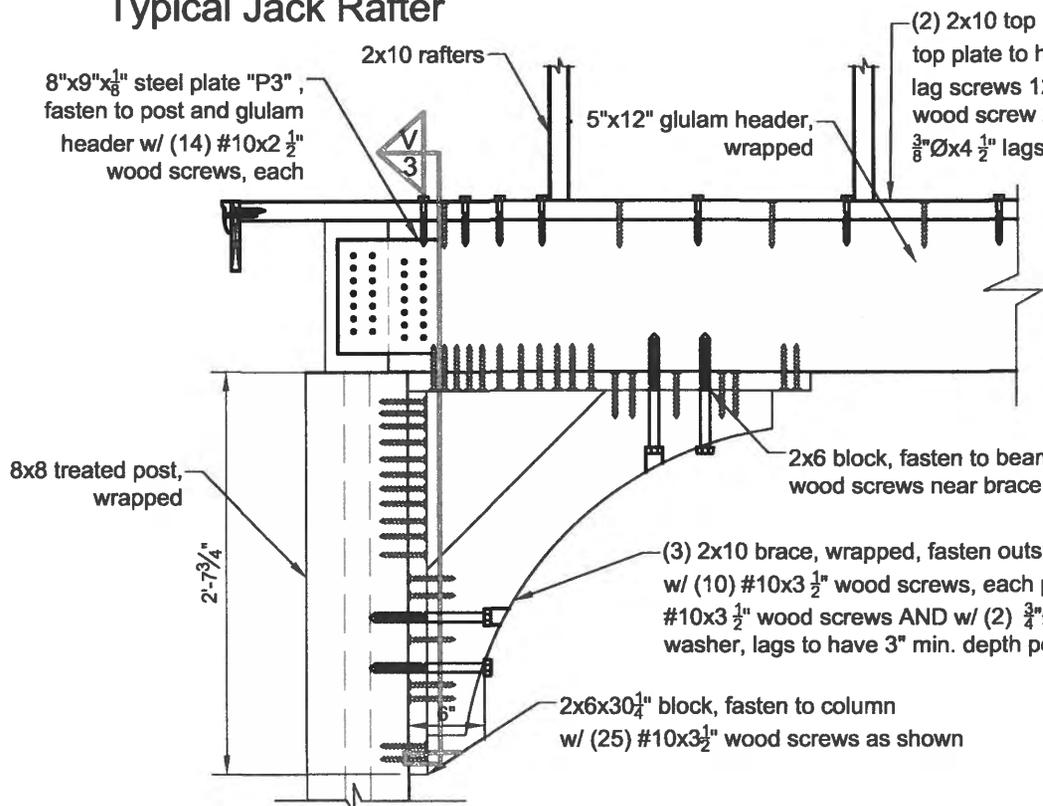


**Detail B-B/5**  
Typical Jack Rafter

NTS

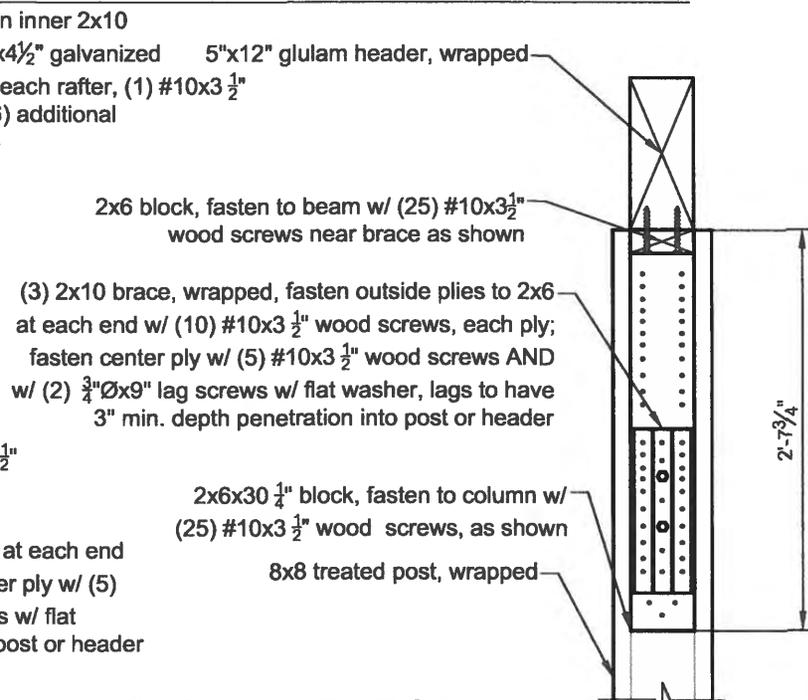
**View 1 Detail B-B/5**

NTS



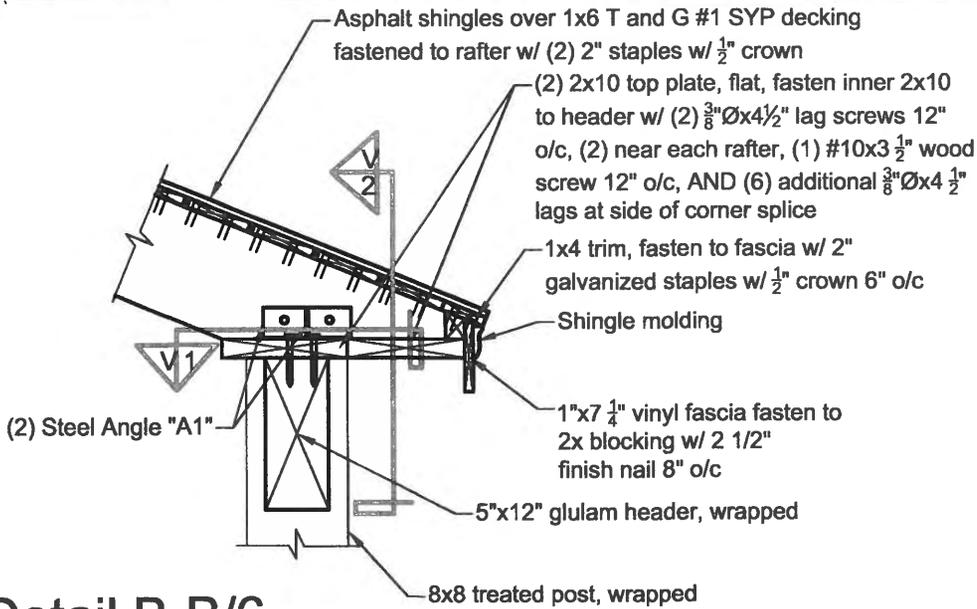
**View 2 Detail B-B/5**

NTS



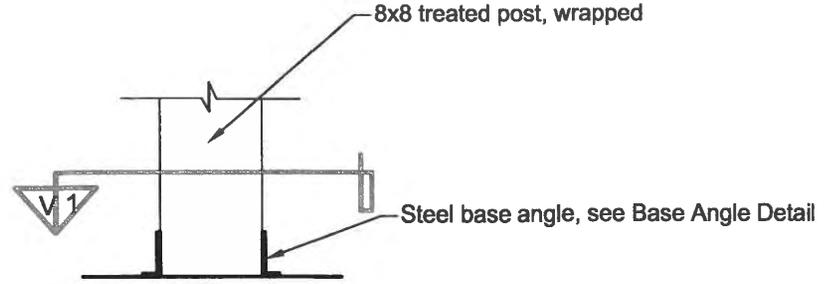
**View 3 Detail B-B/5**

NTS



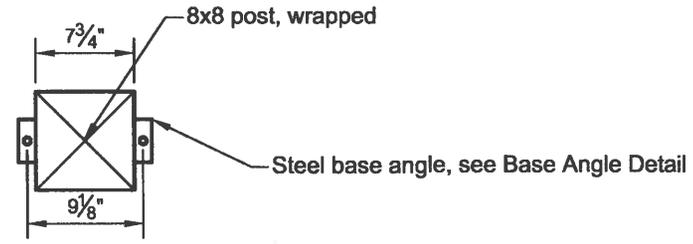
**Detail B-B/6**  
 Hip Rafter Connection

NTS



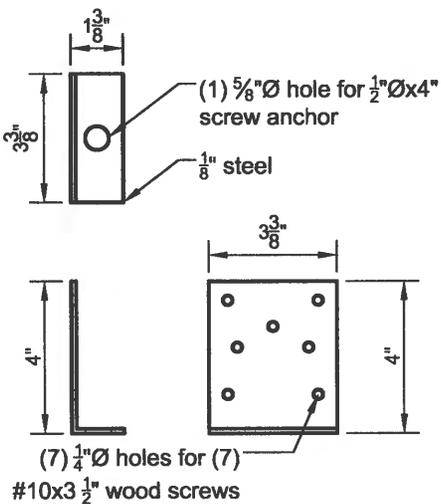
**Detail C-C/6**

NTS



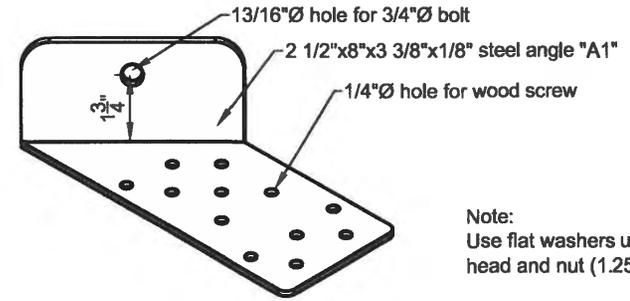
**View 1 Detail C-C/6**

NTS



**Base Angle Detail**

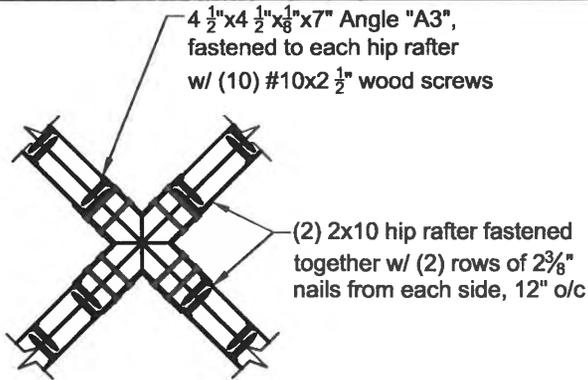
NTS



**Angle "A1"**

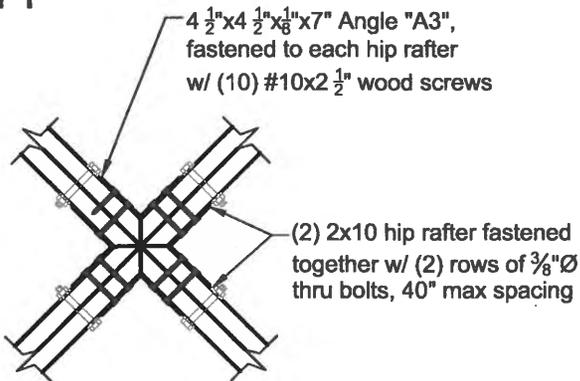
NTS

Note:  
 Use flat washers under bolt head and nut (1.25" O.D. min.)



