

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION
Regular Meeting of December 28, 2020-7 pm

The Environmental Commission meeting for December 28, 2020 will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link at 7:00 PM :
<https://us02web.zoom.us/j/83838765237?pwd=UGxqbktBQXYvWFMzVCtaWnV3TlFudz09>

Or by calling 1-646-558-8656 and entering Meeting ID: **838 3876 5237** and Passcode: **893426**
Public comment will be accepted via e-mail. Please include your name and address in the e-mail and send comments to kcartoccio@bernards.org. They will be read during the public comment section.

Meeting Agenda

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC meeting minutes regular – [November 23, 2020](#)**
- 6. Reports and Miscellaneous Correspondence**
 - a. **Social Media Outreach Project**
 - b. **[2021 Meeting Dates](#)**
- 7. New Business**
 - a. **Applications**
 - i. **[Shaw-ZB-20-021 490 South Maple Ave](#)** Minor Subdivision use variance bulk variance
[Reilly-ZB-20-024 48 Lyons Place](#) Pool not located behind the rear building line of an adjacent dwelling.
 - ii. **[Khoshaba -ZB 20-025 44 Old Farm Road Pool](#)** not located behind rear building line of adjacent dwelling
 - iii. **[Keith-ZB-20-026 34 Eton Place](#)** – Side yard setback relief for pergola to be constructed on existing patio
- 8. Comments by Public**
- 9. Comments by Members**
- 10. Adjournment**

Kelly Julian, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



Bernards Township Environmental Commission



BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – November 23, 2020 – 7pm

CALL TO ORDER

Chairperson Ann Parsekian called the meeting to order at 7:04pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

FLAG SALUTE

All those assembled saluted the flag.

ROLL CALL

Present: Debra DeWitt, Nancy Cook, John Crane, Joan Harris, Ann Parsekian, Alice Smyk, Mahwish Mustafa

Absent: Jane Conklin, James LaMaire

Also Present: Kaitlin Cartoccio – Recording Secretary, Todd Edelstein - Resident

APPROVAL OF MEETING MINUTES

Motion to approve the October 26, 2020 minutes made by Alice Smyk, seconded by Nancy Cook. All in favor, motion carried.

REPORTS & MISCELLANEUS CORRESPONDENCE

a. 154 Old Farm Road ZB-20-018 203

No comments.

b. Whitenack Road-NJDEP-Wetlands General Permit #24

No comments.

c. 300 N. Maple Avenue -LOI

No comments.

Residence at Mountain View-TWA

No comments.

OLD BUSINESS

a. Moye-PB 17-001-11 Mountain Road – revised plans

John Crane recused himself at 7:08 pm. Previous comments made stand on the revised plans. Comment on the impervious coverage related to the driveway on the east side of



Bernards Township Environmental Commission



the house.

Motion by Debra DeWitt, seconded by Alice Smyk.

John Crane abstained from the vote. All others in favor, motion carried.

NEW BUSINESS

- a. **DiNardo – ZB 20-017 282 Stonehouse Road – Lot coverage & setback variances for 3 season porch.**

John Crane returned at 7:21 pm. The Environmental Commission notes the proposed lot coverage exceeds the required amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is the concern with this application, therefore site features to promote stormwater infiltration should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nj.gov/dep/gi/>). The Commission also suggests that the applicant may want to consider reducing the amount of impervious surface coverage.

Motion by John Crane, seconded by Nancy Cook.

All in favor, motion carried.

- b. **Cohen-ZB20-018 15 Old Farm Road – Front Yard setback variance for addition**

In regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water. In addition, the applicant should discuss a plan for emptying the pool on the sloped area. It is recommended that silt fence barriers be used to protect the slopes when the pool is built. The Commission asks for clarification on how much impervious coverage is proposed and address any necessary conflicting numbers

Motion by Debra DeWitt, seconded by Alice Smyk.

All in favor, motion carried.

- c. **Boyle-ZB 20-022 60 Walnut Circle – Variance for pool not located behind rear building line of adjacent dwellings**

Debra DeWitt recused herself at 8:06 pm. In regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming



Bernards Township Environmental Commission



pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water. This may result in exceeding 1000 sq extra impervious feet. The applicant should have calculations for field drain and location.

Motion by Nancy Cook, seconded by Mahwish Mustafa.

Debra DeWitt abstained. All others in favor, motion carried.

- d. **Raymond-ZB 20-023 22 Monroe Place** – Raze existing structure, build new dwelling. Min lot size and min lot

Debra DeWitt returned at 8:14 pm. The Commission would ask the Board to remind the applicants that they are virtually at capacity on lot coverage and that any future additions such as patios, sheds, pools or any other impervious surface coverage items would put them over the limit. The Commission suggests they discuss this with the applicant and perhaps the applicant may want to consider reducing the amount of impervious surface coverage.

Motion by Debra DeWitt, seconded by Alice Smyk.

All in favor, motion carried.

COMMENTS BY MEMBERS

Debra DeWitt said 2 pieces of information went out to the public via Facebook and the website. One was Monster Smash Day for pumpkins following Halloween. Joan left at 8:30 pm. Debra Dewitt and Nancy Cook also sent out information on Recycle Coach.

PUBLIC COMMENT

Todd Edelstein commented the agenda was not linked to the calendar. He also commented it was not posted on the website, but it was just not in the correct order. He also commented on the nature trail on King George Road on Crown Plaza and talked about the wood chip trails using plastic edging and suggested using metal instead. Ann Parsekian commented the plastic edging could last a long time.

ADJOURNMENT

Meeting was adjourned at 8:38 pm by Ann Parsekian and seconded by Nancy Cook. All in favor, motion carried.

Respectfully submitted,
Kaitlin Cartoccio, Meeting Secretary



Bernards Township Environmental Commission

TO: Planning Board Chairperson and Members

FROM: Ann Parsekian, Chairperson
Bernards Township Environmental Commission

DATE: October 24, 2020

RE: **Moye-PB17-001**
11 Mountain Road
Bl: 11401 Lt:11

The Environmental Commission reviewed this application at their October 23, 2020, meeting and submits the following comments:

Moye PB17-001 - 11 Mountain Road.

The Environmental Commission has reviewed new materials for this application and offers the following comments:

1. The Environmental Commission's comments from August 24, 2020 remain valid.
2. The garage appears to have been relocated to the south end of the proposed house. In this case, it is not clear to the Environmental Commission the purpose of the portion of the driveway that extends around to the east side of the proposed house. The Environmental Commission recommends that the Planning Board discuss the need for this and the substantial amount of impervious coverage that it would require.

Cc: David Schley, Township Planner
Cyndi Kiefer, Secretary; for distribution to PB members and Attorney to applicant



Bernards Township Environmental Commission

TO: Zoning Board Chairperson and Members

FROM: Ann Parsekian, Chairperson
Bernards Township Environmental Commission

DATE: October 24, 2020

RE: Applications review

The Environmental Commission reviewed these applications at their October 23, 2020 meeting and forwards the following comments.

DiNardo ZB20-017 282 Stonehouse Road

The Environmental Commission has reviewed new materials for this application and offers the following comments:

1. The Environmental Commission notes the proposed lot coverage exceeds the permitted maximum. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area-wide flooding. Site drainage is a concern with this application, therefore site features to promote stormwater infiltration should be considered. The NJ DEP Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners. (<http://www.nj.gov/dep/gi/>).
2. The Commission suggests that the Zoning Board discuss with the Applicant whether they may want to consider reducing the amount of impervious surface coverage.
3. The Environmental Commission notes there are no stream buffers indicated on the plan. The plan dated February 28, 2019 indicates the presence of a “drainage ditch;” however, the survey dated November 18, 1994 calls it a “stream.”

Cohen ZB20-018 154 Old Farm Road

The Environmental Commission has reviewed this application and offers the following comments:

1. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water. In light of the 20% to 25% slope of the property east of the pool, the Environmental Commission recommends that the Zoning Board discusses the Applicant’s plan for discharging pool water.



Bernards Township Environmental Commission

2. Due to areas of moderate and steep slopes in the vicinity of the proposed project, the Environmental Commission recommends that the plan depict a double row of silt fencing, as well as construction details of such fencing.

3. The Environmental Commission asks that the amount of additional impervious coverage and land disturbance be clarified on the submission materials and plans, and that the Applicant address any necessary stormwater requirements.

Boyle ZB20-022. 60 Walnut Circle

The Environmental Commission has reviewed this application and offers the following comments:

1. The Commission would ask the Board to remind the Applicants that they are at maximum permitted lot coverage and that any future additions or any other impervious surface coverage features would put them over the limit. The Commission suggests discussing this with the Applicant and perhaps the Applicants may want to consider reducing the amount of impervious surface coverage.

2. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Raymond ZB20-023 22 Monroe Place

The Environmental Commission has reviewed this application and offers the following comments:

1. The Commission would ask the Board to remind the Applicants that with the proposed plan, they would be near maximum permitted lot coverage and that any future additions or any other impervious surface coverage features would put them over the limit. The absence of any proposed outdoor amenities for the new dwelling, such a patio, which would exacerbate lot coverage and impervious surface issues, should be discussed relative to future property owners. Perhaps the Applicants may want to consider reducing the amount of impervious surface coverage.

Cc: David Schley, Township Planner
Cyndi Kiefer, Secretary; for distribution to BOA members

**TOWNSHIP OF BERNARDS
COUNTY OF SOMERSET
STATE OF NEW JERSEY**

**NOTICE OF SCHEDULED MEETINGS FOR THE 2021
ENVIRONMENTAL COMMISSION**

PLEASE TAKE NOTICE that the Environmental Commission of the Township of Bernards will meet to discuss or act upon public business at 7:00 PM on each of the dates set forth below, via Zoom Video conferencing, unless otherwise advertised:

REGULAR MEETING: ***January 25***
 February 22
 March 22
 April 26
 May 24
 June 28
 July 26
 August 23
 September 27
 October 25
 November 22
 December 27

Kelly Julian
Secretary

Dated:

cc: Township Committee
Township Administrator
Township Clerk
Township Attorney
Bernardsville News
Courier News
Tapinto.net

REPLACES PB19.005
TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB20.021 Block: 3301 Lot: 3 Zone: R-4

Applicant: SHAW, ADRIANE

Address of Property: 490 SOUTH MAPLE AVE.

Description: MINOR SUBDIVISION d(1) UHE VARIANCE
BULK VARIANCE

MAILING ADDRESS: 16 FREDERICK COURT, BASKING RIDGE
APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input type="checkbox"/> 200' Property Search List (C)	<input checked="" type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input type="checkbox"/> Notice to be Served (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input type="checkbox"/> Notice to be Published (F)	<input checked="" type="checkbox"/> Imaging Fee
<input checked="" type="checkbox"/> Dimensional Statistics Form (G)	<input type="checkbox"/> Tax Map Revision Fee
<input checked="" type="checkbox"/> Contributions Disclosure Form (H)	<input checked="" type="checkbox"/> Checklist

SCHEDULING

10.13.20 Original Submission Date LO
12.12.20 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete LO
____ Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
12.9.20 Completeness Hearing
____ Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

10.13.20 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

**TOWNSHIP OF BERNARDS
2020 ZONING BOARD OF ADJUSTMENT APPLICATION**

- | | |
|---|--|
| <p><input type="checkbox"/> Bulk or Dimensional ("c") Variance
<input checked="" type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input checked="" type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify):</p> |
|---|--|

1. APPLICANT: ADRIANE SHAW
Address: 16 FREDERICK COURT, BASKING RIDGE, NJ 07920
Phone: (home) 908 672-7512 **(work)** _____ **(mobile)** 908 672 7512
Email (will be used for official notifications): santore.law@gmail.com

2. OWNER (if different from applicant): _____
Address: _____
Phone: _____ **Email (will be used for official notifications):** lbams@att.net

3. ATTORNEY: August N. Santore, Jr.
Address: 143 SUMMIT AVE., BERKELEY HTS, NJ 07922
Phone: 908 665-8004 **Email (will be used for official notifications):** santore.law@gmail.com

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):
Name: Murphy & Hollows Associates, LLC **Profession:** ENGINEER
Address: 192 CENTRAL AVE., STIRLING, NJ 07980
Phone: 908 580 1255 **Email (will be used for official notifications):** murphyhollows@gmail.com

5. PROPERTY INFORMATION: Block(s): 3301 Lot(s): 3 Zone: R-4
Street Address: 490 S. MAPLE AVENUE **Total Area (square feet/acres):** 5.19 AC

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain) PRE-EXISTING NON-CONFORMITY FOR APARTMENT USE ABOVE BARN THAT HAS BEEN IN USE FOR OVER 50 YEARS.

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:

EXISTING property is a large parcel that has areas of wooded and undergrowth present. There is an existing dwelling and improvements on the property including a barn with an apartment. A new lot is proposed in a newly 100% conforming proposition with the exception of a pre-existing non-conforming set back for

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

"D" VARIANCE - USE FOR THE APARTMENT IN THE EXISTING IMPROVEMENTS. NO VARIANCES ON THE SUBDIVISION OTHER THAN NOTATION OF PRE-EXISTING NON-CONFORMING FRONT YARD SETBACK ON DWELLING TO REMAIN.

The front yard of the dwelling to remain

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:

This is a minor subdivision which is in compliance with ordinance. This will promote uniform development in character and scale with the surrounding homes. The pre-existing barn apartment pre-dates the familial ownership of this property which was acquired with the apartment in 1969 by applicant's parents.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Adriane Shaw and _____ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Adriane Shaw and _____

Sworn and subscribed before me, this 17th day of OCTOBER, 2020.

Notary Angela D. Santony D.

ATTORNEY AT LAW OF NJ

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 2020.

Notary _____

SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Adriane Shaw Application: MINOR SUBDIVISION
W/ VARIANCE

Block: 3301 Lot: 3

Street Address: 490 SOUTH MAPLE AVE.

I, Adriane Shaw, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Adriane Shaw Date: 10/12/2020

SUBMIT ORIGINAL LIST + 2 COPIES

THIS FORM IS TO BE SENT TO TAX ASSESSOR, 1 COLLYER LANE,
BASKING RIDGE, NEW JERSEY, 07920 (908) 204-3082
TO REQUEST 200 FOOT PROPERTY SEARCH.
INCLUDE A CHECK FOR \$10.00. LIST WILL BE MAILED TO YOU WHEN IT IS
COMPLETED.

200 FOOT PROPERTY SEARCHBLOCK 3301, LOT 3PROPERTY LOCATION: 490 Summit Maple Ave.OWNER NAME: Adriane ShawOWNER ADDRESS: 16 Frederick Court, Basking Ridge, NJ 07920REQUESTED BY: August N. Santore, Jr.PHONE NUMBER: 908 665-8004MAIL PROPERTY SEARCH TO: 143 Summit AveBerkeley Hts, NJ 07922 (ATTN: August N. Santore)

YOU WILL BE APPEARING BEFORE (CHECK ONE):

BOARD OF ADJUSTMENT ☒ PLANNING BOARD ☐

SUBMIT ORIGINAL + 2 COPIES

FORM TO BE SENT TO TAX COLLECTOR, ONE COLLYER LANE,
BASKING RIDGE, NEW JERSEY, 07920 (908) 204-3078
FOR CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS. CERTIFICATION WILL
BE MAILED TO YOU WHEN IT IS COMPLETED.
DO NOT SUBMIT APPLICATION WITHOUT PROOF OF TAXES PAID.

CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS

BLOCK 3301 LOT 3
PROPERTY LOCATION: 490 SOUTH MAPLE AVE.
ASSESSED TO: Adriane Shaw
ADDRESS: 16 Frederick Court, BASKING Ridge, NJ
REQUESTED BY: August N. SANTONE, JR., P.C. 07920
PHONE NUMBER: 908 665-8004
MAIL CERTIFICATION TO: August N. SANTONE, JR, P.C.
143 Summit Ave., Berkeley HTS, NJ
07922

I CERTIFY THAT THE PROPERTY TAXES ARE CURRENT, PAID THROUGH
September 30, 2020

Peggy J. Warren
PEGGY WARREN,
TAX COLLECTOR

Submit 21 copies TOTAL

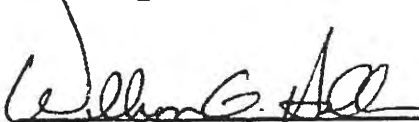
FORM F

**ADDENDUM TO THE BERNARDS TOWNSHIP
PLANNING BOARD APPLICATION**

**APPROVALS REQUIRED BY LOCAL, COUNTY,
STATE AND OTHER AGENCIES**

PERMITS	APPLICABLE	N/A	PENDING	RECEIVED
Somerset County Planning Bd.***	✓			
Somerset County Road Opening Permit	✓			
Bernards Sewerage Authority	✓			
NJDEP:				
a) Stream encroachment		✓		
b) Filing Floodplain		✓		
c) Other		✓		
Army Corp of Engineers:		✓		
a) Section 404		✓		
b) Other		✓		
NJDOT:		✓		
a) Road opening permit		✓		
b) Drainage permit		✓		

***** All applications for subdivision or site plan, whether Preliminary, Final, Minor or Major, must be submitted to Somerset County Planning Board by the applicant and proof of submittal must be received by Bernards Township prior to the scheduling of the application for the first hearing before the Bernards Township Planning Board.**

 6627473 Oct 31, 2019
Applicant's Engineer PE Number Date

**TOWNSHIP OF BERNARDS
APPLICATION FOR TREE REMOVAL PERMIT**

DATE: 10/29/19

1. Name and address of the owner of the premises and status of legal entity (individual, partnership, corporation of this or any other state, etc.) _____

Adriane Shaw
16 FREDERICK COURT, BASKING RIDGE, NJ 07920

2. Status of the applicant with respect to land (owner, lessee, tenant, purchaser, under contract, etc.) OWNER

3. Name and address of the applicant for the permit if other than the owner (attach owner's written consent) _____

4. Description of the premises where tree removal is to take place, including lot and block numbers and street address PROPOSED LOT 3.02

IN BLOCK 3301

5. A list of all trees to be removed with a DBH equal to or greater than six inches identified by size and species, including total number of each species to be removed (attach separate sheet if necessary) ON PLANS (PAGE 6)

6. Purpose for tree removal (construction, street or roadway, driveway, utility easement, recreation areas, patio, parking lot, etc.) PROPOSED SINGLE FAMILY

NEW DWELLING

7. Proof that there are no delinquent property taxes or assessments due on the property for which the application is submitted (attach certification from tax collector).