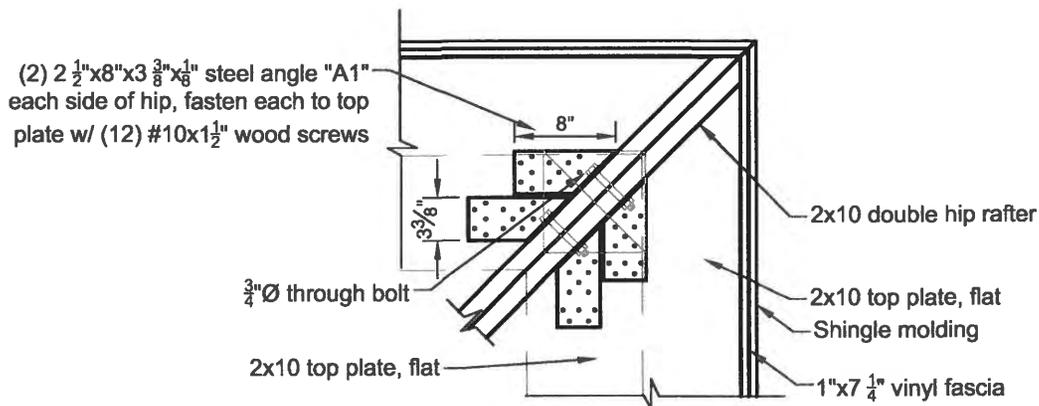
**Detail D-D/7**  
Option 1

NTS



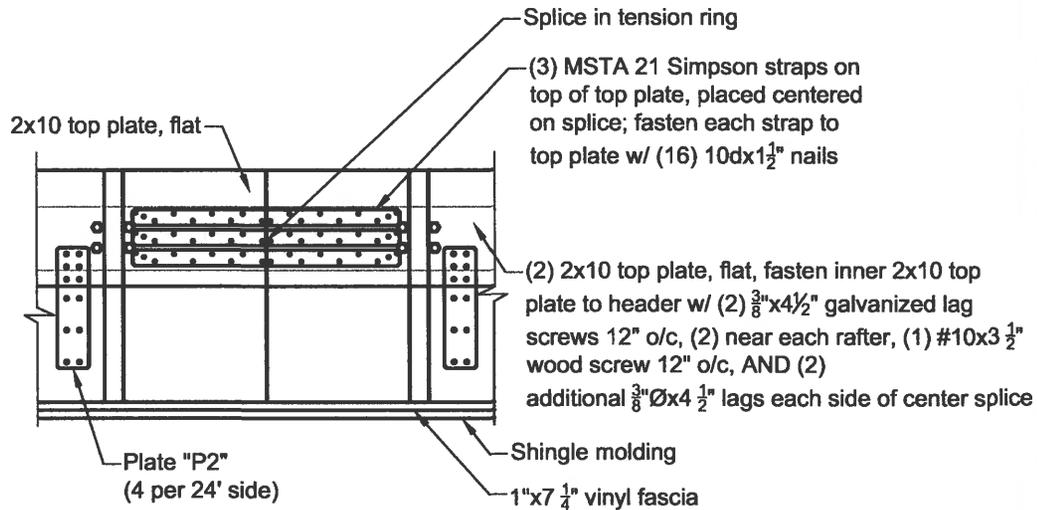
**Detail D-D/7**  
Option 2

NTS



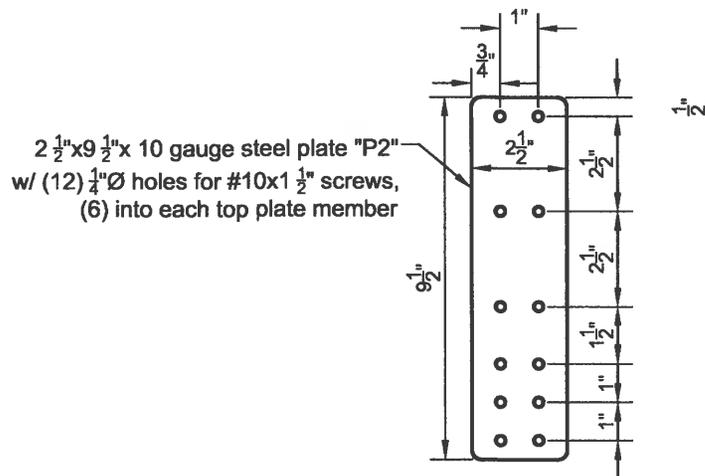
**Detail E-E/7**

NTS



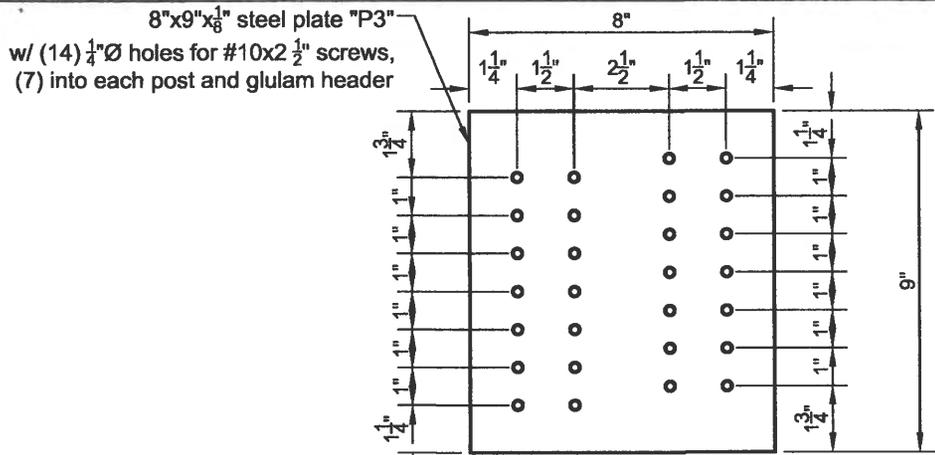
**Detail F-F/7**

NTS



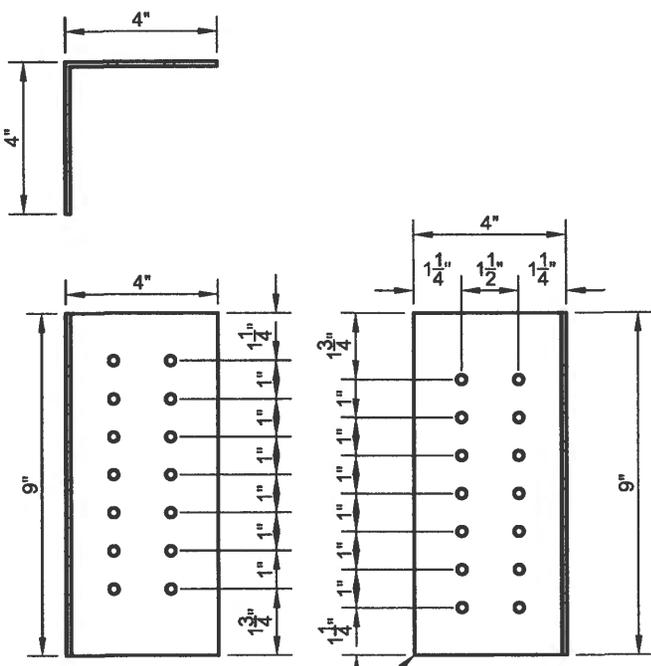
**Plate "P2"**

NTS



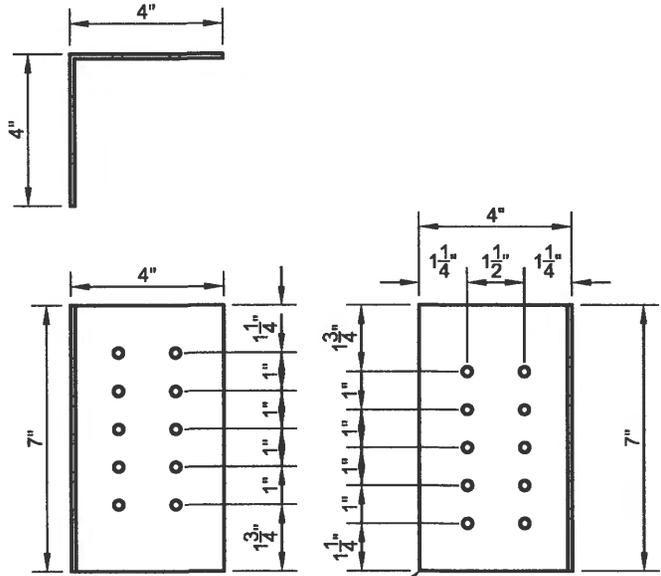
8"x9"x $\frac{1}{8}$ " steel plate "P3"  
 w/ (14)  $\frac{1}{4}$ " $\varnothing$  holes for #10x2  $\frac{1}{2}$ " screws,  
 (7) into each post and glulam header

Plate "P3" NTS



4"x4"x $\frac{1}{8}$ "x9" steel angle "A2" w/  
 (28)  $\frac{1}{4}$ " $\varnothing$  holes for #10x2  $\frac{1}{2}$ " screws,  
 (14) into each glulam header

Angle "A2" NTS



4"x4"x $\frac{1}{8}$ "x7" steel angle "A3" w/  
 (20)  $\frac{1}{4}$ " $\varnothing$  holes for #10x2  $\frac{1}{2}$ " screws,  
 (10) into each hip rafter

Angle "A3" NTS



## Cramer Ecological Services, LLC

PO Box 23, 24 Johnsonburg Road  
Allamuchy, NJ 07820  
Phone: (908) 319-8500  
Fax: (973) 300-0881

Wetland Investigation  
Environmental Planning & Permitting  
Wetland Restoration & Mitigation  
Wildlife & Endangered Species  
Environmental Assessment

January 3, 2021

Karl & Sharon Maloney  
109 Woodman Lane  
Basking Ridge, NJ 07920

**RE: Wetlands/Waters Evaluation  
109 Woodman Lane- Proposed Pool Construction  
Block 9501, Lot 29  
Bernards Township, Somerset County, New Jersey**

Dear Mr. & Mrs. Maloney:

Cramer Ecological Services, LLC (CES) was retained to conduct an investigation of wetlands/waters limits on or within the vicinity of the proposed improvements (pool construction) on Block 9501, Lot 29 and Bernards Township, New Jersey. This letter report provides a summary CES's findings. The investigation consisted of office based research and a site evaluation. The site investigation on site was intended to determine the extent of wetlands/waters and associated transition areas/riparian buffers within the vicinity of the proposed project improvements.

### **SITE DESCRIPTION**

The project site is located at 109 Woodman Lane, Bernards Township, Somerset County, New Jersey. The development/improvement areas of the site consists entirely of previously developed/disturbed (lawn/landscaped) areas. The site is bordered by residential development. See the attached Site Plan which illustrate the existing onsite features as well as proposed improvements.

### **WETLAND INVESTIGATION METHODOLOGY**

The NJDEP currently administers activities in wetland areas in New Jersey under the authority of the New Jersey Freshwater Wetlands Protection Act (N.J.A.C. 7:7A et seq.). Under an agreement with the U.S. Army Corps of Engineers (ACOE) and the U.S. Environmental Protection Agency (USEPA), the New Jersey Department of Environmental Protection (NJDEP) is the lead agency for establishing legal boundaries of wetland areas in New Jersey. The presence of wetlands on or within 150' or waters on or within 300' of the site was investigated by a qualified CES wetland scientist in November 2021. The methodology detailed in the Federal Manual for Identifying and Delineating Jurisdictional Wetlands (1989) was used to investigate the location of wetlands in the vicinity of the subject property. The methodology outlined in the manual is currently accepted by the NJDEP to delineate State jurisdictional wetland areas. As outlined in the Federal Manual, wetland areas are comprised of the following three criteria:

1. Predominance of Hydrophytic Vegetation
2. Hydric Soils
3. Wetland Hydrology

### **Hydrophytic Vegetation**

Hydrophytic and non-hydrophytic vegetation were identified according to the U.S. Fish & Wildlife Service's Official List of Scientific Plant Names (1982), and classified according to the National List of Plant Species that Occur in Wetlands (1988). The list separates vegetation into five basic groups,

commonly called "wetland indicator status," based on a plant species frequency of occurrence in a wetland area. The five groups of wetland indicator status are described as:

1. **Obligate Wetland Plants (OBL)** - These plants have a 99% or greater probability of occurring in a wetland area under natural conditions.
2. **Facultative Wetland Plants (FACW)** - These plants have a 67 to 99% probability of occurring in a wetland area, but occasionally are found in non-wetland areas.
3. **Facultative Plants (FAC)** - These plants have an equal probability of occurring in either a wetland (estimated probability 34 to 66%) or non-wetland area.
4. **Facultative Uplands Plants (FACU)** - These plants usually occur in upland areas but have a 1 to 33% probability of occurring in a wetland area.
5. **Obligate Upland Plants (UPL)** - These plants almost always occur in upland areas and have a less than 1% probability of occurring in a wetland area.

An area possesses hydrophytic vegetation when under normal circumstances more than 50% of the composition of the dominant vegetative species from all strata is obligate wetland, facultative wetland, and/or facultative species.

Hydrophytic vegetation was located offsite within 150' of the proposed pool disturbance limits.

#### **Hydric Soils**

Hydric soils are defined as soils that are saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions. Soil color often reveals whether the soil is hydric or non-hydric. The approximate soil color can be determined by comparing a soil sample to a Munsell Soil Color Chart. The standardized Munsell soil colors are identified by three components; hue, value, and chroma. The hue is related to one of the main spectral colors; red, yellow, green, blue, or purple, or various mixtures of the principal colors. The value refers to the degree of lightness, while the chroma notation indicates the color strength or purity. The color of the soil matrix or other redoxymorphic features is determined by comparing a soil sample with individual color chips in the soil color book. Chromas of 2 or less are considered low chromas and are often diagnostic of hydric soils. Low chroma colors include black, various shades of gray, and the darker shades of brown and red.