8. Trees that have been removed within the past two years NONE

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

Contribution Disclosure Statement Required. Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

Applicant: Adriane Shaw Application: 440 SOUTH MAPLE AVE
MINOR SUBDIVISION

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: Adriane Shaw
Name: Adriane Shaw
Title: _____
Firm: _____
Address: _____

Date: 10.12.2020

Submit 3 copies TOTAL

FORM H

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

Contribution Disclosure Statement Required. Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

Applicant: Adriane Shaw Application: 490 S. Maple Ave.

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature:

William G. Holloway

Date: Oct 3, 2020

Name:

William G. Holloway

Title:

Engineer

Firm:

Murray & Holloway Assoc.

Address:

192 Central Ave

Stirling NJ 07980

SUBMIT ORIGINAL + 2 COPIES
Not for "Bulk" or "C" variances

FORM H

**TOWNSHIP OF BERNARDS
PLANNING BOARD/ZONING BOARD OF ADJUSTMENT
CONTRIBUTION DISCLOSURE STATEMENT**

Contribution Disclosure Statement Required. Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

Applicant: Adriane Shum Application: 490 S. MAPLE AVE

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____
Name: _____
Title: _____
Firm: _____
Address: _____

Date: 10/9/2020

SUBMIT 17 COPIES TOTAL

FORM G

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING LOT 3	PROPOSED LOT 3.01 LOT 3.02	
LOT AREA	1 ACRE	5.19 Acres	3.36 ac	1.39 ac
LOT WIDTH	200'	595.2'	346.51'	248.72'
FRONTAGE	100'	578.89'	373.90'	207.98'
FRONT YARD SETBACK	75'	67.6'	67.6'	80'
REAR YARD SETBACK	75'	332.1'	332.1'	135.8'
COMBINED SIDE YARD	50'	433.5'	229.60'	96.20'
SIDE YARD	20'	436.5'	93.1'	26.60'
COVERAGE	15%	5.4%	7.7%	13.7%
HEIGHT	35' 2 1/2 story	2 story	2 story	< 35'
IF REQUIRED, GROSS FLOOR AREA				
IF REQUIRED, FLOOR AREA RATIO				
IF REQUIRED, IMPROVABLE LOT AREA				

APPENDIX A, ARTICLE III

Checklist

Application for Final Approval of a Minor Subdivision (See Article VII for Details)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	Title block indicating:	✓		
	a. Name of development and street location.	✓		
	b. Name and address of applicant, owner and authorized agent, if any.	✓		
	c. Name and address of professional(s) preparing plans including signature, date, license number and seal.	✓		
	d. Tax map block and lot numbers.	✓		
	e. Date of plan preparation and revision box with date of each revision.	✓		
	f. Development application number.		✓	
	g. Written and graphic scale.	✓		
6	Signature of applicant and, if applicant is not owner, signed consent of the owner.			
7	Name and address of the attorney representing parties, if any, and the name of each client represented.			
8	North arrow giving reference meridian.	✓		
9	Copies of any protective covenants or deed restrictions applying to the subject property, including a statement as to whether such covenants or deeds are of record. A copy or abstract of the deed or deeds or other instruments by which title is derived with the names of all owners must also be provided.		✓	
10	A key map showing the entire tract and its relation to the surrounding areas, including all roads, zone boundaries and municipal boundaries within one-half (1/2) mile of the subject property at a scale of one (1) inch equals not more than two thousand (2,000) feet.	✓		
11	A zoning schedule indicating the zone(s) within which the property is located and required, existing & proposed conditions relative to lot area, width, frontage, yard setbacks, lot coverage, height, floor area, floor area ratio, density, open space, parking, loading, signs, etc.	✓		
12	A list of required and obtained regulatory approvals and permits.	✓		
13	A list of requested variances and exceptions.	✓		
14	The location and dimensions of existing & proposed property lines, existing streets, streets shown on the Township's official map or master plan, structures (indicating the use of each structure and whether existing structures will remain or be removed), building setbacks, rights-of-way, easements, parking & loading areas, driveways, railroads, bridges, culverts, drain pipes, gas transmission lines, overhead utilities, historic sites/structures, wooded areas, watercourses, flood plains, wetlands or other environmentally sensitive areas on and within 200' of the subject property.	✓		
15	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.	✓		
16	Existing & proposed water supply, sewage disposal and stormwater drainage plans. Plans for individual on-site water supply and/or sewage disposal systems shall be accompanied by the necessary local, county and/or state agency approvals.	✓		
17	The locations of percolation tests on each existing/proposed lot and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if sewage disposal is to be handled by individual septic system(s). For each lot, the applicant shall submit test locations and written approvals from the Health Department for both a primary and secondary septic disposal field. The applicant must show on the development plan the locations and dimensions of both septic disposal fields.		✓	

APPENDIX E, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(d)

Where Site Plan Approval is Not Required

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Additional information on the plot plan or survey relating to parking, landscaping or buffering, if required.	N/A	✓	
8	Calculations of existing & proposed lot coverage percentages.	✓		
9	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
10	Photographs of the property in the location of the proposed improvements.	✓		
11	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.	✓		
12	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.	✓		
13	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
14	Contribution Disclosure Statement, pursuant to Section 21-7A.	✓		
15	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	✓		

**LOT 3 BLOCK 3301
490 SOUTH MAPLE AVENUE**



LOOKING NORTHERLY AT AREA FOR PROPOSED HOUSE



STREET VIEW OF EXISTING HOUSE

**LOT 3 BLOCK 3301
490 SOUTH MAPLE AVENUE**



LOOKING AT BARN FROM EXISTING HOUSE



LOOKING AT POOL AREA FROM EXISTING HOUSE

**LOT 3 BLOCK 3301
490 SOUTH MAPLE AVENUE**



LOOKING DOWN EXISTING DRIVEWAY TOWARDS SOUTH MAPLE AVENUE



LOOKING WESTERLY AT PROPOSED HOUSE AREA



State of New Jersey

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Division of Land Resource Protection
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625-0420
www.nj.gov/dep/landuse

CATHERINE R. McCABE
Commissioner

September 23, 2020

Adriane Shaw
16 Frederick Court
Basking Ridge, New Jersey 07920

RE: Freshwater Wetlands Letter of Interpretation: Line Verification
File No.: 1802-20-0004.1
Activity Number: FWW200001
Applicant: Adriane Shaw
Block: 3301 Lot: 3
Bernards Township, Somerset County

Dear Adriane Shaw:

This letter is in response to your request for a Freshwater Wetlands Letter of Interpretation Line Verification to have Division of Land Resource Protection (Division) staff verify the boundary of the freshwater wetlands and/or State open waters on the referenced property.

In accordance with agreements between the State of New Jersey Department of Environmental Protection (NJDEP), the U.S. Army Corps of Engineers (USACOE) Philadelphia and New York Districts, and the U.S. Environmental Protection Agency (USEPA), the NJDEP is the lead agency for establishing the extent of State and Federally regulated wetlands and waters. The USEPA and/or USACOE retain the right to reevaluate and modify the jurisdictional determination at any time should the information prove to be incomplete or inaccurate.

Based upon the information submitted, and upon a site inspection conducted by Division staff on August 11, 2020, the Division has determined that the wetlands and waters boundary line(s) as shown on the plan map entitled: "WETLANDS PLAN FOR LOT 3 BLOCK 3301; 490 SOUTH MAPLE AVENUE, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY", consisting of one (1) sheet, dated January 16, 2020, last revised August 18, 2020, and prepared by William G. Hollows, is accurate as shown.

The freshwater wetlands and waters boundary line(s), as determined in this letter, must be shown on any future site development plans. The line(s) should be labeled with the above file number and the following note:

"Freshwater Wetlands/Waters Boundary Line as verified by NJDEP".

Wetlands Resource Value Classification ("RVC")

In addition, the Division has determined that the resource value and the standard transition area or buffer required adjacent to the delineated wetlands are as follows:

Intermediate: Wetland flags A1 through A5. [50 foot wetland transition area]

State Open Water: Line segments labelled "TOP OF BANK". [No wetland transition area]

The wetlands have also been identified as being priority wetlands by the U.S. Environmental Protection Agency because they drain to the Passaic River Basin. RVC may affect requirements for wetland and/or transition area permitting. This classification may affect the requirements for an Individual Wetlands Permit (see N.J.A.C. 7:7A-9 and 10), the types of General Permits available for the property (see N.J.A.C. 7:7A-5 and 7) and any modification available through a transition area waiver (see N.J.A.C. 7:7A-8). Please refer to the Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) and implementing rules for additional information.

Wetlands resource value classification is based on the best information available to the Division. The classification is subject to reevaluation at any time if additional or updated information is made available, including, but not limited to, information supplied by the applicant.

General Information

Pursuant to the Freshwater Wetlands Protection Act Rules, you are entitled to rely upon this jurisdictional determination for a period of five years from the date of this letter unless it is determined that the letter is based on inaccurate or incomplete information. Should additional information be disclosed or discovered, the Division reserves the right to void the original letter of interpretation and issue a revised letter of interpretation.

Regulated activities proposed within a wetland, wetland transition area or water area, as defined by N.J.A.C. 7:7A-2.2 and 2.3 of the Freshwater Wetlands Protection Act rules, require a permit from this office unless specifically exempted at N.J.A.C. 7:7A-2.4. The approved plan and supporting jurisdictional limit information are now part of the Division's public records.

Please be advised that any surface water features on the site or adjacent to the site may possess flood hazard areas and/or riparian zones and development within these areas may be subject to the Flood Hazard Area Control Act rules at N.J.A.C. 7:13. The Division can verify the extent of flood hazard areas and/or riparian zones through a flood hazard area verification under the application procedures set forth at N.J.A.C. 7:13-5.1.

This letter in no way legalizes any fill which may have been placed, or other regulated activities which may have occurred on-site. This determination of jurisdiction extent or presence does not make a finding that wetlands or water areas are "isolated" or part of a surface water tributary system unless specifically called out in this letter as such. Furthermore, obtaining this determination does not affect your responsibility to obtain any local, State, or Federal permits which may be required.

Recording

Within 90 calendar days of the date of this letter, the applicant shall submit the following information to the clerk of each county in which the site is located, and shall send proof to the Division that this information is recorded on the deed of each lot referenced in the letter of interpretation:

1. The Department file number for the letter of interpretation;
2. The approval and expiration date of the letter of interpretation;
3. A metes and bounds description of the wetland boundary approved under the letter of interpretation;
4. The width and location of any transition area approved under the letter of interpretation; and
5. The following statement: "The State of New Jersey has determined that all or a portion of this lot lies in a freshwater wetland and/or transition area. Certain activities in wetlands and transition areas are regulated by the New Jersey Department of Environmental Protection and some activities may be prohibited on this site or may first require a freshwater wetland permit. Contact the Division of Land Resource Protection at (609) 777-0454 or <http://www.nj.gov/dep/landuse> for more information prior to any construction onsite."

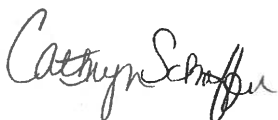
Failure to have this information recorded in the deed of each lot and/or to submit proof of recording to the Division constitutes a violation of the Freshwater Wetlands Protection Act rules and may result in suspension or termination of the letter of interpretation and/or subject the applicant to enforcement action pursuant to N.J.A.C. 7:7A-22.

Appeal Process

In accordance with N.J.A.C. 7:7A-21, any person who is aggrieved by this decision may request a hearing within 30 days of the date the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, P.O. Box 402, 401 East State Street, 7th Floor, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist found at www.nj.gov/dep/landuse/forms.html. Hearing requests received after 30 days of publication notice may be denied. The DEP Bulletin is available on the Department's website at www.nj.gov/dep/bulletin. In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see the website www.nj.gov/dep/odr for more information on this process.

Please contact Robert Helsel of our staff by e-mail at Robert.Helsel@dep.nj.gov or by phone at (609) 777-0454 should you have any questions regarding this letter. Be sure to indicate the Department's file number in all communication.

Sincerely,



Digitally signed by

Cathryn Schaffer

Date: 2020.09.23

15:05:52 -04'00'

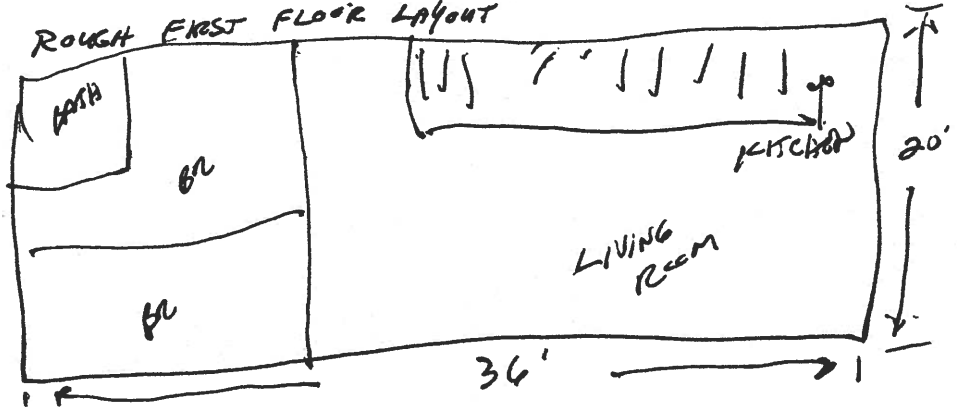
Cathryn Schaffer, Environmental Specialist 3
Bureau of Inland Regulation
Division of Land Resource Protection

c: Bernards Township Municipal Clerk
Agent: David Krueger, Environmental Technology Inc.

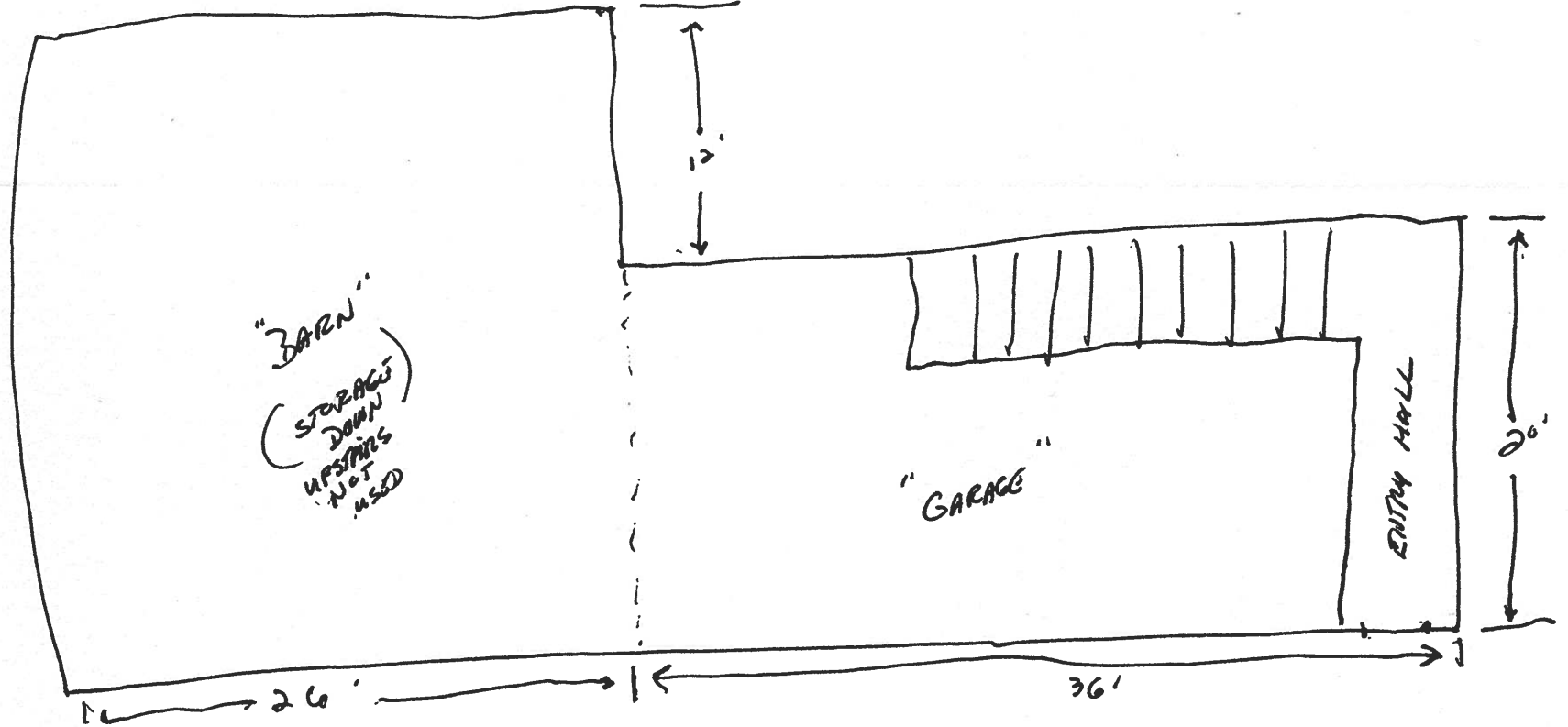
490 S. MAPLE AVE.