Hydric soils were observed within 150' of the proposed pool disturbance limits. See attached constraints sketch for approximate limits of offsite wetlands.

#### **Wetland Hydrology**

An area possesses wetland hydrology when saturated to the surface or inundated at some point in the growing season during an average rainfall year sufficient to create hydric soils and support hydrophytic vegetation. An area is considered inundated when it is ponded or frequently flooded with surface water for one week or more during the growing season. Saturation to the surface normally occurs when soils in the following natural drainage classes meet the following conditions:

- a) In somewhat poorly drained mineral soils, the water table is less than 0.5 feet from the surface for usually one week or more during the growing season, or
- b) In highly permeable, poorly drained, or very poorly drained mineral soils, the water table is less than 1.0 feet from the surface for one week or more during the growing season, or

- c) In low permeability, poorly drained, or very poorly drained mineral soils, the water table is less than 1.5 feet from the surface for one week or more during the growing season, or
- d) In poorly drained, or very poorly drained organic soils, the water table is at a depth where saturation to the surface occurs more than rarely.

The site is located in Watershed Management Area 6 (Passaic River). The subject property drains to a tributary of the Dead River. According to the Surface Water Quality Standards N.J.A.C. 7:9B (June 2008), this section of the Dead River is classified as a (FW2-NT) non-trout water. The Tributary is located approximately 100' from the proposed pool disturbance area onsite. Evidence of wetland hydrology (soil saturation, inundation, shallow root systems) was also observed within 150' of the proposed project improvements.

### **SUMMARY**

A qualified CES wetland scientist performed a wetland/water investigation and delineation on and in the vicinity of the proposed project improvement on the site located in Bernards Township, Somerset County, New Jersey in November of 2021. The onsite wetlands and waters were approximated on the attached constraints sketch but were previously delineated, survey located and approved by NJDEP as are shown on the attached subdivision filed maps. The original subdivision included a Transition Area Waiver-Averaging Plan and the averaged wetland transition area (buffer) line is shown on attached site plans and filed maps. As the proposed improvements are located outside of the averaged wetland transition area line and within areas slated for development under previous NJDEP approvals, new approvals from NJDEP under the Freshwater Wetland Protection Act Rules would not be required.

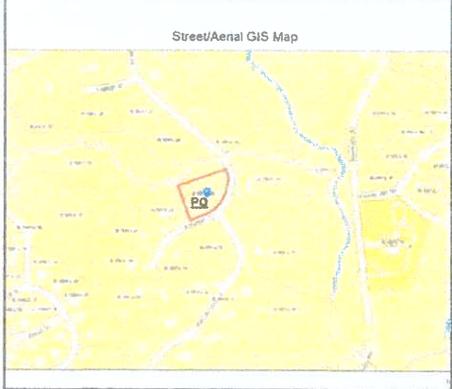
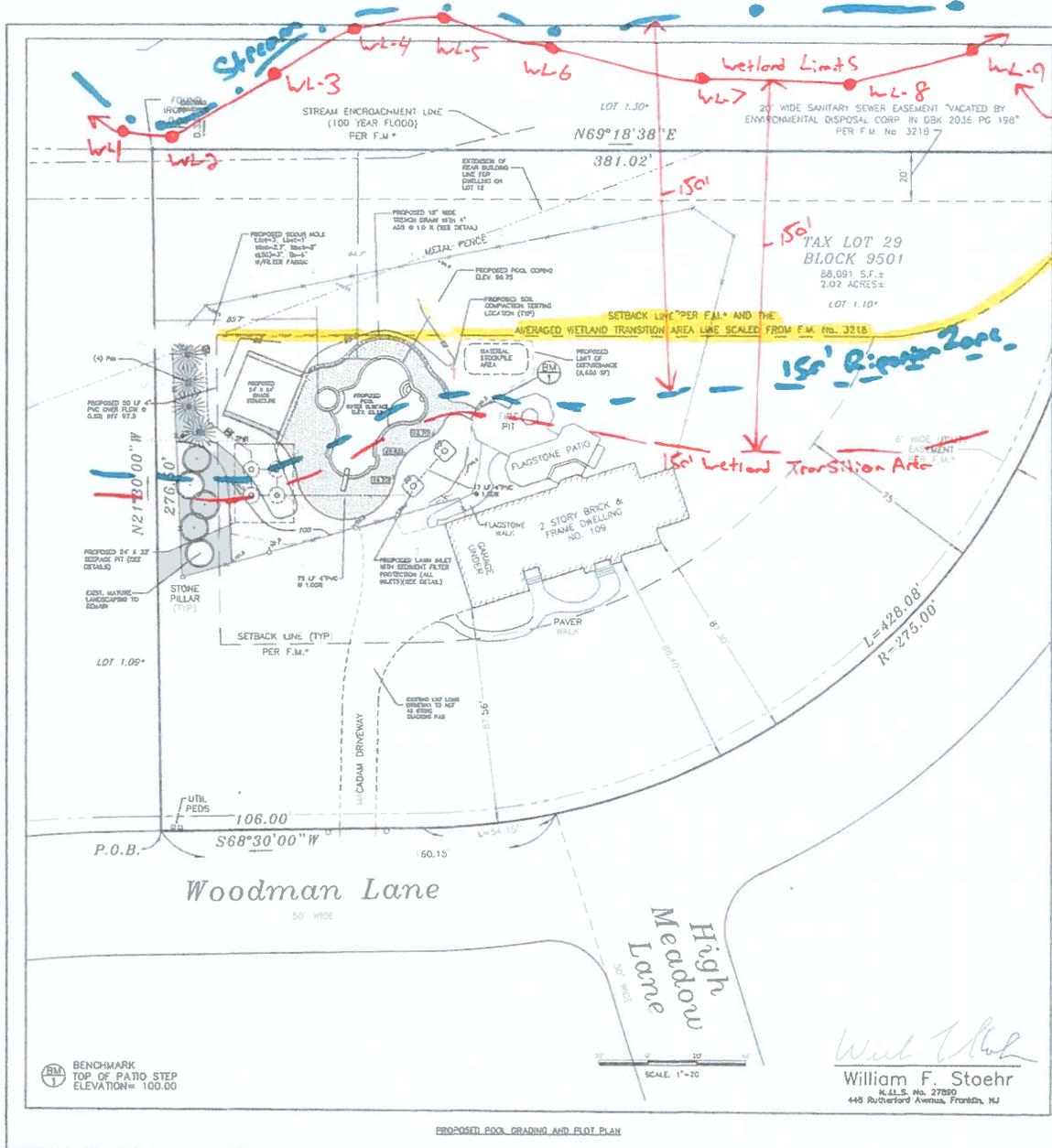
The offsite (tributary to Dead River) regulated watercourse would be assigned a 150 foot riparian zone by the NJDEP under the Flood Hazard Area Control Act Rules due to downstream threatened and endangered species habitat. The offsite regulated watercourse was observed within 150' of the proposed project improvements during the site investigations. Although there are proposed improvements within the 150' riparian zone on the property, all of these improvements are located outside of the floodplain (stream encroachment line on filed map) within previously disturbed riparian zone areas and would not be regulated under the Flood Hazard Area Control Act Rules (NJAC 7:13). These activities are covered under Permit-By-Rule 10 - general construction activities located outside a flood hazard area in a riparian zone (NJAC 7:13-7.10). As such, the proposed development on the subject property does not require prior NJDEP Land Use Regulation approvals. If you have any questions or require additional information do not hesitate to contact me.

Sincerely,



Brian P. Cramer  
President

# CONSTRAINTS SKETCH



**NOTES:**

- THIS PLAN BASED ON A SURVEY (ENTERED MAP OF SURVEY FOR LOT 29 BLOCK 9501 THE TOWNSHIP OF BERKSHIRE, SOMERSET COUNTY, NEW JERSEY) PREPARED BY SWANSON, HALSEY & ASSOCIATES, DAVID B. SWANSON, N.L.L.S. # 1647, CHESAPEAKE, DATED JUNE 29, 2018 AND CONTAINS 2.02 AC. (EASION 15')
- TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON BASED ON A FIELD SURVEY PREPARED BY WILLIAM F. STOEHR, N.L.L.S. # 2052780, DATED AUGUST 24, 2021.
- SUBJECT PARCEL IS SHOWN AS BLOCK 9501, LOT 29 AS SHOWN ON TAX MAP SHEET 85 OF THE TAX MAPS OF BERKSHIRE TOWNSHIP.
- SWIMMING POOL SETBACK REQUIREMENTS: DISTANCE FROM SIDE PROPERTY LINE: 20' REQUIRED; 65.7' PROPOSED AND ALL POOL DETAILS.
- EXISTING LOT COVERAGE CALCULATIONS:  
DREHWAY: 3,500 SF  
DREHWAY: 2,800 SF  
FRONT SIDEWALK/STEPS: 500 SF  
REAR SIDEWALK: 224 SF  
REAR PATIO/PINE PINE: 1,000 SF  
TOTAL EXISTING: 7,889 SF (0.18)
- PROPOSED LOT COVERAGE CALCULATIONS:  
DREHWAY: 3,100 SF  
DREHWAY: 2,800 SF  
FRONT SIDEWALK/STEPS: 500 SF  
REAR SIDEWALK: 224 SF  
POOL AND SURROUNDING: 4,000 SF  
TOTAL PROPOSED: 12,624 SF
- LOT COVERAGE CALCULATIONS:  
LOT AREA: 88,091 SF  
LOT COVERAGE (EXIST): 13,214 SF  
EXISTING LOT COVERAGE: 7,889 SF (0.18)  
PROPOSED LOT COVERAGE: 12,029 SF (0.14)
- ALL EXCAVATED MATERIAL MUST BE DISPOSED OF IN ACCORDANCE WITH DEPARTMENT REGULATIONS OR USED AS FILL AT AN APPROVED LOCATION.
- LIMIT OF DISTURBANCE FOR THIS PROJECT IS 0.530 SF W/30% SILL. REQUIRE CERTIFICATION FROM THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

**TEST PIT #1**

- 0' - 8" TOPSOIL
- 8" - 40" 10% 1/4" SANDY CLAY LOAM, 5% GRAVEL, 15% COBBLES SUBANGULAR BLOCKY, MIST, FRAGILE
- 40" - 100" 10% 1/4" SANDY CLAY LOAM, 10% GRAVEL, 5% COBBLES SUBANGULAR BLOCKY, MIST, FRAGILE. NO GROUND WATER, NO MOTTLING, PORES TO 48"
- SOIL SAMPLE TAKEN FROM TEST PIT #1 AT A DEPTH OF 30"
- SOIL SAMPLE TAKEN FROM TEST PIT #2 AT A DEPTH OF 60"
- RESULTS: R-3

*Constraints Sketched*  
11-17-21

DTY	KEY	SYMBOL NAME	ORIGIN NAME	CAL	HT	BALL
4	Ph	PERIODICITY NUMBER	INDICATED BY	3"-1 1/2"	10'-12"	5/8"