- 2ND FLOOR APARTMENT (OCCUPIES THE SPACE ABOVE THE GARAGE ONLY)
- ROUGH FIRST FLOOR LAYOUT

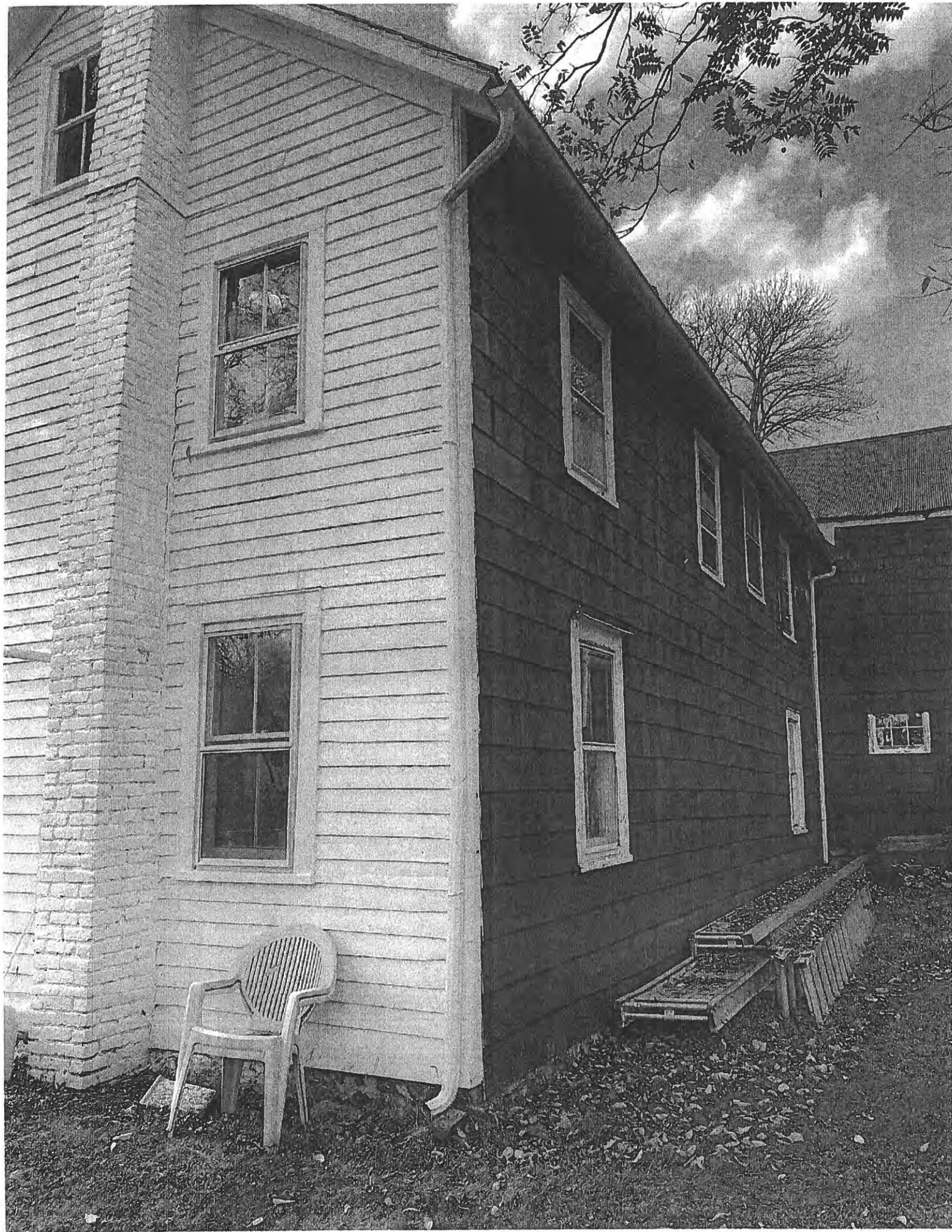
SECOND
FLOOR

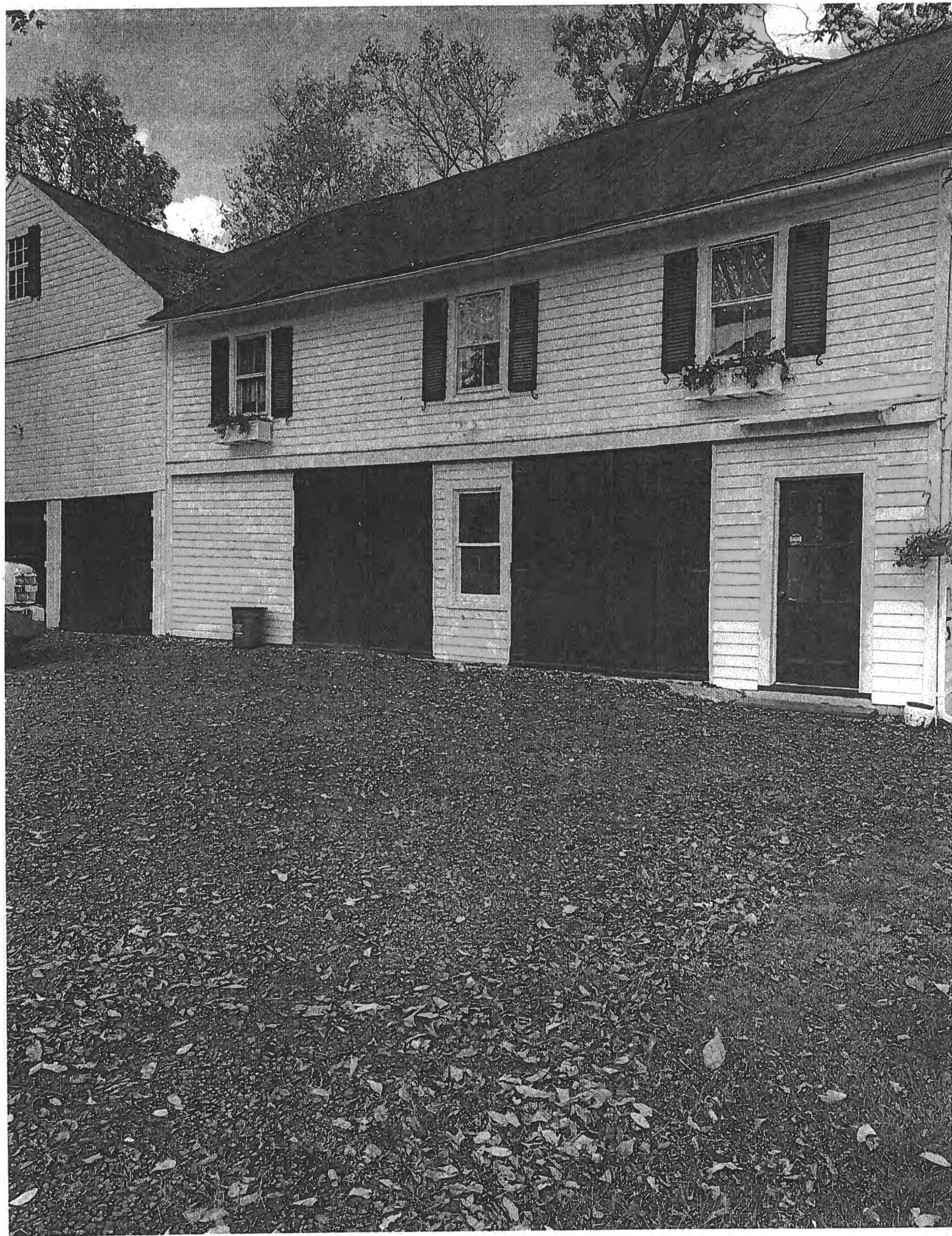


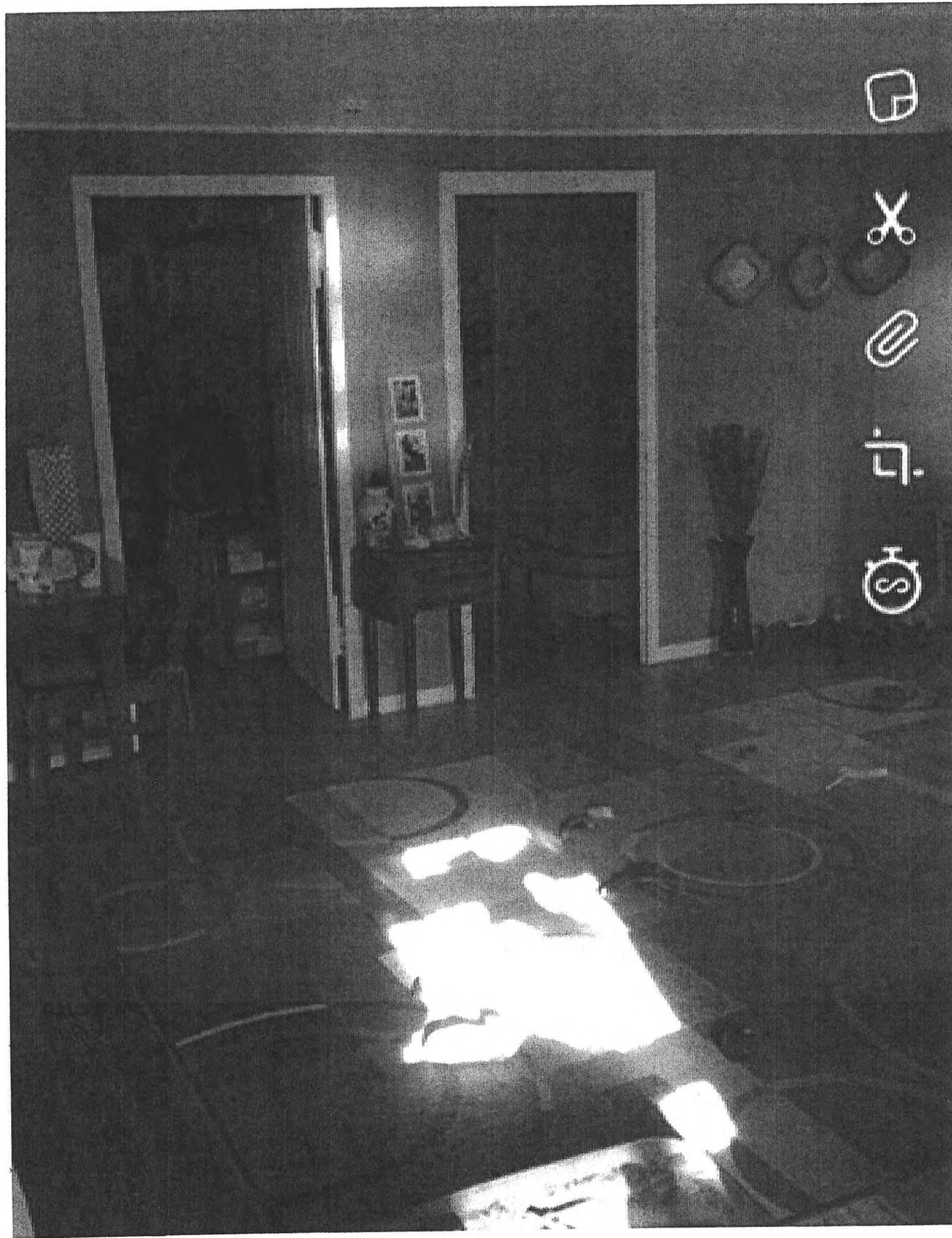
FIRST
FLOOR



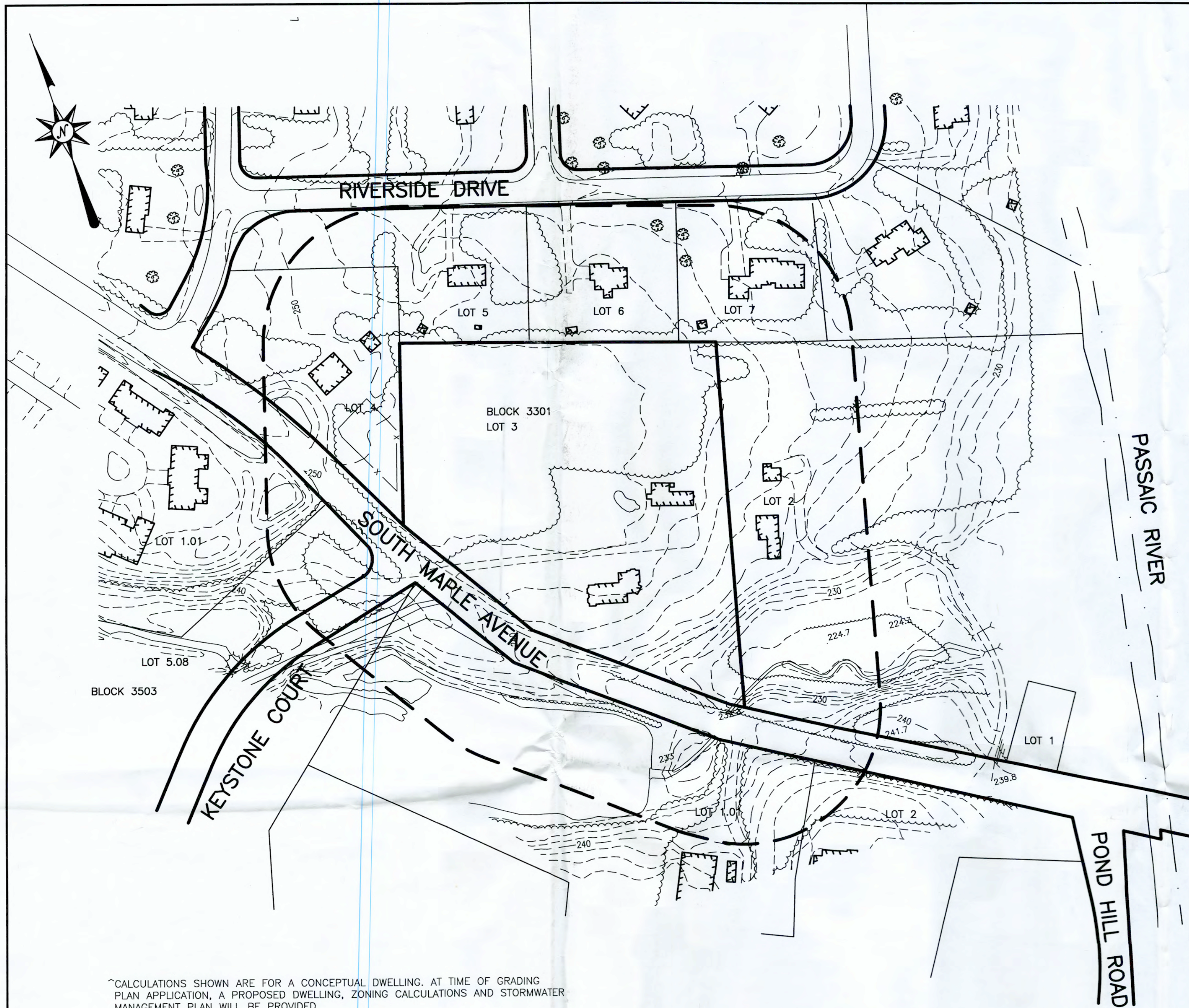
SHAW - 21320-021











~CALCULATIONS SHOWN ARE FOR A CONCEPTUAL DWELLING. AT TIME OF GRADING PLAN APPLICATION, A PROPOSED DWELLING, ZONING CALCULATIONS AND STORMWATER MANAGEMENT PLAN WILL BE PROVIDED

COVERAGE CALCULATIONS

EXISTING LOT 3.01		PROPOSED LOT 3.01		PROPOSED LOT 3.02~	
DWELLING	2548 SF	DWELLING	2548 SF	DWELLING	3140 SF
BARN	1654 SF	BARN	1654 SF	PATIO	348 SF
POOL	646 SF	POOL	646 SF	WALK	409 SF
PATIO	507 SF	DRIVE	507 SF	DRIVE	4041 SF
DRIVE	6731 SF	WALKS	5582 SF	TOTAL	7,938 SF
WALKS	336 SF				
TOTAL	12,422 SF	TOTAL	11,273 SF		

ZONING SCHEDULE:

ZONE: R-4

REQUIREMENT	REQUIRED	EXISTING	PROPOSED LOT 3.01	PROPOSED LOT 3.02~
MIN. LOT AREA	1 AC.	5.19 AC.	3.36 AC.	1.39 AC.
MIN. LOT WIDTH	200 FT	595.2 FT	346.51 FT	248.72 FT
MIN. LOT FRONTAGE	100 FT	578.89 FT	373.90 FT	207.98 FT
MIN. FRONT YARD	75 FT	67.6 FT*	67.6 FT*	80.0 FT
MIN. REAR YARD	75 FT	332.1 FT	332.1 FT	135.8 FT
MIN. SIDE YARD (ONE)	20 FT	136.5 FT	93.1 FT	28.6 FT
MIN. SIDE YARD (COMBINED)	50 FT	423.5 FT	229.60 FT	96.2 FT
MAX. LOT COVERAGE	15%	5.4%	7.7%	13.7%
MAX. BUILDING HEIGHT	35 FT/2 1/2 STY	2 STY	2 STY	<35 FT
MIN. IMPROVABLE LOT AREA	10,000 SF	101,797 SF	68,344 SF	20,998 SF
MIN. ACCESSORY SIDE SETBACK	15 FT	49.8 FT	NA	20.0 FT
MIN. ACCESSORY REAR SETBACK	20 FT	49.8 FT	NA	NA
MIN. ACCESSORY DISTANCE BETWEEN BLDGS	10 FT	95.5 FT	95.5 FT	NA

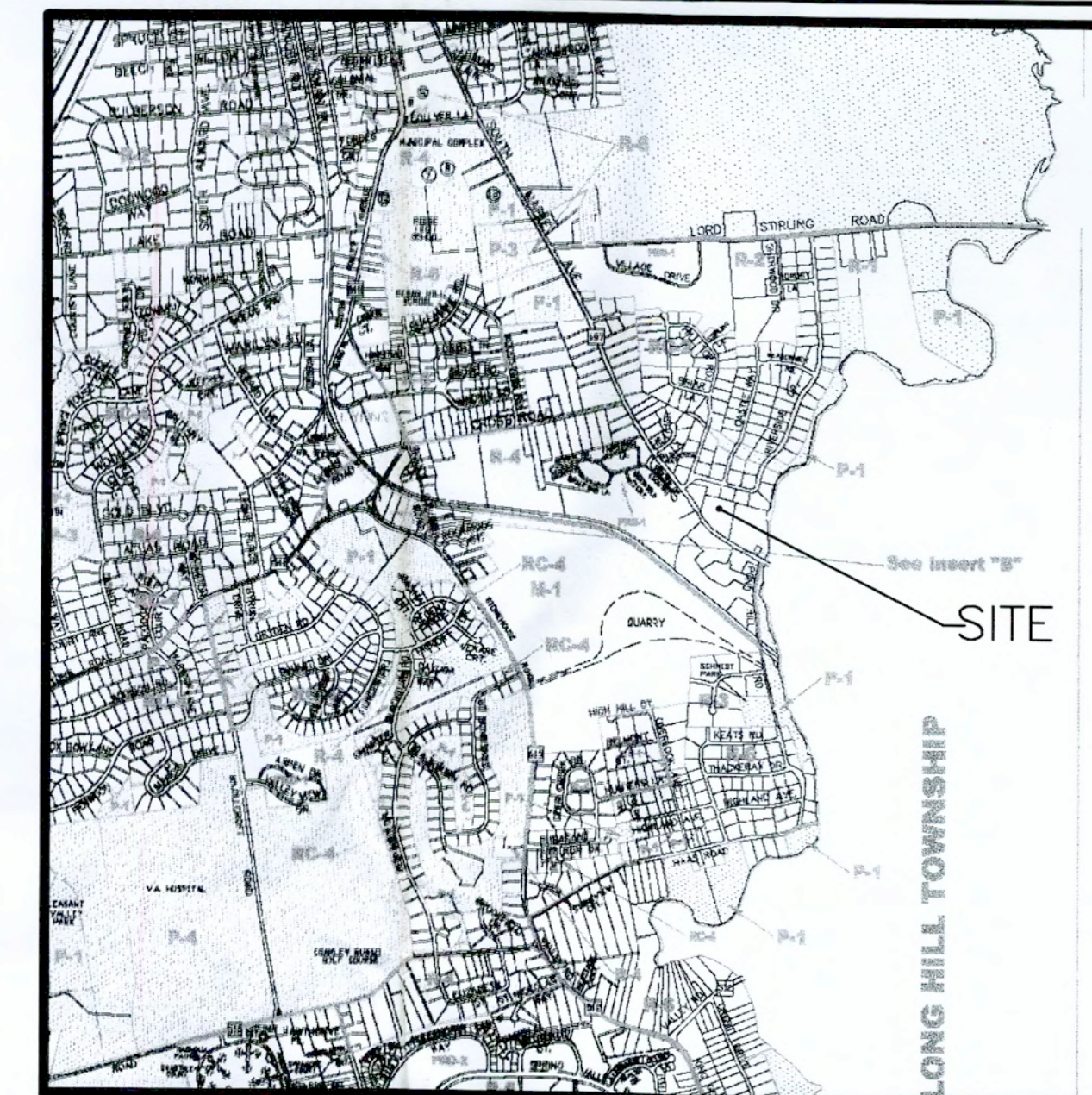
* DENOTES EXISTING NONCONFORMING CONDITION

TABLE OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	AREA MAP/ZONING SCHEDULE
2	EXISTING CONDITIONS
3	LAYOUT PLAN
4	GRADING/SOIL EROSION PLAN
5	CROSS SECTION
6	TREE PLAN
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS

PART A MAXIMUM PERMITTED LOT YIELD RESIDENTIAL DEVELOPMENT			
	COLUMN A 226,121	COLUMN B 1.00	COLUMN C 226,121
1. GROSS TRACT AREA			
2. AREA OF EXISTING ROAD AND TRANSMISSION RIGHTS-OF-WAY AND PROPOSED NEW ROADS WITHIN THE TRACT (EXCLUDING EASEMENTS OR RIGHTS-OR-WAY REQUIRED FOR WIDENING OF EXISTING ROADS ABUTTING THE TRACT BOUNDARIES)	19,185	1.00	19,185
3. AREA OF ALL EXISTING EASEMENT AND RESTRICTIVE COVENANTS	0	1.00	0
4. AREA OF NATURAL RESOURCE LIMITATION AREAS INCLUDING FLOOD PLAINS, WETLANDS, NJDEP-REQUIRED WETLANDS TRANSITION AREAS, AREAS DEEMED BY NJDEP TO BE UNAVAILABLE FOR DEVELOPMENT DUE TO THE PRESENCE OF SPECIAL WATER RESOURCE PROTECTION AREAS FOR C-1 WATERS, STREAMS, REQUIRED STREAM BUFFER CONSERVATION AREAS, AND LAND UNDER WATER.	31,753	1.00	31,753
5. AREA OF SLOPES RANGING FROM 15% TO 19.5%	6,973	0.80	4,184
6. AREA OF SLOPES RANGING FROM 20% TO 25%	0	0.80	0
7. AREA OF SLOPES GREATER THAN 25%	0	1.0	0
8. SUM OF LINES 2 THROUGH 7, COLUMN C			55,122
9. NET TRACT AREA (LINE 1 LESS LINE 8)			170,999
10. MINIMUM LOT AREA (SEE TABLE 401)			43,580
11. MAXIMUM NUMBER OF LOTS PERMITTED (LINE 9 DIVIDED BY THE MINIMUM LOT AREA IN LINE 10-ROUND DOWN TO NEAREST WHOLE NUMBER)			3.92 LOTS

SOMERSET COUNTY
ACCEPTANCE STAMP

THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED AND SIGNED BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION. ACCEPTANCE OF THESE PLAN EXPIRES



KEY MAP

GENERAL NOTES:

- SUBJECT PROPERTY KNOWN AS LOT 3, BLOCK 3301 TAX MAP SHEET No. 33.
- AREA OF LOT 3, BLOCK 3301 = 226,121 SF; 5.19 Ac. TO CENTERLINE
- OWNER & APPLICANT:
ADRIANE SHAW
16 FREDERICK COURT
BASKING RIDGE, NJ 07920
- ATTORNEY FOR APPLICANT:
AUGUST SANTORE JR, ESQ.
143 SUMMIT AVENUE
BERKELY HEIGHTS, NJ 07922
908.665.8004
- OWNERS CONSENT
I HEREBY CONSENT TO THE FILING OF THIS PLAN WITH THE PLANNING BOARD OF THE TOWNSHIP OF BERNARDS
- INFORMATION SHOWN BASED ON SURVEY PERFORMED BY BY MURPHY & HOLLOWES ASSOCIATES, LLC ON MARCH 27, 2018

AUTHORIZED SIGNATURE

REQUIRED APPROVALS

- BERNARDS TOWNSHIP PLANNING BOARD
- SOMERSET COUNTY PLANNING BOARD
- SOMERSET/UNION SOIL CONSERVATION DISTRICT

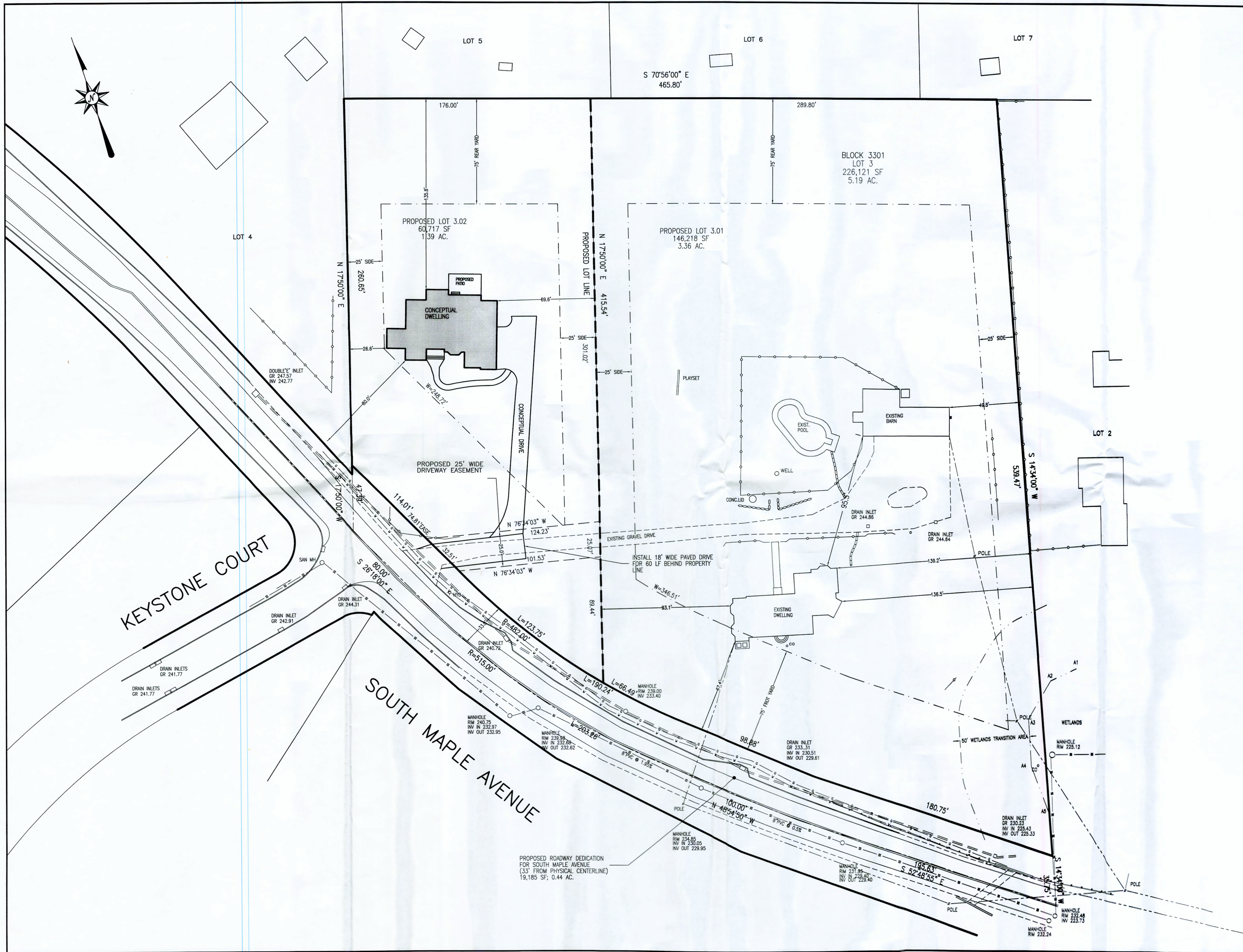
THIS PLAN HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF BERNARDS ON _____ DATE

CHAIRWOMAN-KIPPY PIEDICI _____ DATE

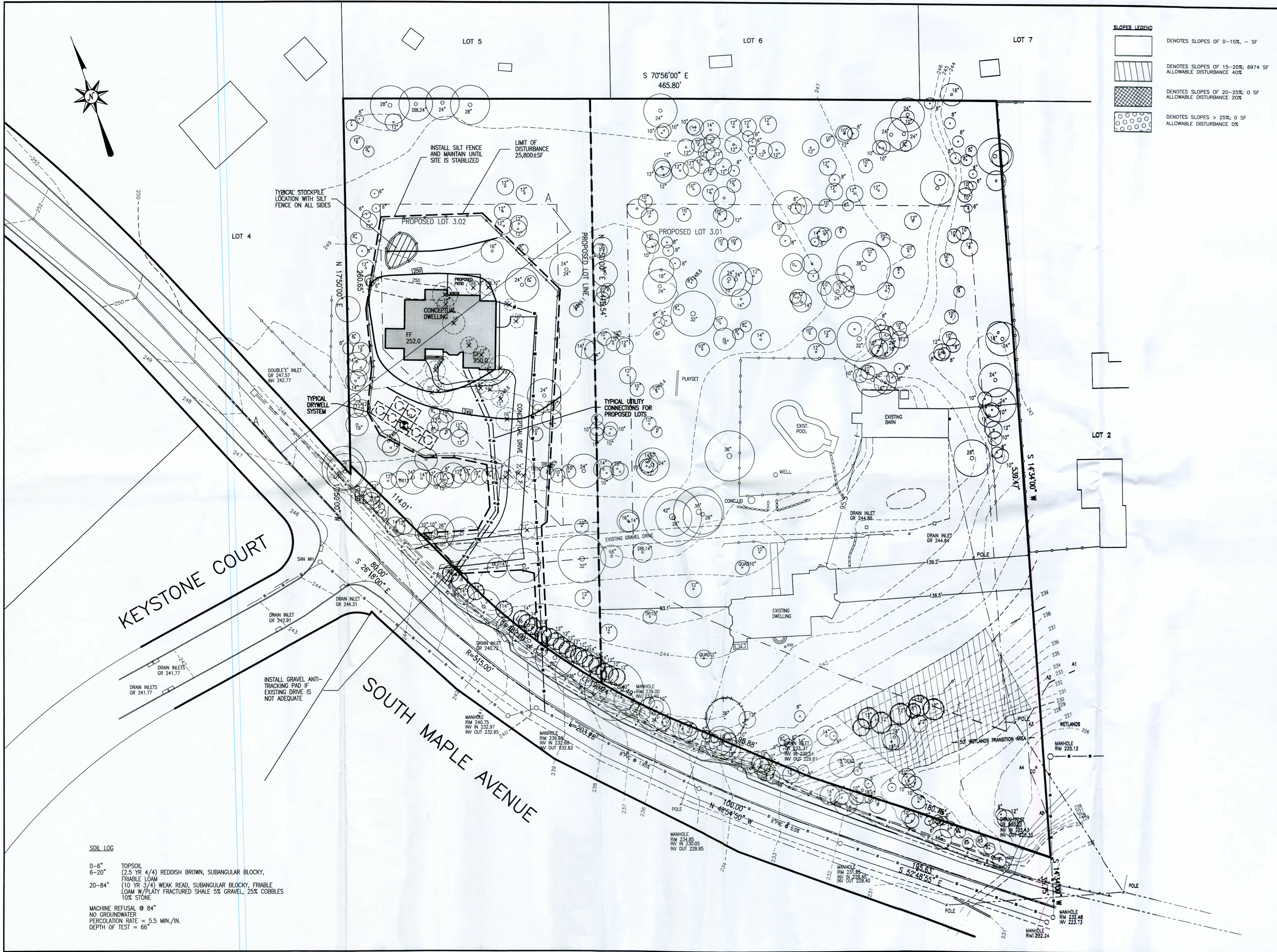
SECRETARY - CYNDI KIEFER _____ DATE

ENGINEER - CATHLEEN MARCELLI, PE _____ DATE

DRAWN BY: SP	CHECKED BY: WGH
JOB No. 16-041	
BOOK	
SCALE 1" = 100'	
GRAPHIC SCALE	
DATE MAY 9, 2019	
REVISIONS AUGUST 3, 2020	
CERTIFICATE OF AUTHORIZATION No. 24GA27959700	
NOTES	
Murphy & Hollowes Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollowes@gmail.com	
MINOR SUBDIVISION OF LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY AREA MAP/ZONING	
AIDAN T. MURPHY N.J. L.C. PROFESSIONAL ENGINEER #21319 1973-2016	
 WILLIAM G. HOLLOWES N.J. L.C. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530	
FILE LF16-041	SHEET 1 OF 8



DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 16-041			
BOOK			
SCALE 1" = 30'			
GRAPHIC SCALE			
DATE MAY 9, 2019			
REVISIONS AUGUST 3, 2020			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES THE EXISTING HOUSE IS SERVED BY AN INDIVIDUAL WELL AND OIL HEAT			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255, murphyhollows@gmail.com			
MINOR SUBDIVISION FOR LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY LAYOUT PLAN			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE	SHEET		
LF16-041	3		
	OF		
	8		

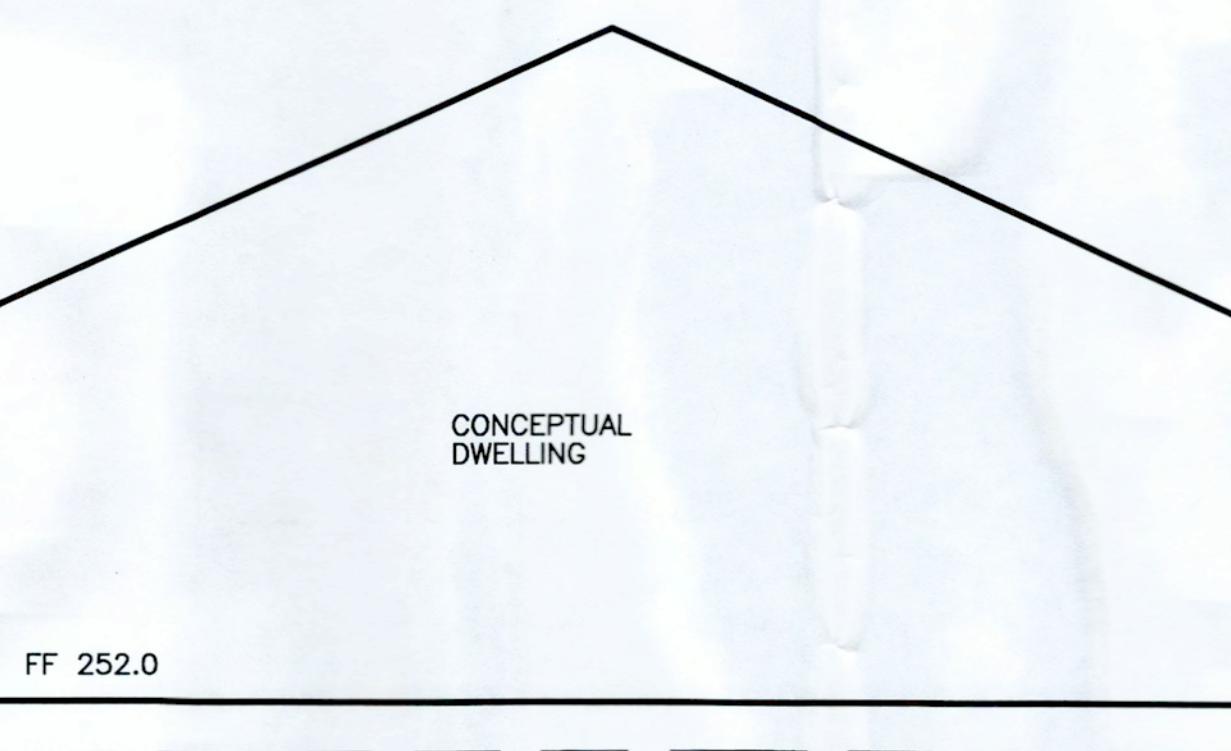


DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 16-041			
BOOK			
SCALE 1" = 30'			
GRAPHIC SCALE			
DATE MAY 9, 2019			
REVISIONS AUGUST 3, 2020			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES THE EXISTING HOUSE IS SERVICED BY AN INDIVIDUAL WELL AND OIL HEAT			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com			
MINOR SUBDIVISION FOR LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY GRADING/SOIL EROSION PLAN			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE LF16-041	SHEET 4 OF 8		

0+0 CENTERLINE OF SOUTH MAPLE AVENUE

0+51.3 PROPERTY LINE

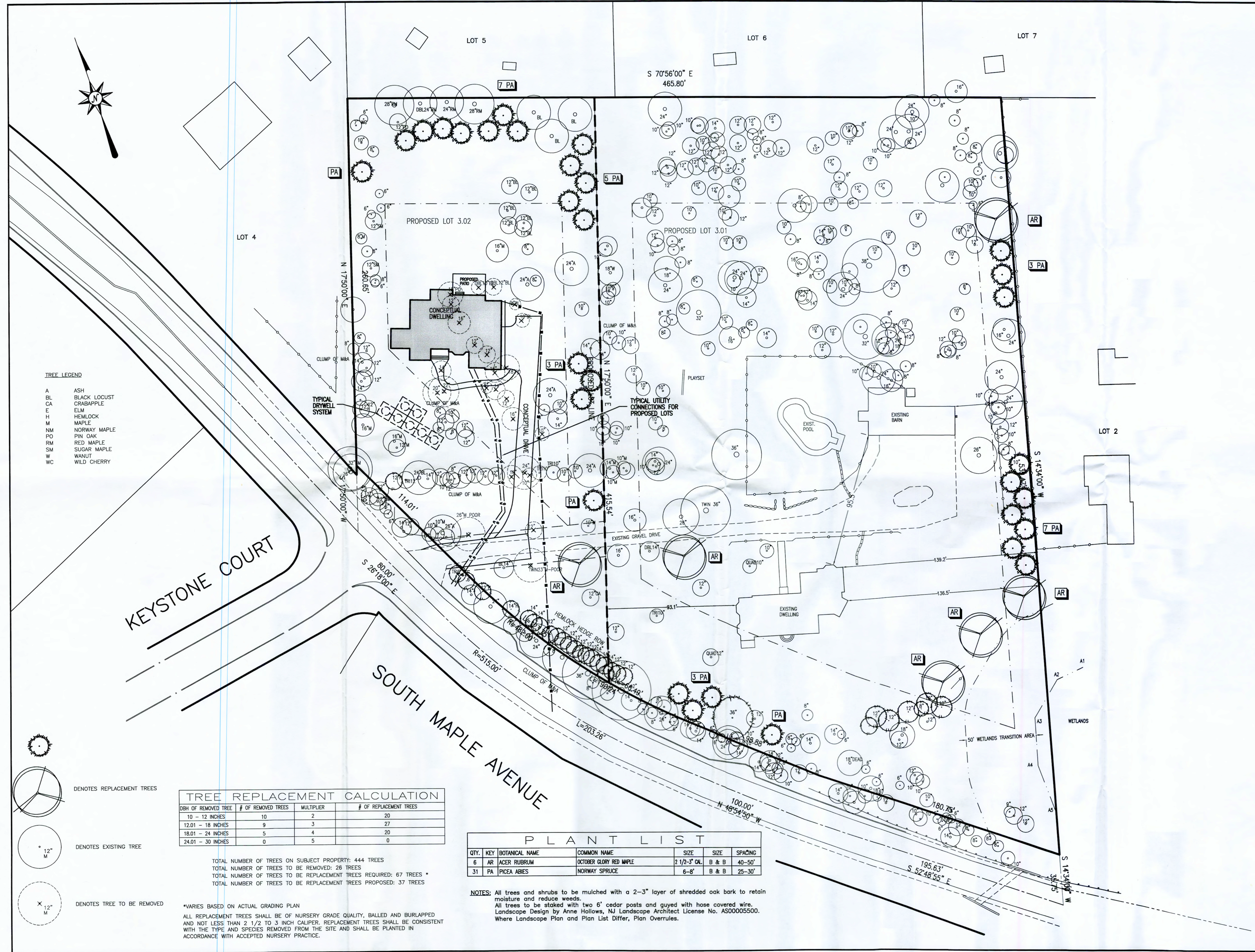
DATUM 240



SECTION A-A
SCALE: 1" = 10' HORIZ. & VERT.

DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 16-041			
BOOK			
SCALE 1" = 10'			
GRAPHIC SCALE			
DATE MAY 9, 2019			
REVISIONS AUGUST 3, 2020			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1225 murphyhollows@gmail.com			
MINOR SUBDIVISION OF LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY CROSS SECTION			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE LF16-041		SHEET 5 OF 8	

N:\CAD Drawings\2016\16-041\2 LOT SUBDIVISION\REV3\16-041 2 LOTLANDSCAPE3.dwg, 9/22/2020 1:57:20 PM



DRAWN BY: SP

CHECKED BY: WGH

JOB No.

16-041

BOOK

SCALE

1" = 30'

GRAPHIC SCALE

DATE

MAY 9, 2019

REVISIONS

AUGUST 3, 2020

CERTIFICATE OF AUTHORIZATION

No. 24GA27959700

NOTES

THE EXISTING HOUSE IS SERVICED BY AN INDIVIDUAL WELL AND OIL HEAT

Murphy & Hollows Associates LLC

CIVIL ENGINEERING AND SURVEYING

92 CENTRAL AVENUE, STIRLING, NJ 07980

908.580.1255 murphyhollows@gmail.com

MINOR SUBDIVISION FOR LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY TREE PLAN

AIDAN T. MURPHY

N.J. LIC. PROFESSIONAL ENGINEER #21319

1973-2016

WILLIAM G. HOLLOWES

N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473

N.J. PROFESSIONAL PLANNER #2530

FILE

LF16-041

SHEET

6 OF 8

SOIL EROSION AND SEDIMENT CONTROL

- All Soil Erosion and Sediment Control Practices will be installed in accordance with New Jersey Standards for Soil Erosion and Sediment Control, and will be placed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and bound in accordance with the New Jersey Standards (i.e. peg and twine, mulch netting or liquid mulch binder).
- Permanent vegetation is to be established on exposed areas within ten (10) days after final grading. Mulch is to be used for protection until vegetation is established.
- Immediately following initial disturbance or rough grading all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or suitable equal, at a 2 ton/acre rate, according to the State Standards.
- Permanent seeding and stabilization to be in accordance with the Standards for permanent vegetative cover. Specified rates and locations shall be as on the approved Soil Erosion and Sediment Control Plan.
- The site shall at all times be graded and maintained such that all storm water runoff is diverted to Soil Erosion and Sediment Control facilities.
- All sedimentation structures will be inspected and maintained regularly.
- Stockpiles shall not be located within 50 ft. of a flood plain, slope, drainage facility, or roadway. All stockpile bases shall be protected by a hay bale barrier or sediment fence.
- A crushed stone, vehicle wheel cleaning blanket will be installed.
- All dewatering operations must discharge directly into a sediment filter area. The sediment filter should be composed of a suitable sediment filter fabric. See details.
- During and after construction, the owner will be responsible for the maintenance and upkeep of the drainage structures, vegetation cover, and any other measures deemed appropriate by the District. Said responsibility will preclude when completed work is approved by the Township Engineer.
- All trees to remain after construction are to be protected with tree protection devices or sediment. See Standards.
- The Township Engineer must be notified, in writing, at least 72 hours prior to any land disturbance.

TOPSOIL STOCKPILE PROTECTION

- Construct temporary diversion berm and/or hay bale barrier around stockpile area as required.
- Apply limestone at a rate of 90lbs/1000 s.f.
- Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 s.f.
- Apply Perennial Ryegrass at a rate of 1 lb/1000 s.f.
- Mulch with unrattled salt hay or small grain straw immediately after seeding. Apply at a rate of 90lbs/1000 s.f.

TEMPORARY STABILIZATION SPECIFICATIONS

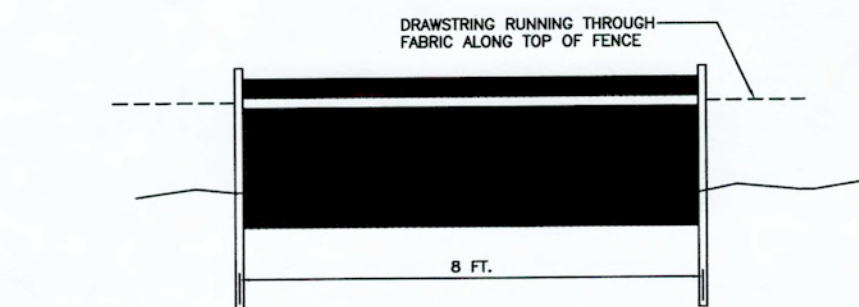
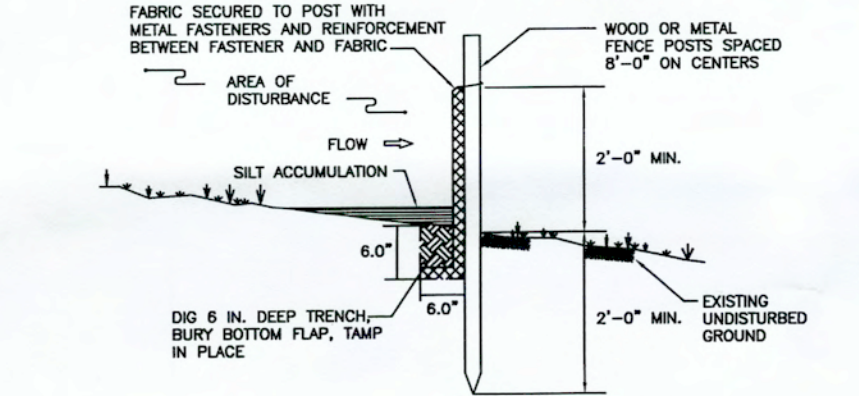
- Apply ground limestone at a rate of 90 lbs/1000 s.f. and work into soil 4" deep.
- Apply fertilizer (10-20-10) at a rate of 14 lbs/1000 s.f.
- Apply seed mixture:
PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE OR APPROVED EQUAL.
- Mulch with unrattled salt hay or small grain straw immediately after seeding apply at a rate of 90 lbs/1000 s.f. and secure by approved methods (i.e. peg & twine, mulch netting, or liquid mulch binder).
- Plant seed between Mar. 1 & May 15 or between Aug. 15 & Oct. 1, if possible.

PERMANENT STABILIZATION SPECIFICATIONS

- Apply topsoil to a depth of 4"
- Apply ground limestone at a rate of 90 lbs/1000 s.f.
- Apply fertilizer (10-20-10) at a rate of 14 lbs/1000 s.f.
- Apply seed mixture:
PERENNIAL RYEGRASS AT 10 LBS/ACRE, KENTUCKY BLUEGRASS AT 25 LBS/ACRE, RED FESCUE AT 15 LBS/ACRE AND SPREADING FESCUE AT 15 LBS/ACRE OR APPROVED EQUAL.
- Mulch with unrattled salt hay or small grain straw immediately after seeding. Apply at a rate of 90 lbs/1000s.f. according to N.J. Standards.
- Anchor mulch with emulsified asphalt (SS-1) applied at a rate of 1 Gal/1000 s.f. Other approved methods (i.e. peg and twine, or mulch netting) may be used. If possible, plant between March 1 and May 15, or between August 15 and October 1.