DATE	REVISIONS	DATE

109 WOODMAN LANE  
PROPOSED POOL, LOT GRADING PLAN  
AND SOIL EROSION AND SEDIMENT CONTROL PLAN  
FOR

BERKSHIRE TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

**G. Gloede and Associates**  
POST OFFICE BOX 448, NEW BRUNSWICK, NJ 08901, (908) 833-1933, (973) 961-9241

**GEORGE R. GLOEDE JR.**  
Professional Engineer Lic. No. 32407

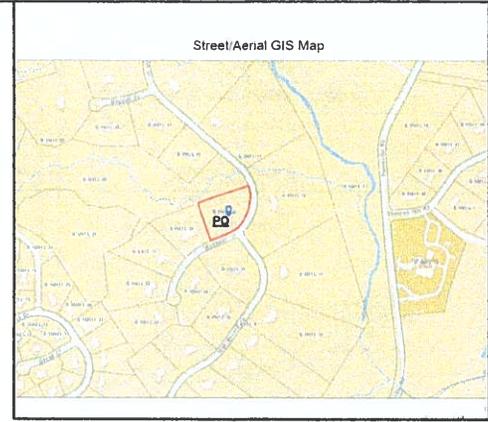
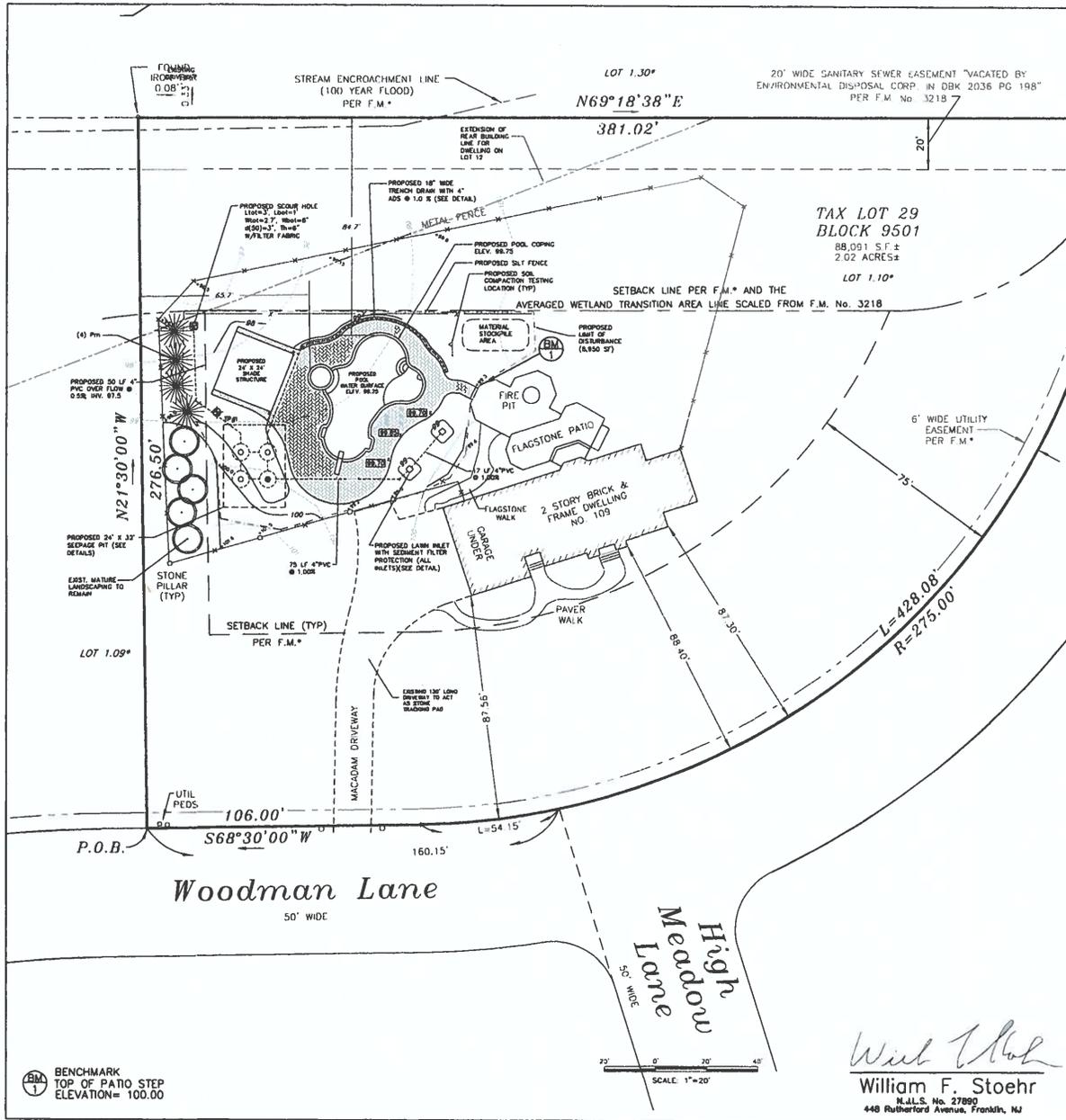
FILE NO. 2021-097  
DATE: 8/23/21  
SCALE: AS NOTED  
DRAWN BY: GY  
CHECKED BY: DRG  
DATE: 8/23/21  
NO. 1 OF 2

NOT VALID WITHOUT RAISED SEAL

FILED SUBDIVISION PLAT



# SITE PLAN



- NOTES:**
- THIS PLAN BASED ON A SURVEY ENTITLED "MAP OF SURVEY TAX LOT 29 BLOCK 9501 THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" PREPARED BY SWANSON, HALSEY & ASSOCIATES, DAVID B. SWANSON, N.J.P.L.S. LIC# 2455433000, DATED JUNE 29, 2012 AND CONTAINS 2.02 AC. (88,091 SF)
  - TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON BASED ON A FIELD SURVEY PREPARED BY WILLIAM F. STOEHR, N.J.S.P.L.S. LIC. #0527890, DATED AUGUST 24, 2021
  - SUBJECT PARCEL IS KNOWN AS BLOCK 9501, LOT 29 AS SHOWN ON TAX MAP SHEET 95 OF THE TAX MAPS OF BERNARDS TOWNSHIP.
  - SWIMMING POOL SETBACK REQUIREMENTS: DISTANCE FROM SIDE PROPERTY LINE: 20' REQUIRED; 65.7' PROPOSED AND ALL POOL DETAILS.
  - SEE PLANS PREPARED BY PREMIER POOLS AND SPAS FOR CONC. APRON
  - EXISTING LOT COVERAGE CALCULATIONS:  
DWELLING: 3,100 SF  
DRIVEWAY: 2,800 SF  
FRONT SIDEWALK/STEPS: 500 SF  
REAR SIDEWALK: 224 SF  
REAR PATIO/FIRE PIT: 1,190 SF  
TOTAL EXISTING: 7,990 SF (9.1%)
  - PROPOSED LOT COVERAGE CALCULATIONS:  
DWELLING: 3,100 SF  
DRIVEWAY: 2,895 SF  
FRONT SIDEWALK/STEPS: 500 SF  
REAR SIDEWALK: 224 SF  
POOL/PAVERS/SHADE STRUCTURE: 3,805 SF  
TOTAL PROPOSED: 11,824 SF
  - LOT COVERAGE CALCULATIONS:  
LOT AREA: 88,091 SF  
LOT COVERAGE (12%): 13,214 SF  
EXISTING LOT COVERAGE: 7,990 SF (9.1%)  
PROPOSED LOT COVERAGE: 11,824 SF (13.6%)
  - ALL EXCAVATED MATERIAL MUST BE DISPOSED OF IN ACCORDANCE WITH BOROUGHS REGULATIONS OR USED AS FILL AT AN APPROVED LOCATION.
  - LIMIT OF DISTURBANCE FOR THIS PROJECT IS 8,850 SF WHICH WILL REQUIRE CERTIFICATION FROM THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

**TEST PIT #1**

0' - 6" TOPSOIL

6" - 40" 10YR 6/4 SANDY CLAY LOAM, 3% GRAVEL, 15% COBBLES SUBANGULAR BLOCKY, MOST, FRIABLE

40" - 108" 10YR 8/6 SANDY CLAY LOAM, 10% GRAVEL, 5% COBBLES, SUBANGULAR BLOCKY, MOST, FRIABLE

NO GROUND WATER; NO MOTTLING; roots to 48"

SOIL SAMPLE TAKEN FROM TEST PIT #1 AT A DEPTH OF 36"  
RESULT: K-3

SOIL SAMPLE TAKEN FROM TEST PIT #1 AT A DEPTH OF 80"  
RESULT: K-3

QTY	KEY	BOTANICAL NAME	COMMON NAME	CAL	HT	BALL
4	Pm	PSUDUOTRODA MONES	DOGWOOD FR	2'-3 1/2"	10-12'	800

DATE	REVISIONS MADE	PROPOSED POOL PLAN/GRADING PLAN AND SOIL EROSION AND SEDIMENT CONTROL PLAN FOR BLOCK 9501 - 01 29	FILE NO.
1/3/22	REMOVE DISTURBANCE OUTSIDE OF AVERAGE TRANSITION AREA	BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY	2021-097
		<b>G. Gloede and Associates</b>	8/23/21
		POST OFFICE BOX 445, OAK HOLE, NEW JERSEY 07438 (973)697-9247	SCALE AS NOTED
		<b>GEORGE R. GLOEDE, JR.</b>	DRAWN BY CV
		Professional Engineer Lic No. 32407	CHECKED BY CRC
			DRAWING NO.
			SHEET NO. 1 OF 2

NOT VALID WITHOUT RAISED SEAL

**SEEDING NOTES:**

**SPECIFICATION - MATERIALS**  
 TOPSOIL: NO TOPSOIL SHALL BE REMOVED FROM THIS SITE. TOPSOIL TO BE MOVED DURING THE COURSE OF CONSTRUCTION IS TO BE REDISTRIBUTED TO PROVIDE A MINIMUM COVER OF 10 TO 12 INCHES OVER THE ENTIRE UNIMPAIRED AREA OF THE SITE.  
 FERTILIZER: FERTILIZER SHALL BE 3-10-10 GRADE UNIFORM IN COMPOSITION. FREE-FLOWING AND SUITABLE FOR APPLICATION WITH ANNECOST EQUIPMENT. FERTILIZER SHALL BE APPLIED AT A RATE OF 14 LBS PER 1000 SQ FT.  
 LIME: LIME SHALL BE GROUND LIME CONFORMING NOT LESS THAN 80 PERCENT OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A 20-MESH SIEVE AND AT LEAST 90 PERCENT WILL PASS THROUGH A 30-MESH SIEVE. LIME SHALL BE APPLIED AT A RATE OF 125 LBS PER 1000 SQ FT.  
 SEED: ALL SEED SHALL BE LABLED IN ACCORDANCE WITH U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT. SEED WHICH HAS BECOME WET, MOIST OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE. THE MINIMUM VARIATION APPLICATION RATE BY WEIGHT OF PURE LIME SEED IN EACH LOT OF SEED SHALL BE AS FOLLOWS:

SEED TYPE	MINIMUM RATE (LBS. PER 1000 SQ. FT.)
PERENNIAL RYE GRASS	1/2
CHEMUNG RED FESCUE	3/8
CHEMUNG RED FESCUE	3/8
KENTUCKY BLUEGRASS	3/8

THE AGGREGATE PERCENTAGE OF MATERIAL OTHER THAN GRASS SEED AS STATED ABOVE SHALL INCLUDE ALL NONHARMS SEED, SHARP HULLS. THE SEED OF CROP PLANTS OTHER THAN THOSE SPECIFIED ABOVE, HARMLESS HONEY MATTER AND SEED SHALL NOT EXCEED 10 PERCENT OF THE TOTAL WEIGHT OF THE MIXTURE.

**MULCH:** MULCH MATERIALS SHALL BE UNIMMEDIATE SALT FREE OR SMALL GRAIN STRAW AT THE RATE OF 1-1/8 TO 2 TONS PER ACRE, OR 70 TO 80 POUNDS PER 1000 SQUARE FEET. MULCH SHALL NOT BE GROUND OR CHIPPED INTO SHORT PIECES. MULCH ADDING SHALL BE APPLIED ON SLOPES EXCEEDING 10% USING A PFC AND TIME, MULCH METING, MULCH ADDING, TROW OR LIQUID. MULCH UNDER MULCH AS APPROVED BY THE S.C.S.

**MAY BALE:** MAY BALE FOR PLANTS SHALL BE UNIMMEDIATE SALT FREE OR SMALL GRAIN STRAW STANDING UNMULCHED WITH MULCH UNDER MULCH.

**TEMPORARY VEGETATION COVERS:** ALL AREAS DAMAGED AND NOT TO BE CONSTRUCTED WITHIN 14 DAYS SHALL RECEIVE TEMPORARY COVER. COVERS FOR TEMPORARY EROSION CONTROL SHALL CONSIST OF PLACEMENT OF LIME AND FERTILIZER AT THE PROPOSED RATES. THE LIME/FERTILIZER MIX SHALL BE WORKED INTO THE SOIL PRIOR TO PLACING RYE GRASS SEEDING AT THE RATE OF ONE POUND PER 1000 SQUARE FEET. ALL AREAS SHALL BE MULCHED AND UNMULCHED AS REQUIRED.

**PERMANENT VEGETATION COVER:** DURING THE PERIOD BETWEEN WHICH IS TO OCTOBER 15, PERMANENT VEGETATION COVER SHALL BE PLACED ON THE PROPERLY PREPARED SURFACE WITHIN TEN (10) DAYS OF FINAL GRADING. AREAS WHICH ARE FINAL GRADED DURING PERIOD OTHER THAN DRAIN MOULD SHALL BE STABILIZED WITH TEMPORARY COVER AND MULCH UNTIL THE SUBSEQUENT SEASON. PERMANENT COVERS SHALL CONSIST OF LIME AND FERTILIZER APPLIED OVER ESTABLISHED AND PREPARED TOPSOIL. MULCH SHALL BE APPLIED AND MAINTAINED UNTIL GROWTH IS WELL ESTABLISHED.

**SOIL EROSION & SEDIMENT CONTROL GENERAL NOTES**

1. THE DISTRICT SHALL BE REPRESENTED AT THE PROJECT PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER, CONTRACTOR AND UTILITY ADMINISTRATORS. AT THE TOWNSHIP ENGINEER DOES NOT CONDUCT A PRE-CONSTRUCTION MEETING, IT IS THE RESPONSIBILITY OF THE OWNER APPLICANT TO SCHEDULE ONE PRIOR TO ANY LAND DISTURBANCE. AN HOUR WRITTEN NOTICE MUST BE GIVEN FOR SCHEDULING PRE-CONSTRUCTION MEETINGS.

2. FEATURES OF THE ATTENDANCE PLAN SHALL NOT RELIEVE THE APPLICANT OF ANY OF HIS RESPONSIBILITIES RELEVANT TO THE APPROPRIATE STATUTES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE DISTRICT IN THE EVENT OF ANY UNEXPECTED PROBLEMS INCURRED DURING CONSTRUCTION.

3. ANY CHANGE OF APPROVED PLANS SHALL REQUIRE AN ADDITIONAL SUBMITTAL TO THE DISTRICT INCLUDING APPROXIMATE RE-ENTRY FEES.

4. AN HOUR WRITTEN NOTICE MUST BE GIVEN TO THE SOILS-EROSION CONTROL DISTRICT PRIOR TO ANY LAND DISTURBANCE.

5. IN PART A.U.C.A. 4-24-20 ET SEQ REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLETED WITH PERMANENT MEASURES. ALL EYE HOLE RELIEF OF APPROVED PLANS AND ALL WORK BEING PERFORMED FOR THE ADVANCEMENT OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY, WHO NEVER WRITTEN NOTICE MUST BE GIVEN TO THE DISTRICT TO SCHEDULE INSPECTION FOR CERTIFICATE OF OCCUPANCY RELEASE.

6. FINAL STABILIZATION OF ALL LAND DISTURBANCES ASSOCIATED WITH UNDERGROUND UTILITIES, IRRESPECTIVE OF THIS IS THE ULTIMATE RESPONSIBILITY OF THE OWNER.

7. A CLEAN BOND OF NOT LESS THAN \$100 PER 1000 SQ FT OF PART THEREOF, OR LOT WILL BE POSTED WITH THE DISTRICT DURING THE WORK PERFORMING SEASON (APPROXIMATELY 15 APRIL 15) IN A CERTIFICATE OF OCCUPANCY IS REQUIRED AND SOIL EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE CONTROLLED WITHIN 14 DAYS. CALCULON CHARGE OR OTHER METHOD APPROVED BY THE SOIL CONSTRUCTION DISTRICT.

8. SEDIMENT TRACED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEP AT THE END OF EACH MORNING DAY.

9. NO BUILDING PERMITS WILL BE RELEASED UNTIL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE FINISHED ON APPROVED PLANS AND INSTALLED.

10. DUST TO BE CONTROLLED WITH WATER, CALCULON CHARGE OR OTHER METHOD APPROVED BY THE SOIL CONSTRUCTION DISTRICT.

11. TRADING PAD TO BE KEPT CLEAN AND REPAIRED AS NECESSARY.

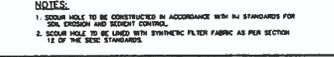
12. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE DISTRICT.

13. SEDIMENT TRAPPED BEHIND SILT FENCE SHALL BE REMOVED WEEKLY OR MORE OFTEN AS NECESSARY.

14. SPECIAL ATTENTION TO SILENT SILT PROTECTION MEASURES SHALL BE TAKEN TO ELIMINATE DELIVERY OF THE UNDERGROUND UTILITY FACILITIES.

15. EXCESS SOILS WILL BE GENERATED WITH THIS PROPOSAL, AND WILL BE REMOVED TO AN APPROVED LOCATION.

**PREFORMED SCOUR HOLE**



**NOTES:**  
 1. SCOUR HOLE TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 2. SCOUR HOLE TO BE LINED WITH SYNTHETIC FILTER FABRIC AS PER SECTION 12 OF THE BIDDING STANDARDS.

**Soil-Sub-Compaction and Testing Requirements**

**Soil Compaction Testing Requirements**  
 1. All sub-grade shall be compacted to a minimum of 95% relative compaction based on the Standard Proctor test. All sub-grade shall be compacted to a minimum of 98% relative compaction based on the Standard Proctor test.  
 2. All sub-grade shall be compacted to a minimum of 95% relative compaction based on the Standard Proctor test.  
 3. All sub-grade shall be compacted to a minimum of 98% relative compaction based on the Standard Proctor test.  
 4. All sub-grade shall be compacted to a minimum of 95% relative compaction based on the Standard Proctor test.  
 5. All sub-grade shall be compacted to a minimum of 98% relative compaction based on the Standard Proctor test.



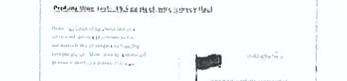
**Stabilized Construction Entrance/Staging Area**

**CONSTRUCTION SPECIFICATIONS**  
 1. STONE SIZE - USE ASTM C-33, SIZE NO. 2 OR 3. USE CRUSHED STONES.  
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.  
 3. THICKNESS - NOT LESS THAN 8 INCHES.  
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF INGRESS OR EGRESS.  
 5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED BY A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO REAR SEDIMENT ALL SEDIMENT SPILLED, DISCARDED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 6. POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHALL BE INSTALLED BEFORE INSTALLATION.



**INLET SEDIMENT CONTROL DEVICE**

**CONSTRUCTION SPECIFICATIONS**  
 1. STONE SIZE - USE ASTM C-33, SIZE NO. 2 OR 3. USE CRUSHED STONES.  
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.  
 3. THICKNESS - NOT LESS THAN 8 INCHES.  
 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF INGRESS OR EGRESS.  
 5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED BY A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO REAR SEDIMENT ALL SEDIMENT SPILLED, DISCARDED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 6. POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHALL BE INSTALLED BEFORE INSTALLATION.



**SEEPAGE PIT DETAILS**

**CONSTRUCTION SPECIFICATIONS**  
 1. STONE SIZE - USE ASTM C-33, SIZE NO. 2 OR 3. USE CRUSHED STONES.  
 2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.  
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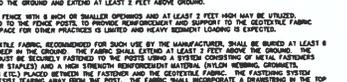
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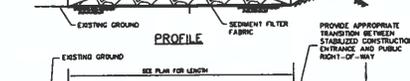


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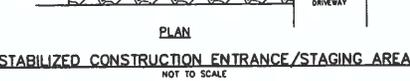
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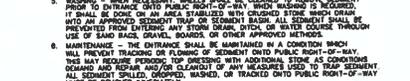
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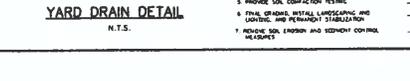
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**CRAMER ECOLOGICAL SERVICES, LLC**

**BRIAN P. CRAMER**

**Environmental Scientist/Ecologist**

### **Professional Qualifications**

Mr. Cramer possesses over 16 years of experience in the areas of land use regulation, commercial, residential and industrial development feasibility, wetland delineation, wildlife surveys/habitat assessment including threatened and endangered species, wetland restoration design and construction. He has extensive experience with federal, state (NJ, CT, PA and NY) and local environmental resource permitting. His project experience includes wetland delineation, wetland restoration design and construction, threatened and endangered species surveys, permit preparation, New Jersey Pinelands coordination, storm water management and soil erosion/sedimentation control. Mr. Cramer has prepared numerous environmental assessments, environmental impact statements (Municipal, State, and Federal) and wetland applications during his career.

### **Education**

BS, Environmental Biology, Chemistry Minor, Pace University

### **Professional Experience**

**US Army Corps of Engineers (USACE), Jamaica Bay Marsh Islands Restoration Project, Brooklyn, NY** - Environmental Scientist/Ecologist responsible for tasks including identification of specific islands and areas particularly suited for salt marsh restoration and identification of preliminary habitat improvement measures and methods in conjunction with the USACE - NY District Design Team. Mr. Cramer was also tasked with installing two independent gauging stations and collecting water quality data over a six month period from within the bay. This data was incorporated into the Natural Resources Inventory (NRI) prepared by Matrix. Mr. Cramer completed an intensive vegetation inventory of the two selected restoration sites (Yellow Bar Hassock and Elders Point Marsh) using a combination of color, infrared, aerial, photo interpretation and on-site GPS surveys. Mr. Cramer also developed a pilot restoration program and prepared state permit applications to implement the program. The pilot program consists of four salt marsh restoration test plots that tested a variety of planting treatments and two different restoration strategies. Matrix installed these test plots in the spring of 2004. Phase II work will include restoration design development and preparation of an Ecosystems Restoration Report (ERR).

**US Army Corps of Engineers (USACE), Upper Passaic Flood Control Feasibility Study Project, Long Hill Township, Morris County, NJ** - Environmental Scientist for this feasibility study which consisted of developing a flood control plan for a severely flood prone area located in the Central Passaic Basin in Long Hill Twp., NJ. The United States Army Corps of Engineers proposed constructing flood control measures to control the flooding problem. Mr. Cramer's work included a vegetation survey, bio-benchmarking, wetlands delineation for the proposed 3,600+ floodwall footprint of disturbance, and conducting an EPW functional wetland assessment of the project area. Mr. Cramer prepared an environmental inventory report, a Finding of No Significant Impact (FONSI), a 404 B (1) report, and a mitigation analysis report. Responsibilities also included evaluating the State environmental permitting requirements and preparing a NEPA Environmental Assessment for the proposed flood control project

**US Army Corps of Engineers (USACE), Spring Creek Project, Jamaica Bay, NY** - Project Scientist responsible for all aspects of the project. The restoration site is an approximately 70-acre parcel located within King and Queens Counties in northern Jamaica Bay, New York City, New York. The project, as proposed, includes over 15 acres of coastal sandplain/grassland restoration, over 15 acres of combined

## QUALIFICATIONS OF PREPARER



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high and low marsh salt marsh restoration, and removal of an existing landfill. This salt marsh restoration project proposes to restore tidal wetland hydrology throughout as much of the site as possible through the excavation of tidal creeks and re-grading to inter-tidal elevations. The restoration plan will connect the area of inter-tidal marsh (including tidal creeks, tidal ponds, mudflats, and interspersed upland habitat islands) with the rest of the site via a logical continuation of native supratidal and upland habitats. Mr. Cramer's work included wetlands functions and values assessment, wetlands delineation, bio-benchmarking, and vegetation studies.

**US Army Corps of Engineers, Brooklyn Union Gas (BUG) Site Project, Staten Island, NY** - Environmental Scientist/Ecologist responsible for baseline data collection and engineering design to develop an existing conceptual wetland mitigation plan into a final wetland mitigation design for the Brooklyn Union Gas site on Old Place Creek, Staten Island, a property under a New York State Department of Environmental Conservation Easement in Richmond County, New York. Project work included baseline biological studies, site surveys, geotechnical investigation, water budget investigation, the preparation of conceptual and final mitigation plans and reports, the preparation of design specifications, and the preparation construction cost estimates.

**Jersey Central Power & Light/First Energy, Transmission Line Maintenance and Infrastructure Construction, New Jersey-Statewide** - Environmental Scientist/Ecologist responsible for conducting a threatened and endangered species habitat assessment, absence-presence surveys, and wildlife construction monitoring for various State and Federally threatened and endangered species throughout New Jersey. Project work included wildlife surveys, vegetation surveys, construction monitoring, construction inspections, preparation of compliance documents, coordination with various regulatory agencies (New Jersey Division of Fish and Wildlife, New Jersey Natural Heritage Program, United States Fish and Wildlife Service), and the preparation of report discussing findings for various transmission lines, substations, and rights of ways in New Jersey.

**Boswell Engineering, Proposed Route 605 Extension, Stanhope, NJ** - Environmental Scientist/Ecologist responsible for conducting a preliminary threatened and endangered species habitat assessment on the potential site for the proposed Route 605 Extension in Stanhope Township, Sussex County, New Jersey. Project work included potential habitat surveys, vegetation surveys, and coordination with various regulatory agencies (New Jersey Division of Fish and Wildlife, New Jersey Natural Heritage Program, United States Fish and Wildlife Service), and the preparation of report discussing findings.