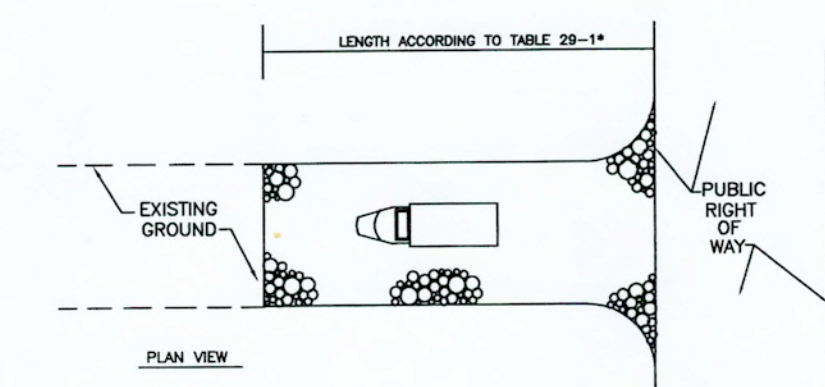
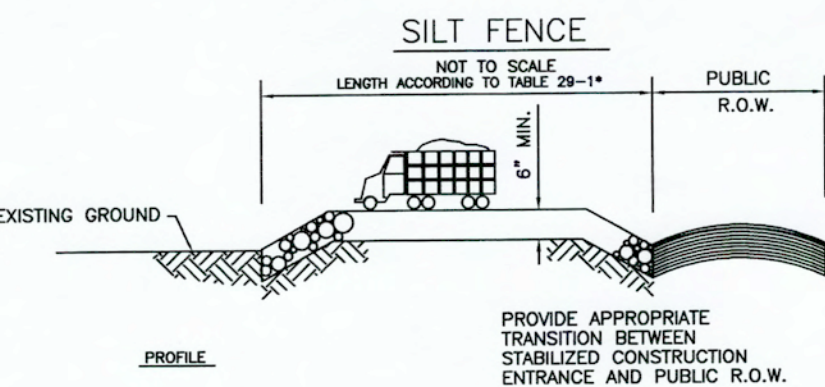
SEQUENCE OF CONSTRUCTION:

- INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES _____ 2 DAYS
- INSTALL STORM AND SANITARY SEWERS _____ 21 DAYS
- INSTALL CURBING AND ROADWAY _____ 5 DAYS
- INSTALL BASE COURSE OF PAVEMENT _____ 2 DAYS
- GRADE SITE AND CLEAR SIGHT DISTANCE _____ 4 DAYS
- INSTALL FINAL COURSE OF PAVEMENT _____ 1 DAY
- STABILIZED ANY REMAINING DISTURBED AREAS _____ 1 day
- REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL _____ 2 days



REQUIREMENTS FOR SILT FENCE:

- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 3 FEET ABOVE GROUND (PG. 25-2). POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 8 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCING MATERIAL (NYLON WEBBING, GRAMMERS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

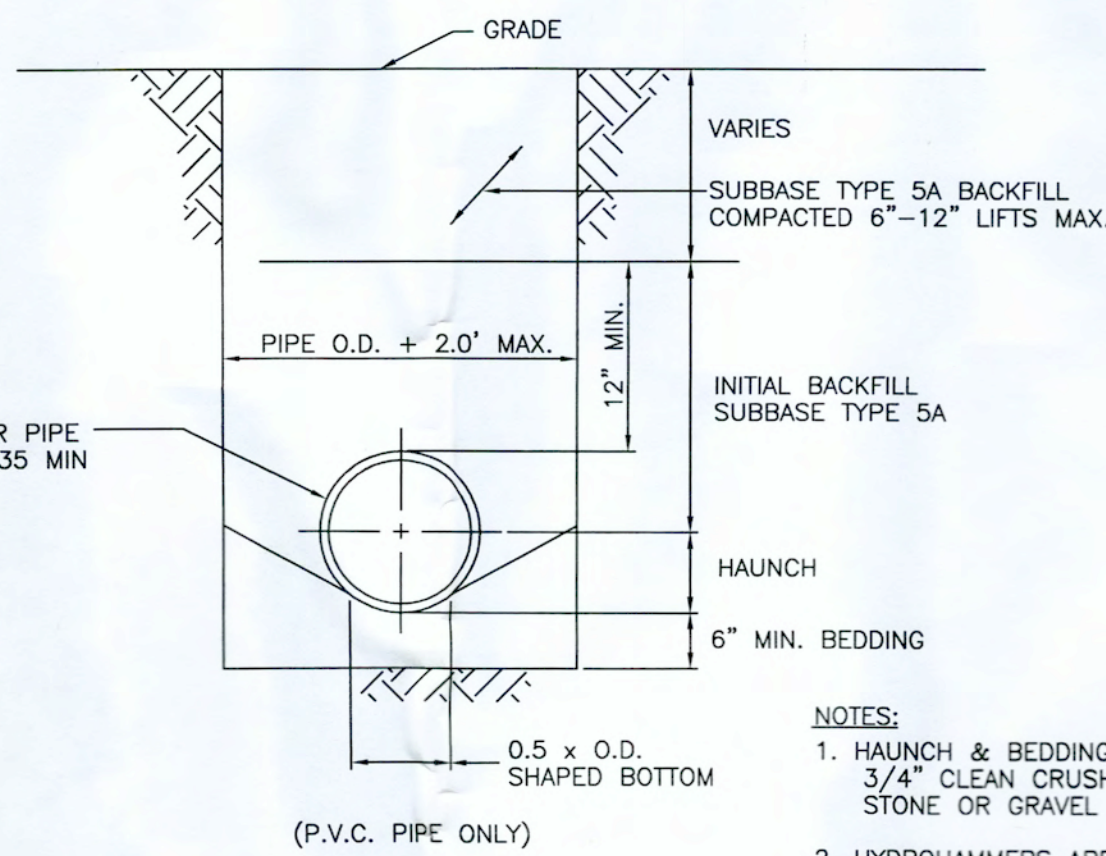
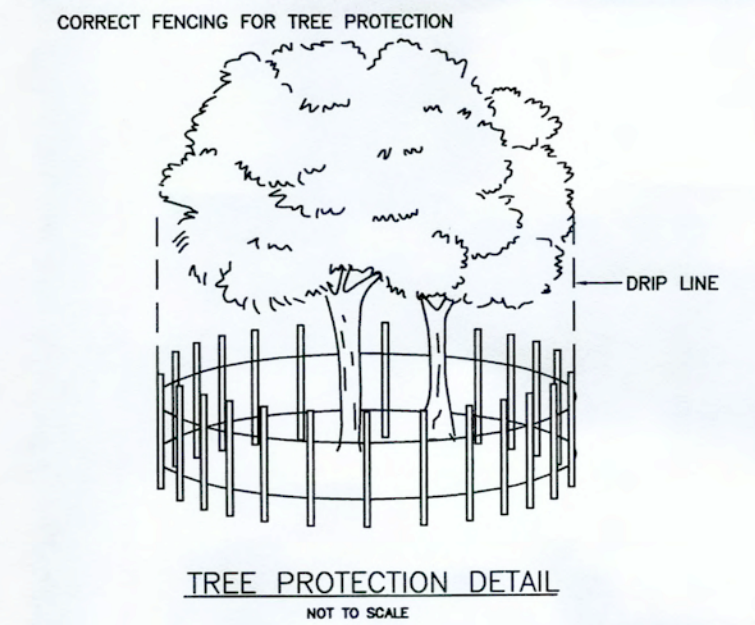
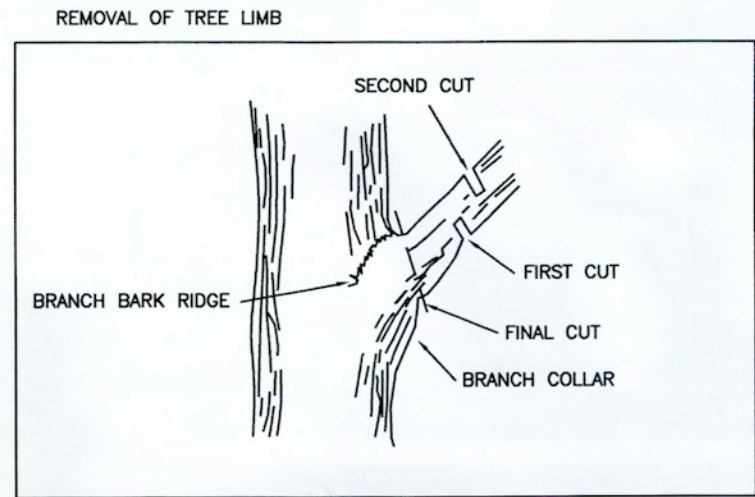


STABILIZED CONSTRUCTION ACCESS

NOT TO SCALE

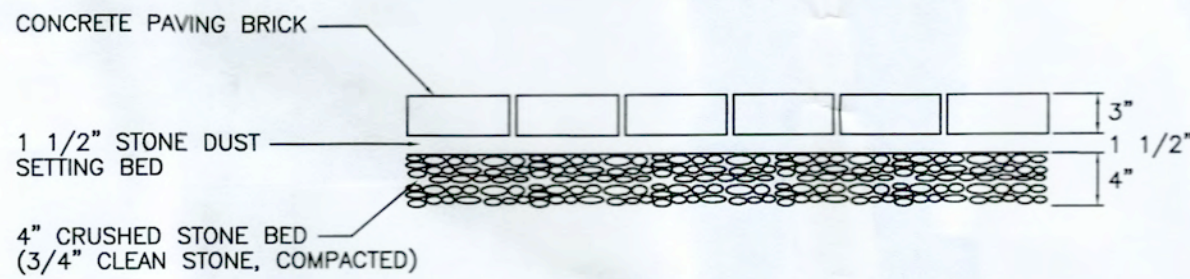
LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0-2%	50 FT.	100 FT.
2-5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

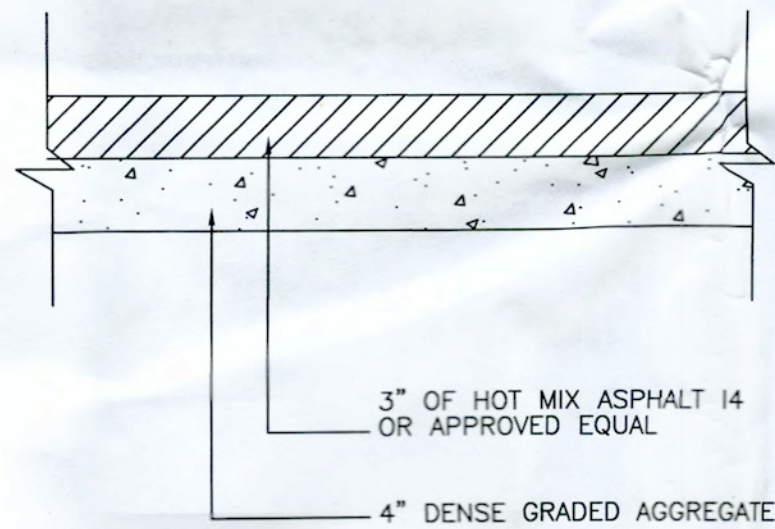


STANDARD PIPE BEDDING FOR PVC PIPE

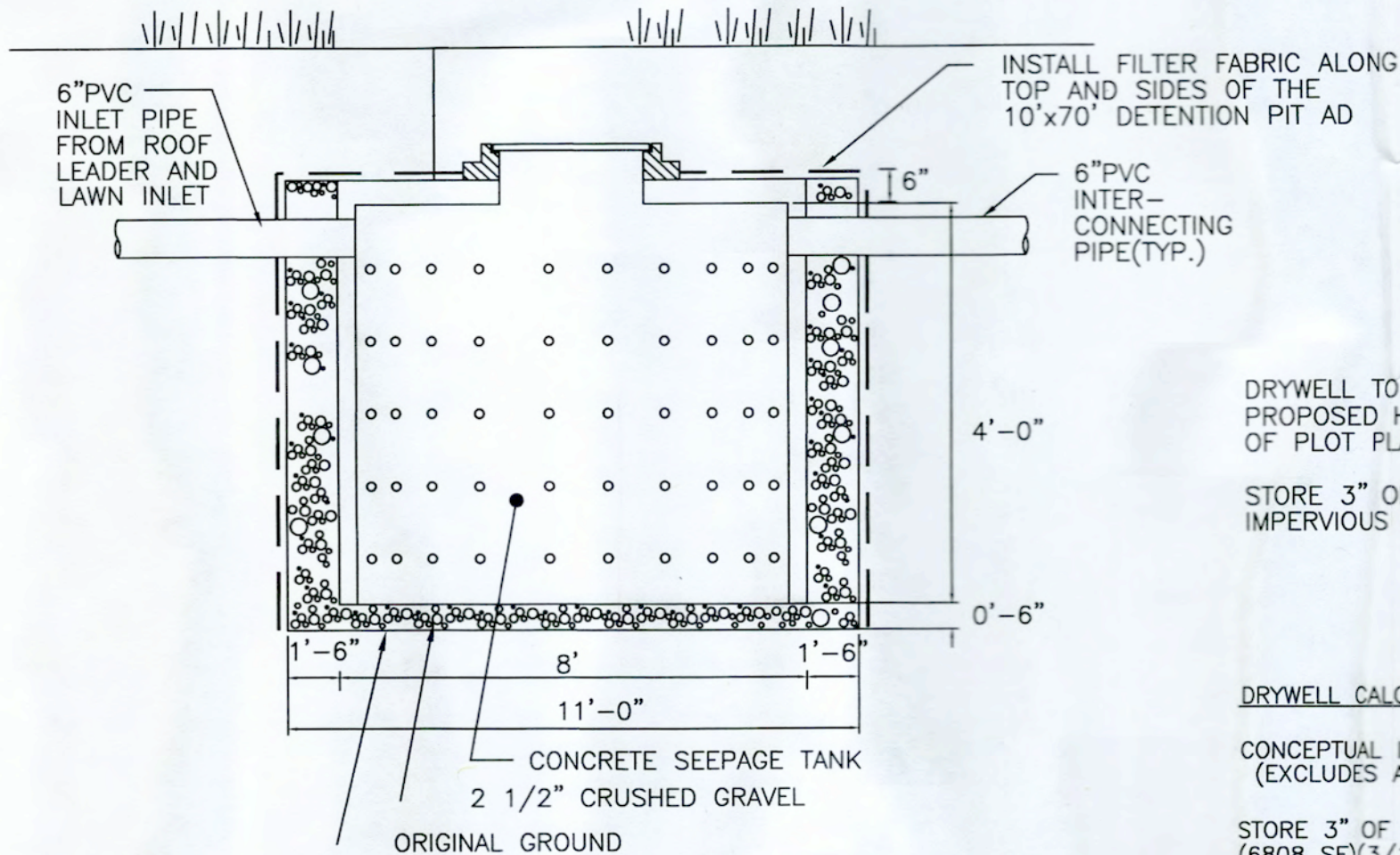
NOT TO SCALE



BRICK PAVER WALK DETAIL



DRIVEWAY PAVEMENT DETAIL



DRYWELL DETAIL

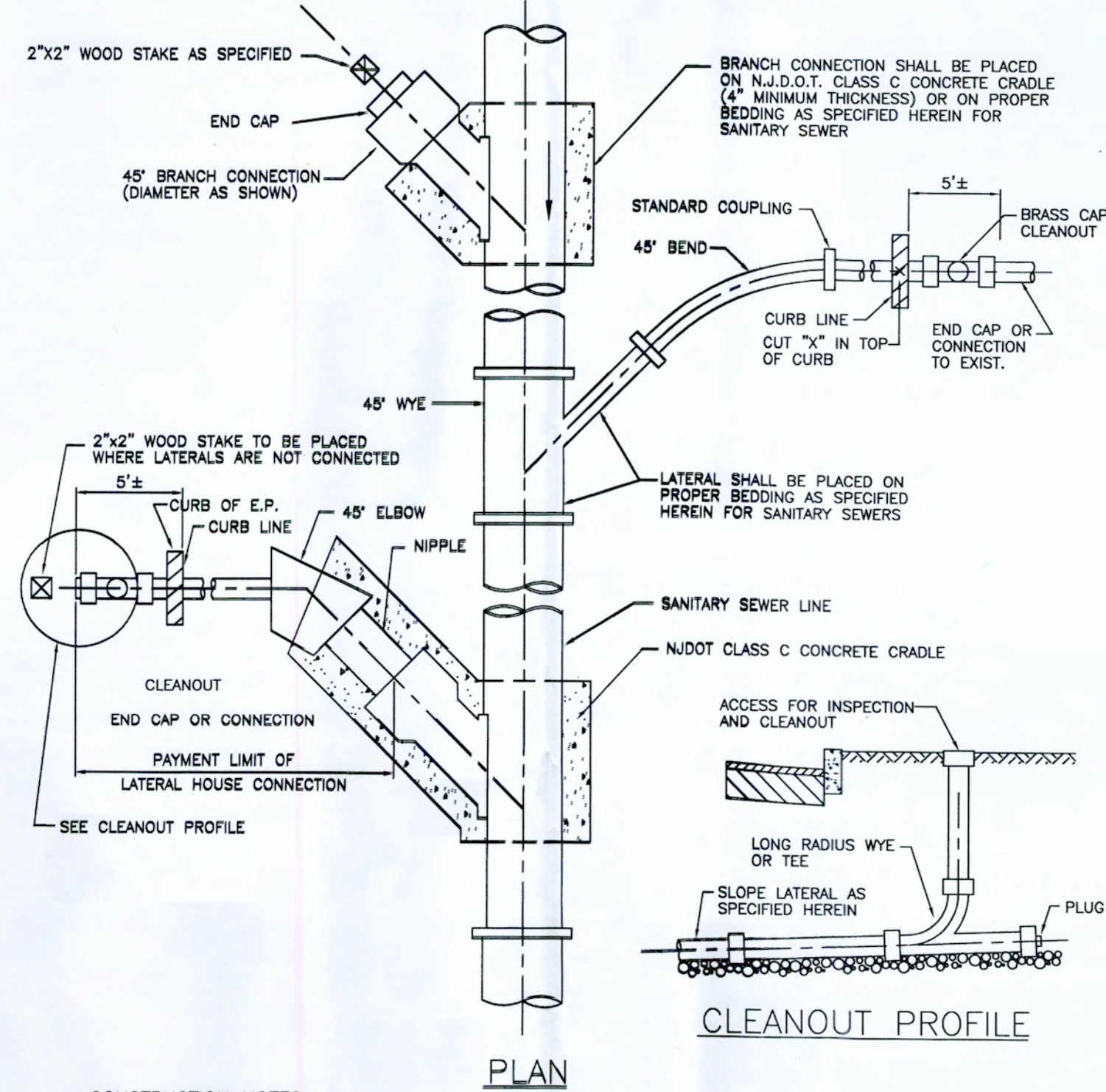
DRYWELL TO BE DESIGNED FOR PROPOSED HOUSE AT TIME OF PLOT PLAN APPLICATION

STORE 3" OF RUNOFF FROM ALL IMPERVIOUS AREA

DRYWELL CALCULATIONS

CONCEPTUAL IMPERVIOUS AREA = 6808 SF (EXCLUDES AREA OF COMMON DRIVE)

STORE 3" OF RUNOFF
(6808 SF)(3/12) = 1702 CF
STORAGE VOLUME OF A 6' DIA. DRYWELL
IN A 12'x12' GRAVEL TRENCH = 66.5 CF/LF
1702 CF/66.5 CF/LF = 25.6 LF
USE (7) 6' DIA. DRYWELLS; 4' DEEP
WITH 6" PVC INTERCONNECTION PIPES



CONSTRUCTION NOTES:

- DETAIL SHOWS CONSTRUCTION OF A "BRANCH CONNECTION" AND OF TWO DIFFERENT TYPES OF "LATERAL HOUSE CONNECTION". TYPE CONNECTION IS AT CONTRACTOR'S OPTION.
- SIZE OF LATERAL TO BE AS SHOWN ON THE PLANS OR AS DIRECTED, 4" MINIMUM.
- CLEAN-OUTS IN DRIVEWAYS SHALL BE COVERED WITH A MONUMENT BOX-- CAMPBELL PATTERN NO. 4155 OR EQUAL.