**1665 Conrad Avenue, Pinelands Coordination, Waterford Township, NJ** - Environmental Scientist/Ecologist responsible for conducting a wetland delineation, buffer delineation model, and preparing a NJ Pinelands Letter of Interpretation application for an existing 14 acre site. Matrix investigated model items including but not limited to: vegetation quality, water quality, land uses within in the site vicinity and downstream, current zoning, and permitted density. The buffer delineation model resulted in the reduction of the wetland buffer to 150 feet from the standard 300 foot buffer.

**City of Newark, Delancy Street Corridor Project, Newark, New Jersey** - Environmental Scientist responsible for performing wetland delineation studies for the widening of the Delancy Street Corridor, which is 1.1 miles long and connects freight railroad facilities and intermodal centers, trucking and shipping facilities to Route 1 & 9, Portway and the airport/seaport area.



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**Crystal Springs Builders LLC, Crystal Springs II, Hardyston, NJ** - Environmental Scientist/Ecologist responsible for providing environmental and engineering services for residential and commercial development on an approximately 315-acre site in Harydston Township, Sussex County, New Jersey. Environmental services included wetland analysis, threatened and endangered species surveys, and preparation of freshwater wetlands and stream encroachment permits. Engineering services included preparation of land development plans, design of stormwater management facilities in accordance with state best management practices (BMPs), and preparation of soil erosion and sediment control plans.

**New Jersey Department of Transportation, Proposed Route I-287 Weigh Station, Mahwah, NJ** - Environmental Scientist/Ecologist responsible for conducting a preliminary threatened and endangered species habitat assessment on the potential site for the proposed I-287 weigh station in Mahwah Township, Bergen County, New Jersey. Project work included wildlife surveys, vegetation surveys, coordination with various regulatory agencies (New Jersey Division of Fish and Wildlife, New Jersey Natural Heritage Program, United States Fish and Wildlife Service), and the preparation of report discussing findings.

**Hillsborough Chase, Major Subdivision, Hillsborough, NJ** - Mr. Cramer provided environmental services for the 105-lot subdivision of an existing 142.56 acre site. Environmental services included the preparation of an environmental impact statement, riparian corridor analysis, agricultural impact report, and wetland analysis. The wetland analysis resulted in the delineation of a complex stream corridor and associated wetlands. A letter of interpretation was then obtained to verify the limits of the onsite wetlands/waters. Subsequent to the approval of the letter of interpretation, a stream encroachment permit, transition area waiver, and various general permits were obtained as part of the project.

**Bennetts Village, Major Subdivision, Franklin Township, NJ** - Environmental Scientist/Ecologist responsible for preparation of an environmental impact statement, stream encroachment permit application, and freshwater wetlands permit application for an 18-lot residential subdivision of an existing 29.18 acre site.

**Pulverizing Services Site, Soil Remediation and Wetland Restoration, Moorestown, NJ** - Environmental Scientist/Ecologist responsible for performing a wetland analysis and prepared freshwater wetland permit applications and wetland mitigation plans for soil remediation and wetland restoration on a 20-acre site which is being addressed under the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) for residual levels of pesticides (DDT, Aldrin, and Deildrin) found in the soils on-site. Designed wetland restoration areas, construction supervision of restoration areas, and post-construction monitoring of restoration areas were also included as part of the project.

**Elm Street Bridge, Hazardous Waste Screening, Wetland, County of Somerset, NJDOT** - Environmental Scientist for a team selected by the County of Somerset, New Jersey to conduct wetland and environmental scoping study for replacement of the Elm Street Bridge, Branchburg/Hillsborough Townships, New Jersey. Mr. Cramer performed a wetland delineation and permits, CED and Hazardous Materials Screening (HWS) for the project area. The HWS identified Environmental Sensitive Parcels (ESP) within the study area that could impact the proposed improvements. Historical information, current conditions, and operations pertaining to the study area were reviewed. The HWS



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**BRIAN P. CRAMER**

**Environmental Scientist/Ecologist**

is being performed in accordance with the NJDOT Procedures Manual. Mr. Cramer executed the scope of work for the HWS which included a visual reconnaissance of the study area; review of readily available Federal, state, and local regulatory records; examination of historical information; an evaluation of current and past operations and activities within the study area. Upon completion, Mr. Cramer prepared a written report documenting the HWS.

**Pedestrian Crossing, Kennedy Boulevard, Hazardous Waste Screening/CED Submission, Kennedy Boulevard, Union City, New Jersey, County of Hudson/NJDOT** - Environmental Scientist retained to perform a CED and Hazardous Materials Screening (HWS) a Pedestrian crossing over Kennedy Boulevard in Union City, New Jersey. The CED will utilize existing information, where available, which will be supplemented by requests to various regulatory agencies. The CED addressed project description, project need, proposed improvements, noise impact, air quality assessment, wetlands and wetland buffers, vegetation and wildlife, water quality and aquatic ecology, flood plains, permits and related clearances, cultural resources and historical sites - Section 106, and recreational land - Section 4(f)

**Camelot Ridge at Lebanon, Lebanon Borough, NJ** - Environmental Scientist/Ecologist responsible for providing environmental services for a 120-unit (10 residential buildings) townhouse facility on a 10-acre site in Lebanon Borough, New Jersey. His environmental services began with a wetland analysis, which led to the delineation of various wetlands and waters within the project area. A permit was obtained from the New Jersey Department of Environmental Protection to cross a drainage ditch with the realignment of Railroad Avenue. A 30-day stream encroachment permit along with a general permit were also obtained for the waterline extension and crossing of the south branch of the Rockaway Creek.

**Elizabethtown Water Company, Plumsted Township, NJ** - Environmental Scientist/Ecologist responsible for providing professional environmental services for the construction of an 8-inch water main across Stony Ford Creek and associated floodplain. A wetland analysis resulted in the delineation the Stony Ford Creek and the adjacent wetlands. A Statewide General Freshwater Wetland Permit No. 2 (Utility Line Crossing) and a 30-Day Stream Encroachment Permit were obtained from the New Jersey Department of Environmental Protection (NJDEP) for approval to temporarily impact a section of open waters and adjacent wetland associated with Stony Ford Creek for the purpose of installing the waterline.

**Verizon NJ and Verizon PA, Land Use Department** - Environmental Scientist/Ecologist responsible for providing professional environmental services for development, design, and construction of switching stations, central offices, and work centers located throughout New Jersey and Pennsylvania. Environmental services included preparation of environmental impact statements, Phase I environmental site assessments, soil erosion and sediment control plans, and coordination with the New Jersey Department of Environmental Protection to obtain letters of interpretations, stream encroachment permits statewide general freshwater wetland permits, and transition area waivers, as dictated by existing site conditions.

**Verizon Wireless, New Jersey Statewide** - Environmental Scientist/Ecologist responsible for providing professional environmental services for development, design, and construction of wireless communications facilities located throughout the State of New Jersey. Mr. Cramer prepared a Phase I



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environmental site assessment and NEPA Checklists. The reports were prepared in accordance with the National Environmental Policy Act of 1969 and environmental impact statements.

**Various Boards of Education, New Jersey Statewide** - Environmental Scientist/Ecologist responsible for conducting field investigations/wetland delineations for wetlands/waters and prepared and submitted to NJ Department of Environmental Protection (NJDEP) various types of applications (including letters of interpretation, statewide general permits, and transition area waivers) for schools projects, both public and private. These projects ranged from additions/alterations to existing buildings to other site improvements including athletic field design, utilities, pedestrian and vehicular circulation, and parking improvements. Mr. Cramer prepared environmental assessments and environmental impacts statements in accordance with Executive Order No. 215 for submission to the NJDEP, Office of Program Coordination, for review and approval.

**AT&T, Assessments/Delineation/Permits, Oradell, NJ** - Environmental Scientist/Ecologist responsible for wetland assessment and delineation of a proposed cellular telecommunication site. Coordinated with the New Jersey Department of Environmental Protection to obtain letters of interpretations, stream encroachment permits and waterfront development permits.

**Andover-2, Wetland Delineation/Letter of Interpretation (LOI)/General Permit (GP), Andover (Forest Lakes), NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately two-acre site. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation and Statewide General Permit No. 6.

**Summit Associates, Inc., Cranbury II, Wetland Delineation/Letter of Interpretation (LOI), Cranbury, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately 90-acre site. Prepared an application for a letter of interpretation.

**Ed Jo Property, Wetland Restoration Plan, Dayton, NJ** - Environmental Scientist/Ecologist responsible for the preparation of a wetland restoration plan for property where wetlands had been illegally filled.

**Verizon, New Market, Wetland Delineation/Letter of Interpretation (LOI)/General Permit (GP), Piscataway, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of a proposed cellular telecommunication site on an existing GPU right-of-way. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation and Statewide General Permit No. 6.

**Honig-Shotmeyer, Wetland Delineation/Letter of Interpretation (LOI), Hardyston/Vernon, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately 150-acre site. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation.

**Verizon, Environmental Site Assessment (ESA)/NEPA, Dewberry Cell Sites, NJ** - Environmental Scientist/Ecologist responsible for environmental site assessment and NEPA permits for cell sites in Teaneck, Long Valley and Readington, NJ



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**Environmental Scientist/Ecologist**

**Cocchi-Byram, Wetland Delineation/Letter of Interpretation, Byram Township, Sussex County, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately 30-acre site. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation.

**West Morris Central High School, Wetland Delineation and Letter of Interest (LOI), Washington Township/Mt. Olive Township, Morris County, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately 60-acre site. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation.

**Readington, Indian Temple, Wetland Delineation and Letter of Interest (LOI), Readington, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation of an approximately 28-acre site. Coordinated with the New Jersey Department of Environmental Protection to obtain a letter of interpretation.

**Byram Township, Complete Wetland Delineation, Permitting and Civil Engineering, Sussex County, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation, permitting and civil engineering of an approximately 30-acre site, which included a five-lot subdivision. Coordinated with the New Jersey Department of Environmental Protection to obtain a transition area waiver, minor stream encroachment permit, and a letter of interpretation.

**Crystal Springs Builders, LLC, Lot 20, Wetland Delineation and Map Production, Hardyston, NJ** - Environmental Scientist/Ecologist responsible for wetland delineation and map production of an approximately 7-acre site.

**Various Lake Communities and Associations, New Jersey, New York, Pennsylvania, and Connecticut** - Environmental Scientist/Ecologist responsible for performing water quality sampling/analysis and bio-monitoring for use in fishery and water quality assessments of various water bodies. Analyzed limnological conditions of various water bodies for use in water quality assessments. Dealt with lake management issues in numerous lakes, ponds, and reservoirs within the tri-state area. Performed various chemical applications for nuisance vegetation such as invasive species, aquatic plants, and algae.

#### **NJDEP Wildlife Conservation Corps. Volunteer Projects**

**NJDEP ENSP Amphibian Crossing Survey: 2002 - 2009** - In conjunction with the NJDEP Endangered and Nongame Species Program (ENSP) conducted amphibian (frog and salamander) vehicle mortality survey and rescue operations at known amphibian road crossings. Served as team member for surveys since the inception of the study in 2002.

**NJDEP ENSP Bobcat Project: 2005, 2006, 2007, 2008, 2009** -Conducted scent post surveys (motion camera) work from ENSP and obtained photos of bobcats from areas in Warren and Sussex Counties where bobcats were suspected, but had not been confirmed, to be located. Worked with ENSP Principal Zoologist live-trapping and radio collaring bobcats from Sussex and Warren Counties. Responsibilities included setting, baiting, re-baiting as required, daily checking traps, releasing non-target species (raccoons, opossums, skunks), contacting ENSP when a bobcat was caught, and assisting with collaring and releasing of bobcats.



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**Environmental Scientist/Ecologist**

**NJDEP ENSP Woodland Raptor Survey: 2006-** Conducted surveys for red-shouldered hawks, Cooper's hawks, goshawks, and barred owls. Surveys included broadcast of taped calls during appropriate season/weather conditions and listening for response. All work was conducted in accordance with ENSP protocols.

#### **Professional Affiliations**

Society of Wetland Scientists

#### **Continued Education & Training**

Vegetation Identification for Wetland Delineation, Cook College, Rutgers University, 2001

Methodology of Delineating Wetlands, Cook College, Rutgers University, 2001

New Jersey Fresh Water Wetlands Rules, Cook College, Rutgers University, 2001

40-hour OSHA Training Certification, 2002

8-Hour OSHA Annual Update Training, 2003, 2004, 2005, 2006

Due Diligence Seminar, Environmental Data Resources Inc., 2002

12<sup>th</sup> Annual Pinelands Native Plant and Restoration Symposium, 2003

Threatened and Endangered Species of New Jersey, Cook College Rutgers University, 2003

New Jersey Transit, Rail Safety Training, 2003

Wetland Construction Design, Cook College, Rutgers University, 2003

Vernal Pool Surveying Training, New Jersey Fish and Wildlife, Endangered and Non-Game Species Program, 2004

Technical Training for NJ Stormwater Management Rule & BMP Manual, Cook College, Rutgers University, April 2005

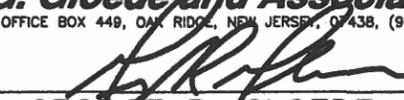
Threatened and Endangered Species of New Jersey, Cook College, Rutgers University, March 2007

NJ Highlands Water Protection and Planning Act Rules, Cook College, Rutgers University, April 2007

NJ Wetland Mitigation-Water Budget Manual, Cook College, Rutgers University, August 2008

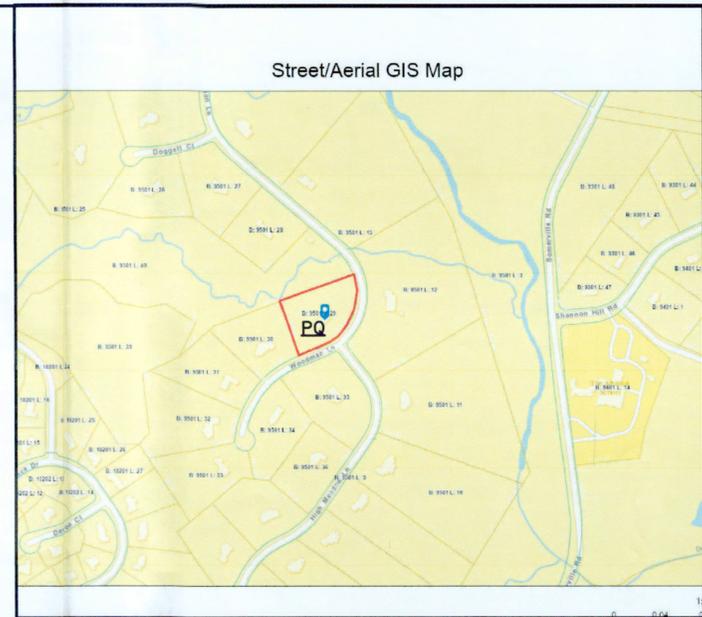
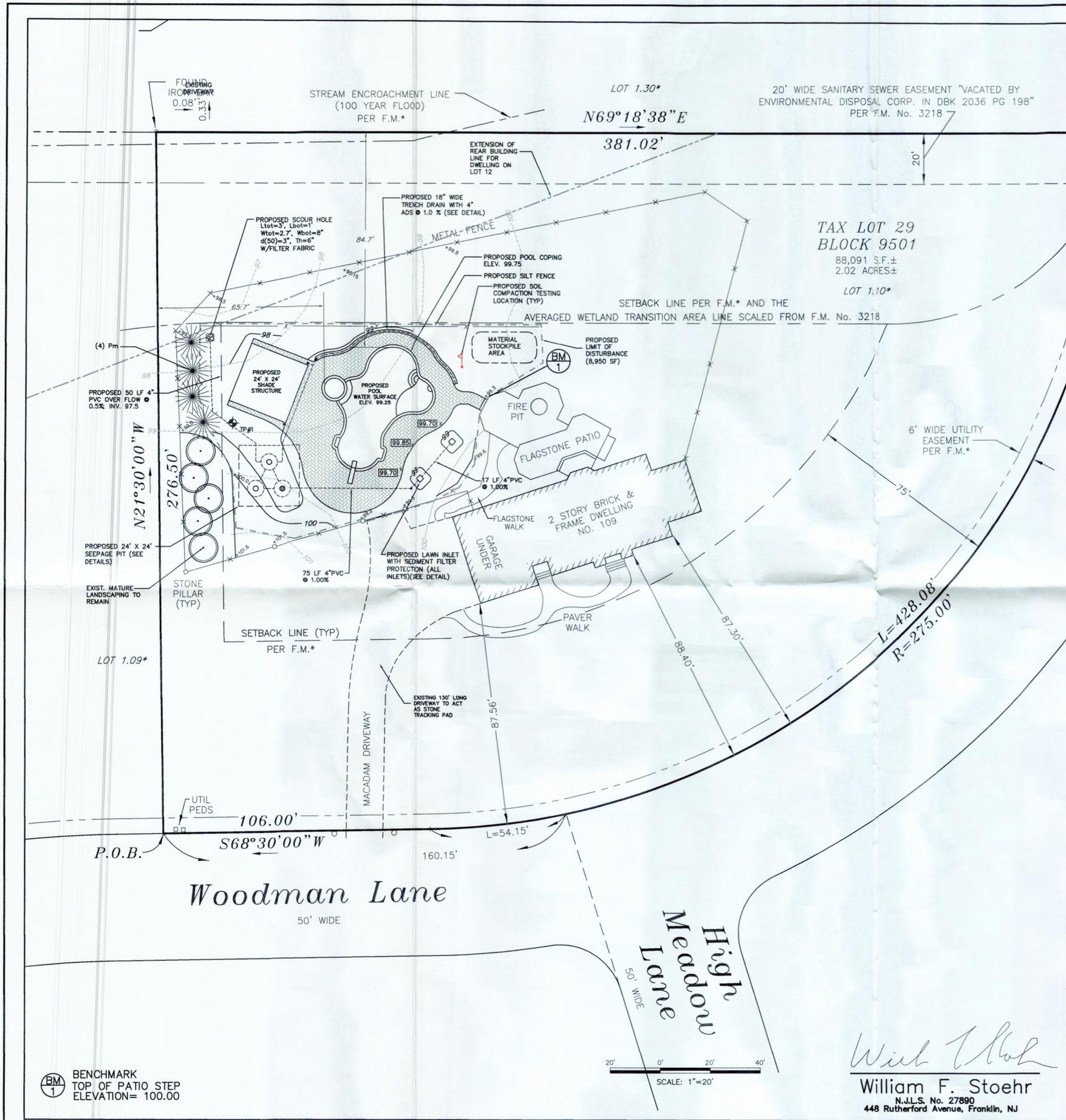


DATE	REVISIONS MADE

**PROPOSED ARIEL VIEW  
 PROPOSED IN-GROUND SWIMMING POOL  
 FOR**  
**109 WOODMAN LANE**  
**BLOCK 9501 - 29**  
**BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY**  
**G. Gloede and Associates**  
POST OFFICE BOX 449, OAK RIDGE, NEW JERSEY, 07438, (973)697-9247  
  
**GEORGE R. GLOEDE JR.**  
 Professional Engineer Lic. No. 32407

FILE NO.	2021-097
DATE:	1/20/22
SCALE:	1" = 40'
DRAWN BY:	GV
CHECKED BY:	GRG
DRAWING NO.	
SHEET NO.	1 OF 1

NOT VALID WITHOUT RAISED SEAL



**KEY MAP**  
1"=400'

**NOTES:**

- THIS PLAN BASED ON A SURVEY ENTITLED "MAP OF SURVEY TAX LOT 29 BLOCK 9501 THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" PREPARED BY SWANSON, HALSEY & ASSOCIATES., DAVID B. SWANSON, N.J.P.L.S. LIC# 240S04330000, DATED JUNE 29, 2012 AND CONTAINS 2.02 AC. (88,091 SF)
- TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON BASED ON A FIELD SURVEY PREPARED BY WILLIAM F. STOEHR, N.J.S.L.S. LIC. #GS27890, DATED AUGUST 24, 2021.
- SUBJECT PARCEL IS KNOWN AS BLOCK 9501, LOT 29 AS SHOWN ON TAX MAP SHEET 95 OF THE TAX MAPS OF BERNARDS TOWNSHIP.
- SWIMMING POOL SETBACK REQUIREMENTS: DISTANCE FROM SIDE PROPERTY LINE: 20' REQUIRED; 65.7' PROPOSED
- SEE PLANS PREPARED BY PREMIER POOLS AND SPAS FOR CONC. APRON AND ALL POOL DETAILS.
- EXISTING LOT COVERAGE CALCULATIONS:  
DWELLING: 3,100 SF  
DRIVEWAY: 2,895 SF  
FRONT SIDEWALK/STEPS: 590 SF  
REAR SIDEWALK: 224 SF  
REAR PATIO/FIRE PIT: 1,190 SF  
TOTAL EXISTING: 7,999 SF (9.1%)
- PROPOSED LOT COVERAGE CALCULATIONS:  
DWELLING: 3,100 SF  
DRIVEWAY: 2,895 SF  
FRONT SIDEWALK/STEPS: 590 SF  
REAR SIDEWALK: 224 SF  
SHADE STRUCTURE: 576 SF  
PAVERS: 2,372 SF  
POOLSURFACE: 1,035 SF  
TOTAL PROPOSED: 11,982 SF
- LOT COVERAGE CALCULATIONS:  
LOT AREA: 88,091 SF  
LOT COVERAGE (15%): 13,214 SF  
EXISTING LOT COVERAGE: 7,999 SF (9.1%)  
PROPOSED LOT COVERAGE: 11,982 SF (13.6%)
- ALL EXCAVATED MATERIAL MUST BE DISPOSED OF IN ACCORDANCE WITH BOROUGH REGULATIONS OR USED AS FILL AT AN APPROVED LOCATION.
- LIMIT OF DISTURBANCE FOR THIS PROJECT IS 8,950 SF WHICH WILL REQUIRE CERTIFICATION FROM THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

**TEST PIT #1**

- 0" - 6" TOPSOIL
- 6" - 40" 10YR 4/4; SANDY CLAY LOAM, 5% GRAVEL, 15% COBBLES SUBANGULAR BLOCKY, MOIST, FRIABLE
- 40" - 108" 10YR 6/6, SANDY CLAY LOAM, 10% GRAVEL; 5% COBBLES; SUBANGULAR BLOCKY, MOIST, FRIABLE  
NO GROUND WATER; NO MOTTLING; roots to 48"  
SOIL SAMPLE TAKEN FROM TEST PIT #1 AT A DEPTH OF 36"  
RESULT: K-3  
SOIL SAMPLE TAKEN FROM TEST PIT #1 AT A DEPTH OF 60"  
RESULT: K-3

QTY	KEY	BOTNICAL NAME	COMMON NAME	CAL	HT	BALL
4	Pm	PSEUDOTSUGA MENESII	DOUGLAS FIR	2"-2 1/2"	10'-12'	B&B

**109 WOODMAN LANE**

DATE	REVISIONS MADE	FILE NO.
1/20/22	PER ZONING COMMENTS	2021-097
1/3/22	REMOVE DISTURBANCE OUTSIDE OF AVERAGE TRANSITION AREA	8/23/21

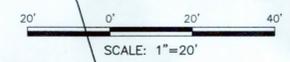
PROPOSED POOL PLOT PLAN/GRADING PLAN AND SOIL EROSION AND SEDIMENT CONTROL PLAN FOR BLOCK 9501, LOT 29 BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