BRANCH & LATERAL HOUSE CONNECTIONS

N.T.S.

DRAWN BY: SP

CHECKED BY: WGH

JOB No. 16-041

BOOK

SCALE N.T.S.

GRAPHIC SCALE

DATE MAY 9, 2019

REVISIONS
AUGUST 3, 2020

CERTIFICATE OF AUTHORIZATION
No. 24GA27959700

NOTES

Murphy & Hollows Associates LLC
CIVIL ENGINEERING AND SURVEYING
192 CENTRAL AVENUE, STIRLING, NJ 07980
908.580.1255 murphyhollows@gmail.com

MINOR SUBDIVISION
OF
LOT 3
BLOCK 3301
490 SOUTH MAPLE AVENUE
TOWNSHIP OF
BERNARDS
SOMERSET COUNTY
NEW JERSEY
CONSTRUCTION DETAILS

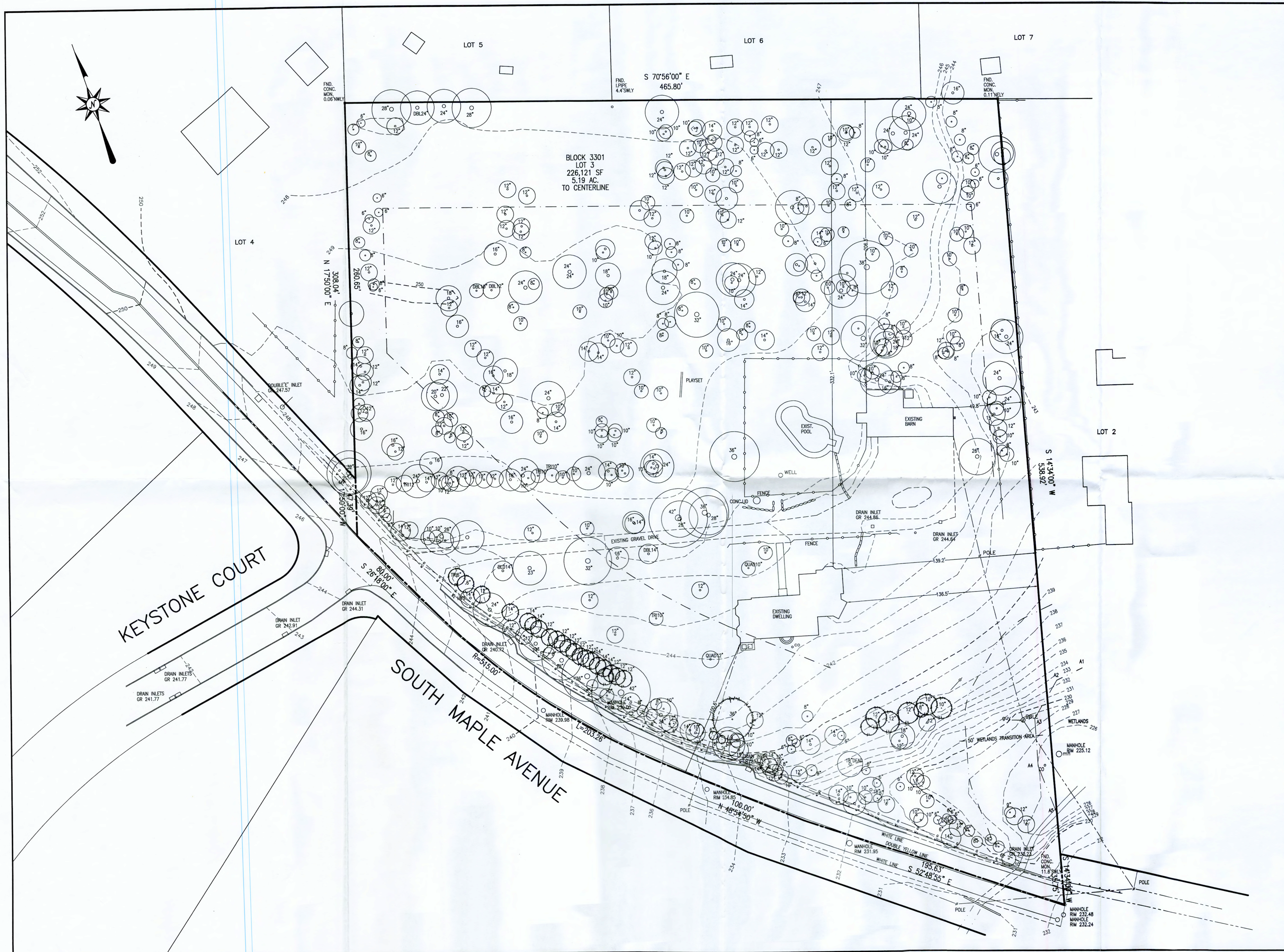
AIDAN T. MURPHY
N.J. L.C. PROFESSIONAL ENGINEER #21319
1973-2016

William G. Hollows
N.J. L.C. PROFESSIONAL ENGINEER
& LAND SURVEYOR #27473
N.J. PROFESSIONAL PLANNER #2530

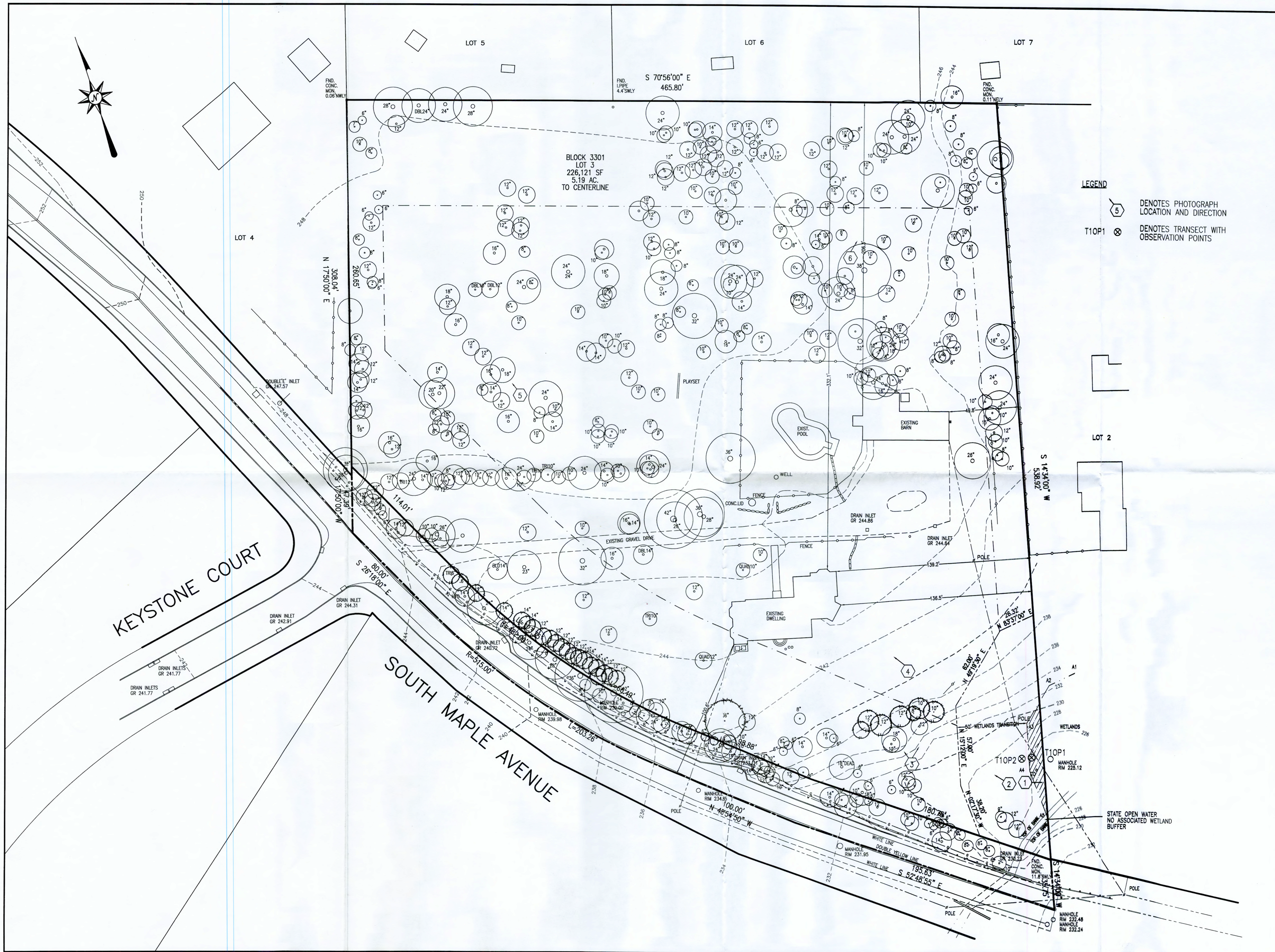
FILE LF16-041

SHEET 7

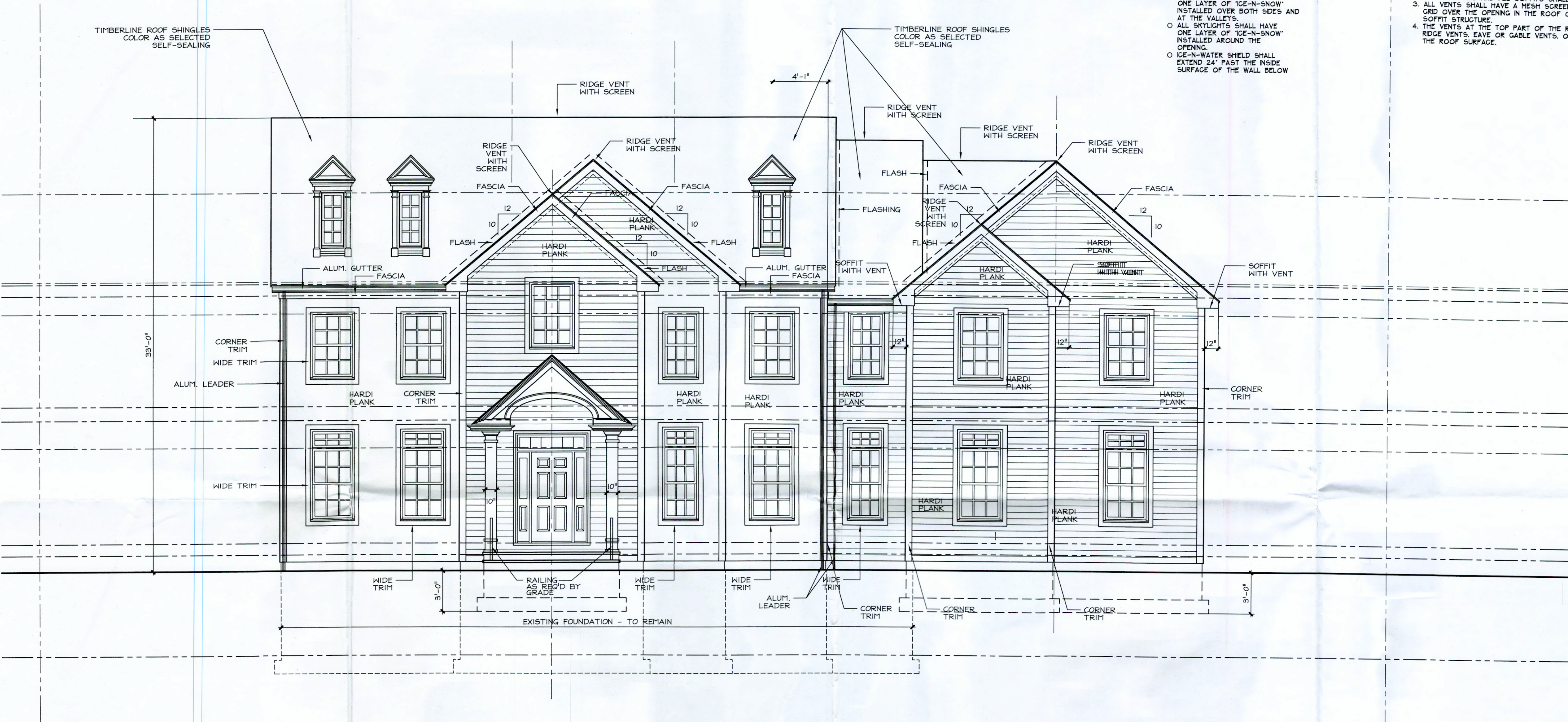
OF 8



DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 16-041			
BOOK			
SCALE 1" = 30'			
GRAPHIC SCALE			
DATE MARCH 27, 2018			
REVISIONS			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES THE EXISTING HOUSE IS SERVED BY AN INDIVIDUAL WELL AND OIL HEAT			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com			
SURVEY OF LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE LF16-041	SHEET 1 OF 1		

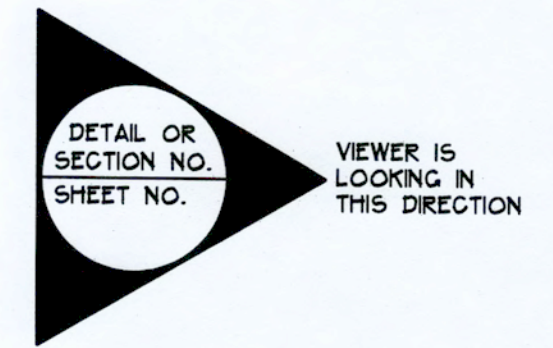


DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 16-041			
BOOK			
SCALE 1" = 30'			
GRAPHIC SCALE			
DATE JANUARY 16, 2020			
REVISIONS AUGUST 18, 2020 TRANSITION BUFFER			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES THE EXISTING HOUSE IS SERVED BY AN INDIVIDUAL WELL AND OIL HEAT			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com			
WETLANDS PLAN FOR LOT 3 BLOCK 3301 490 SOUTH MAPLE AVENUE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY			
AIDAN T. MURPHY N.J. L.C. PROFESSIONAL ENGINEER #21319 1973-2016			
<i>William G. Hollows</i> WILLIAM G. HOLLOWES N.J. L.C. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE LF16-041	SHEET 1 OF 1		