**G. Gloede and Associates**  
POST OFFICE BOX 449, OAK RIDGE, NEW JERSEY, 07438, (973)697-9247

**GEORGE R. GLOEDE JR.**  
Professional Engineer Lic. No. 32407

DRAWN BY: GV	CHECKED BY: GRG
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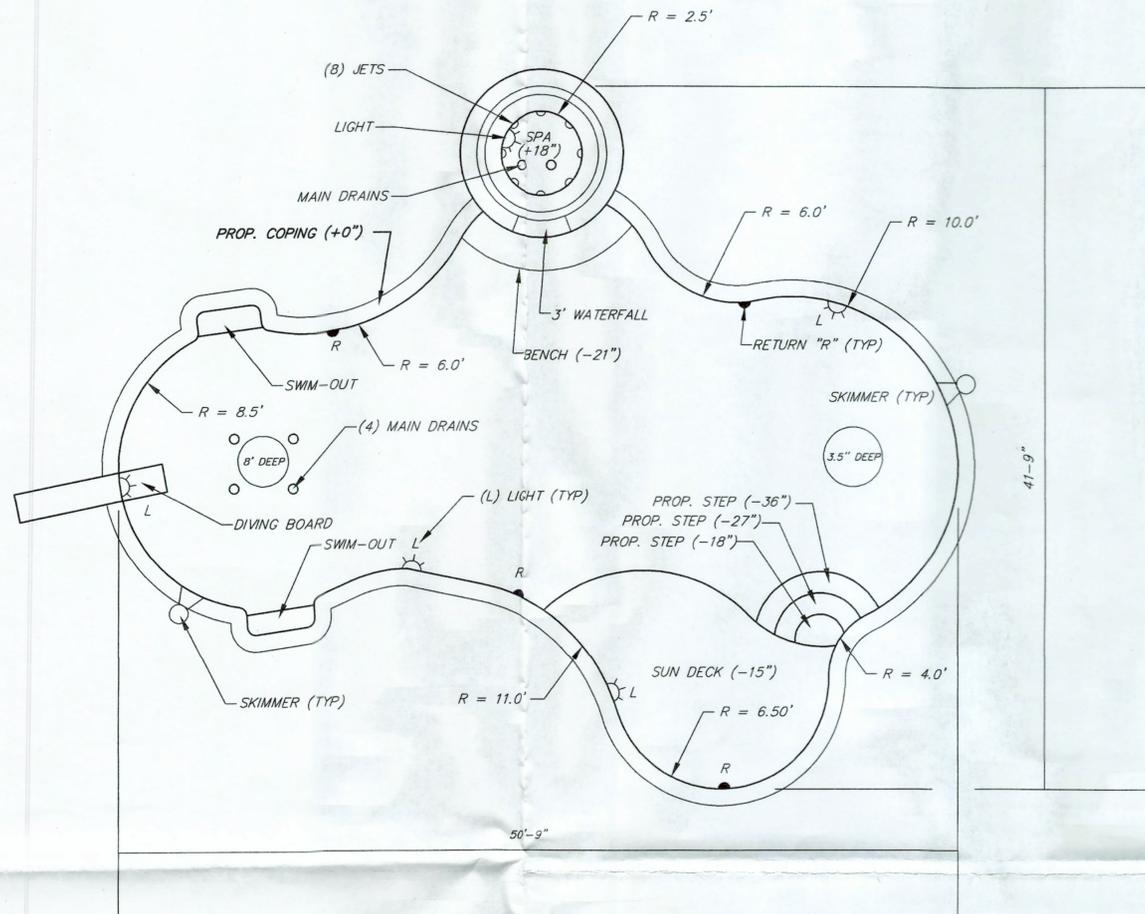
**BM** BENCHMARK  
TOP OF PATIO STEP  
ELEVATION= 100.00



*William F. Stoehr*  
**William F. Stoehr**  
N.J.L.S. No. 27890  
448 Rutherford Avenue, Franklin, NJ

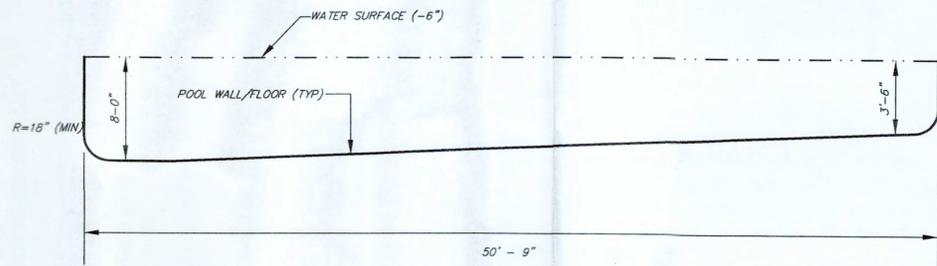
PROPOSED POOL GRADING AND PLOT PLAN





**POOL DIMENSION PLAN**

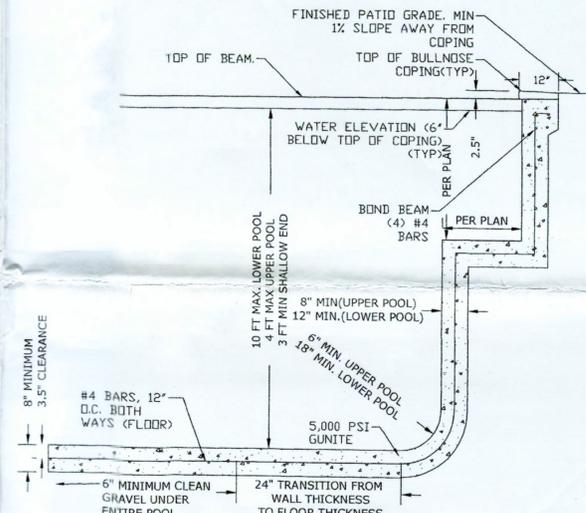
1" = 5'



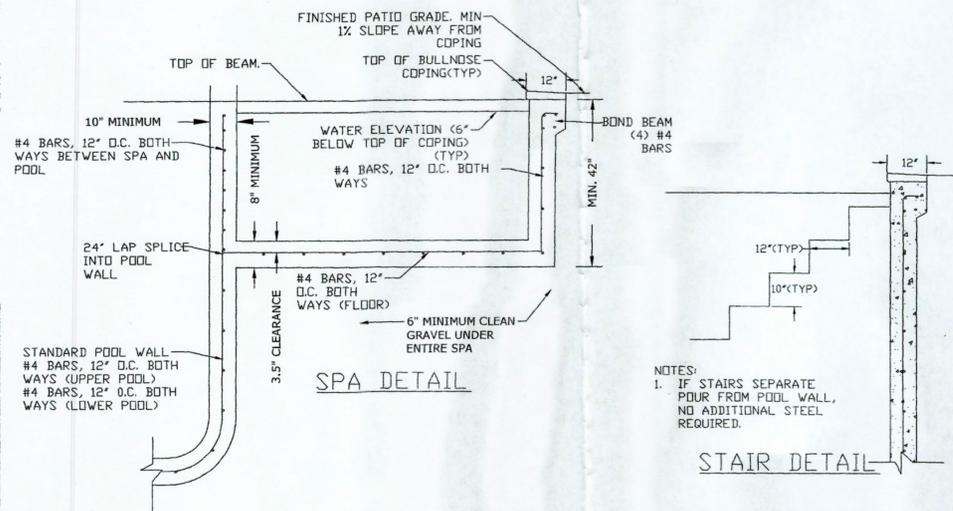
**LONGITUDINAL POOL SECTION**

NTS

- GENERAL NOTES:
1. POOL/SPA STRUCTURAL DESIGN BASED UPON GRANULAR, NON-EXPANSIVE SOILS, EPP=45 PCF. ENGINEER MUST BE CONTRACTOR ENCOUNTERS ANY SITE CONDITIONS THAT MAY DIFFER (INCLUDES SLOPING BACKFILL).
  2. ALL POOL/SPA BONDING SHALL BE IN ACCORDANCE WITH CURRENT NEC CODES INCLUDING BONDING ALL PARTS (IE. STRUCTURAL STEEL, PERIMETER SURFACES, METALLIC COMPONENTS, UNDERWATER LIGHTING, METAL FITTINGS, ELECTRICAL EQUIPMENT AND METAL WIRING METHODS, ETC).
  3. HORIZONTAL AND VERTICAL (ON ALL COPING WALLS) DEPTH MARKINGS SHALL BE PROVIDED AT MAXIMUM 25 FT INTERVALS AND AT ALL CHANGE IN POOL DEPTH ELEVATIONS AS PER CODE. ALL TEXT SHALL BE 4" HIGH. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT NEC CODE.
  4. POOL/SPA STRUCTURAL DESIGN DOES NOT ASSUME ANY SURCHARGE LOADING SUCH AS ADJACENT STRUCTURES, WALLS, SLOPES, ETC.
  5. ALL CONSTRUCTION INCLUDING FENCE/BARRIER MUST COMPLY WITH CURRENT INTERNATIONAL SWIMMING POOL & SPA CODE.
  6. GUNITE MUST BE KEPT DAMP FOR 14 DAYS AFTER INSTALLATION.
  7. ENERGY CONSUMPTION OF POOLS AND PERMANENT SPAS SHALL BE CONTROLLED IN ACCORDANCE WITH REQUIREMENTS OF ASSOCIATION OF POOL & SPA PROFESSIONALS (APSP-15).
  8. POOL DECK SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT IRC CODE.
  9. SUCTION ENTRAPMENT AVOIDANCE SHALL BE PROVIDED IN ACCORDANCE WITH ANSI/APSP STANDARDS.
  10. ALL INTERIOR SURFACES OF POOLS AND SPAS SHALL BE COATED WITH A WATERPROOF SILICA PLASTER.
  11. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL CODE AND BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
  12. ALL POOL EQUIPMENT, MATERIALS, DECKING AND ACCESSORIES SHALL COMPLY WITH CURRENT IRC, NEC, APSP REQUIREMENTS.
  13. NO DIVING MARKINGS SHALL BE POSTED AS REQUIRED CODE, ON ALL POOLS UNLESS SPECIFIC DIVING AREA CALCULATIONS ARE PROVIDED. NO CALCULATIONS HAVE BEEN PROVIDED.



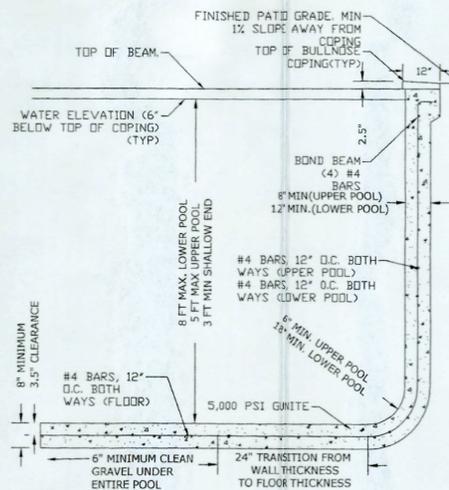
**SHELF/BENCH DETAIL**



**SPA DETAIL**

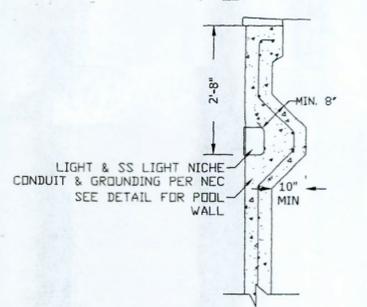
- NOTES:
1. IF STAIRS SEPARATE POUR FROM POOL WALL, NO ADDITIONAL STEEL REQUIRED.

**STAIR DETAIL**

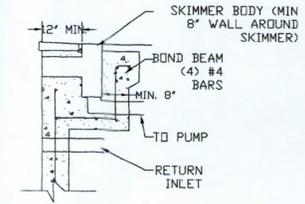


**SHOT CRETE LINER SECTION**

- NOTES:
1. WHERE SOIL IS EXPOSED FOR REPAIRS, THE GROUND SHALL BE COMPACTED AND ANY YIELDING AREAS SHALL BE OVEREXCAVATED AND BACKFILLED IN 4" LIFTS WITH DENSE GRADED AGGREGATE.
  2. CONCRETE SHALL BE 5,000 PSI WITH A MAXIMUM WATER TO CEMENTITIOUS MATERIALS RATIO BY WEIGHT OF 0.40.
  3. ALL REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60.
  4. MINIMUM COVER CLEARANCE FOR REBAR IS 3.5".
  5. MINIMUM CONCRETE THICKNESS SHALL BE 8".
  6. CONCRETE SHALL BE PNEUMATICALLY APPLIED.
  7. ANY UTILITY PENETRATIONS THROUGH THE CONCRETE SHALL BE SEALED AND WATERPROOFED.
  8. ALL PIPES SHALL BE PRESSURE TESTED PRIOR TO INSTALLING LINER.



**LIGHT DETAIL**



**SKIMMER SECTION**

IT'S THE LAW  
CALL BEFORE YOU DIG



NEW JERSEY LAW REQUIRES THREE WORKING DAYS NOTICE PRIOR TO ANY EARTH MOVING ACTIVITIES.

DATE	REVISIONS MADE

PROPOSED CONCRETE POOL DETAILS  
FOR  
109 WOODMAN LANE  
BLOCK 9501, LOT 29  
BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

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GEORGE R. GLOEDE JR.  
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FILE NO. 2021-097  
DATE: 10/4/21  
SCALE: AS NOTED  
DRAWN BY: GV  
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DRAWING NO.  
SHEET NO. 1 OF 1

NOT VALID WITHOUT RAISED SEAL