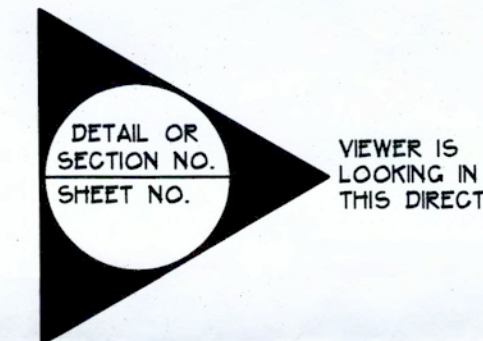
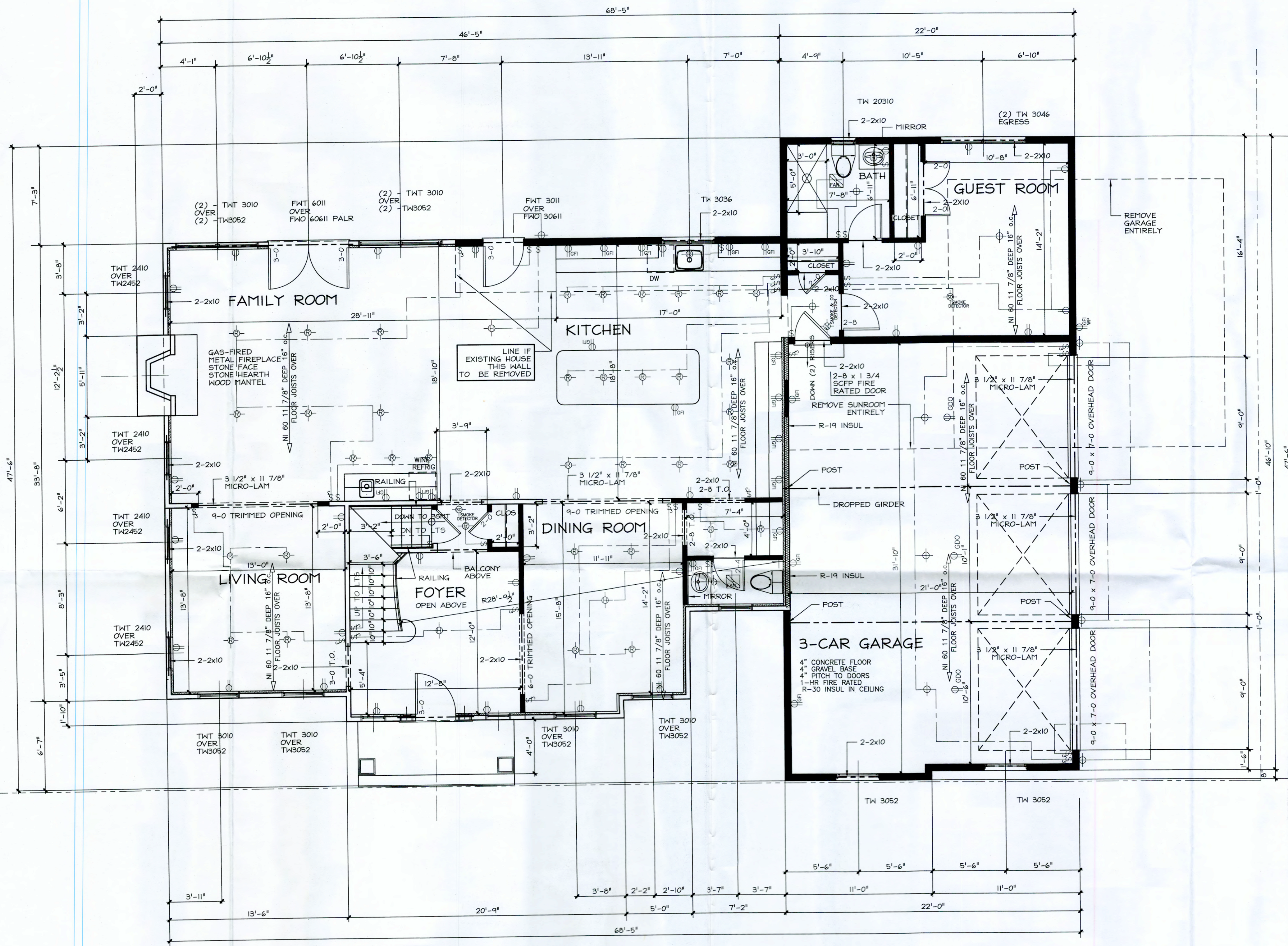
- ROOF NOTES**
- ALL VALLEYS SHALL HAVE ONE LAYER OF "ICE-N-SNOW" INSTALLED ON THE ENTIRE VALLEY
 - ALL ROOF EDGES SHALL HAVE TWO COURSES OF "ICE-N-SNOW" INSTALLED THE ENTIRE LENGTH
 - ALL CRICKETS SHALL HAVE ONE LAYER OF "ICE-N-SNOW" INSTALLED OVER BOTH SIDES AND AT THE VALLEYS
 - ALL SKYLIGHTS SHALL HAVE ONE LAYER OF "ICE-N-SNOW" INSTALLED AROUND THE OPENING
 - ICE-N-WATER SHIELD SHALL EXTEND 24" PAST THE INSIDE SURFACE OF THE WALL BELOW

- ROOF VENT NOTES**
1. THE TOTAL AREA OF THE ROOF VENTS SHALL BE EQUAL TO 1/150 OF THE AREA TO BE VENTED.
 2. ONE-HALF OF THE VENT AREA SHALL BE IN THE ROOF SOFFITS AND ALL SOFFITS SHALL BE VENTED.
 3. ALL VENTS SHALL HAVE A MESH SCREEN OF 1/8 INCH OR OVER THE OPENING IN THE ROOF OR SOFFIT STRUCTURE.
 4. THE VENTS AT THE TOP PART OF THE ROOF SHALL BE RIDGE VENTS, EAVE OR GABLE VENTS, OR ROOF VENTS IN THE ROOF SURFACE.



SECTION/DETAIL KEY DRAWING

preliminary printing				architecture				design			
preliminary drawings				front elevation				computer file:		printed	
no	date	revisions			job title:		sheet		of		
1					PROPOSED ADDITION AT:				revisions		
2	NAME: 105 CROSS 1 NEW.DWG DATE: JUN 04, 2017 TIME: 8:46 AM				LOT BLOCK				signature		
3					MUNICIPALITY:				MI 052662		
4					STATE:				CT-9195 ME-2842		
5					OWNER:				VA-6977 MT-1854		
6									NC-5369 SC-3715		
7								NY-16712 FLA-AR10172			
				Robert E Coleman, AIA architect				NJ-A107839 PA-B9322		1390 valley road stirling nj 07980	
				COPYRIGHT 2017				suite 2h		date:	
								scale:		db: cb:	
								job no.			



SECTION/DETAIL KEY DRAWING

- INSTALL BLOCKING UNDER ALL POSTS AND BEARING POINTS
- INSTALL BLOCKING PRIOR TO INSTALLING POSTS AND SUPPORTED BEAMS

ALL EXTERIOR WALLS TO BE 2x6 STUDS WITH R-19 INSULATION

- EXISTING WALLS-TO REMAIN-----
- WALLS TO BE REMOVED-----
- WALLS TO BE BUILT-----
- 2x2 WALL FURRING TO BE BUILT--
- EXISTING WALLS-TO REMAIN-----
- EXTEND TO 9' HIGH
- 2x6 WALL W/ INSUL-----
- NEW STEEL STUD WALLS-----
- EXISTING BLOCK WALLS-----
- NEW BLOCK WALLS-----

preliminary printing

preliminary drawings

no	date	revisions
1		
2	NAME: 105 CROSS 1 NEW.DWG DATE: JUN 04, 2017 TIME: 8:46 AM	
3	NAME: 105 CROSS 1 NEW.DWG DATE: JUN 16, 2017 TIME: 2:57 PM	
4		
5		
6		
7		

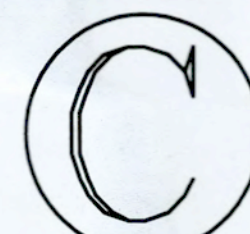


architecture

first floor plan

NEW AREAS: LIVING AREA - 427 sq. ft GARAGE AREA - 694 sq. ft
EXISTING AREAS: LIVING AREA - 1621 sq. ft PORTICO AREA - 50 sq. ft

EXISTING GARAGE AND BREEZEWAY TO BE REMOVED



COPYRIGHT 2017

Robert E Coleman, AIA
architect

computer file:
105 CROSS 1 NEW OPTION 3.DWG

job title:
PROPOSED ADDITION AT:
LOT BLOCK
MUNICIPALITY:
STATE:
OWNER:

printed
sheet
of

design

revisions

signature

MI 052662
CT-9195 ME-2842
VA-6977 MT-1854
NC-5369 SC-3715
NY-16712 FLA-AR10172
NJ-AIO7839 PA-B9322

908-604-4929
njarchitect@bobsnet.com
cell 908-209-6515
fax 908-859-0748

Robert E Coleman
architect ncarb aia

1390 valley road
stirling nj 07980

date:
scale:
db: cb:

job no.

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB20-024 Block: 5701 Lot: 47 Zone: R-4

Applicant: REILLY, PETER & BERNADETTE

Address of Property: 48 LYONS PLACE

Description: POOL NOT LOCATED BEHIND TILE
REAR BUILDING LINE OF AN ADJACENT
DWELLING

APPLICATION CHECKLIST

- | | |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9 | <input checked="" type="checkbox"/> Architectural Plans |
| <input checked="" type="checkbox"/> Site Visit Consent (A) | <input checked="" type="checkbox"/> Survey |
| <input checked="" type="checkbox"/> Ownership Form (B) | <input checked="" type="checkbox"/> Photographs |
| <input checked="" type="checkbox"/> 200' Property Search List (C) | <input checked="" type="checkbox"/> Wetlands Report/LOI |
| <input checked="" type="checkbox"/> Tax Certification (D) | <input checked="" type="checkbox"/> Application Fee |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E) | <input checked="" type="checkbox"/> Escrow Deposit |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F) | <input checked="" type="checkbox"/> Imaging Fee |
| <input checked="" type="checkbox"/> Contributions Disclosure Form (G) | <input checked="" type="checkbox"/> Tax Map Revision Fee |
| | <input checked="" type="checkbox"/> Checklist |

SCHEDULING

11-23-20 Original Submission Date
1-22-21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
3-23-20 Time to Act (45/95/60 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
1-16-21 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

11-23-20 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify):</p> |
|---|---|

1. APPLICANT: Peter + Bernadette Reilly
Address: 48 Lyons Place Basking Ridge, NJ 07920
Phone: (home) 908.340.4155 (work) _____ (mobile) 201.248.0910
Email (will be used for official notifications): bernadettereilly6@gmail.com

2. OWNER (if different from applicant): _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):
Name: Angelo Onello III, PE Profession: Engineer
Address: 5 Beechnut Street Hillsdale, NJ 07642
Phone: 201.774.1444 Email (will be used for official notifications): angelo@onelloeng.com

5. PROPERTY INFORMATION: Block(s): 5701 Lot(s): 47 Zone: R-4
Street Address: 48 Lyons Place Total Area (square feet/acres): 1.58

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

[☒] No [] Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

1.58 acres tax zone R4
single family house and we want a pool

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.): _____

construct a pool that is not behind the rear property
line of the adjacent property.

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

No conforming location available on the property

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Peter Reilly and Bernadette Reilly hereby depose and say that
all of the above statements and the statements contained in the materials submitted herewith are true and
correct.

Signature of Applicant(s): _____ and _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property
owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making
and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all
conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary



SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Peter and Bernadette Reilly

Block: 5701 Lot: 47

Street Address: 48 Lyons Place

I, Peter Reilly, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 11/16/20

SUBMIT 17 COPIES TOTAL

FORM F

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	43,560 SF 1.00 AC	68,685 SF 1.571 AC	68,685 SF 1.571 AC
LOT WIDTH	200.0 FT	178.8 FT	178.8 FT
FRONTAGE	100.0 FT	180.2 FT	180.2 FT
FRONT YARD SETBACK	75.0 FT	115.5 FT	115.5 FT
REAR YARD SETBACK	20.0 FT	0.0 FT	155.3 FT
COMBINED SIDE YARD	50.0 FT	78.1 FT	78.1 FT
SIDE YARD South	20.0 FT	0.0 FT	44.5 FT
COVERAGE	10,303 SF	8,937 SF	10,263 SF
HEIGHT			
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

pool

pool





View from Rear of 48 Lyons Place



View from 42 Lyons Place



View from 58 Lyons Place



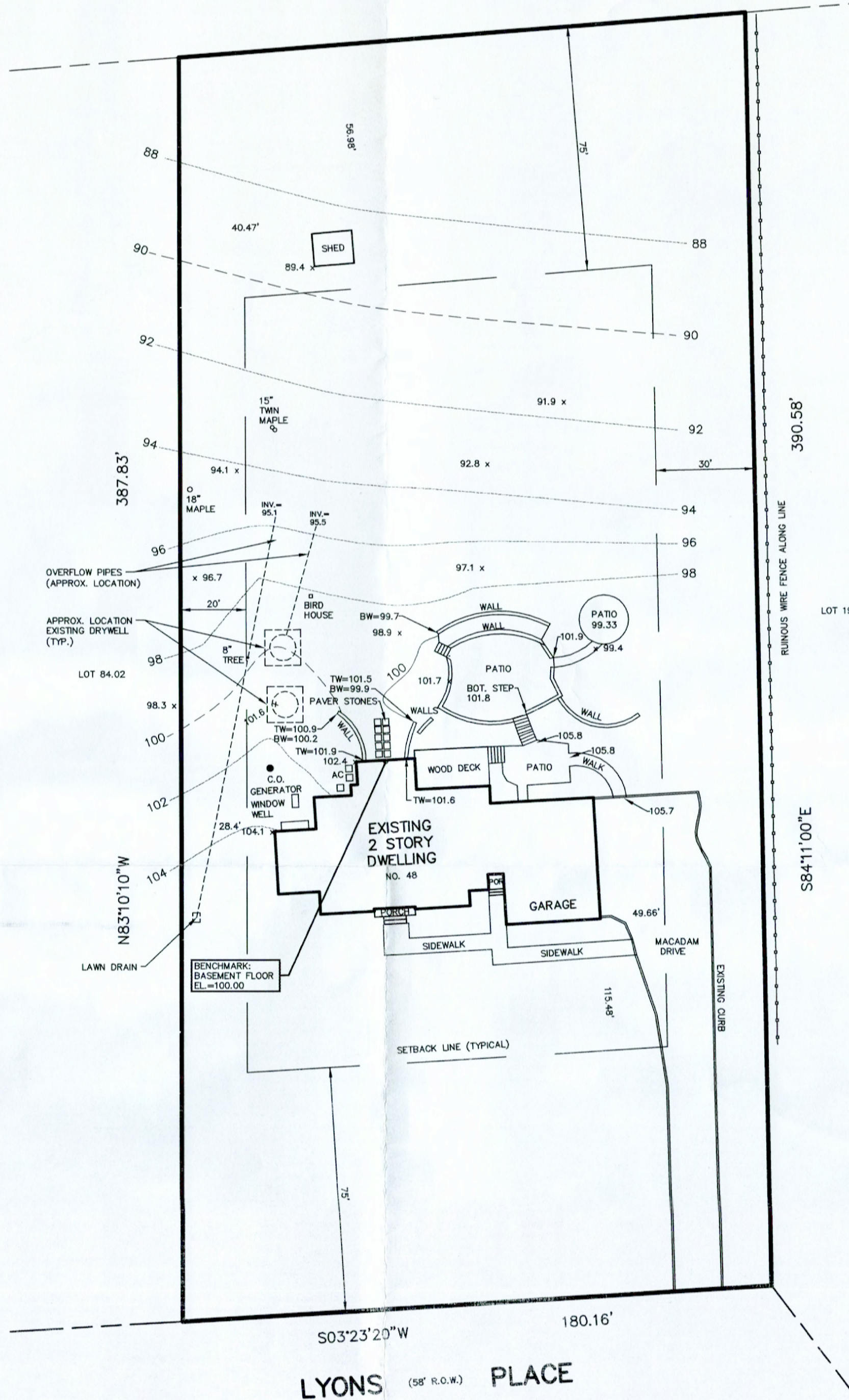
View from Walk out basement-Slider of 48 Lyons Place

SURVEY

LOT 67

N02°22'00"E

173.45'



CONTRACTOR NOTES

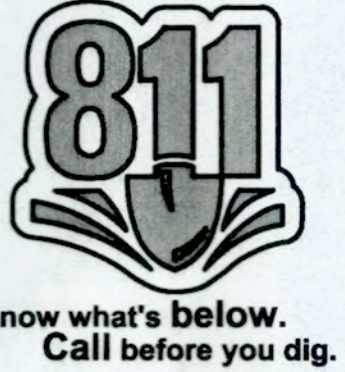
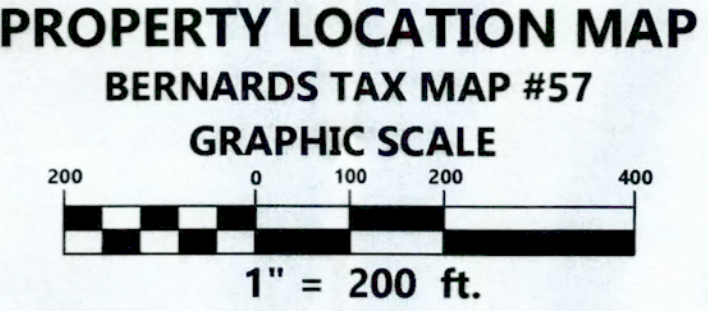
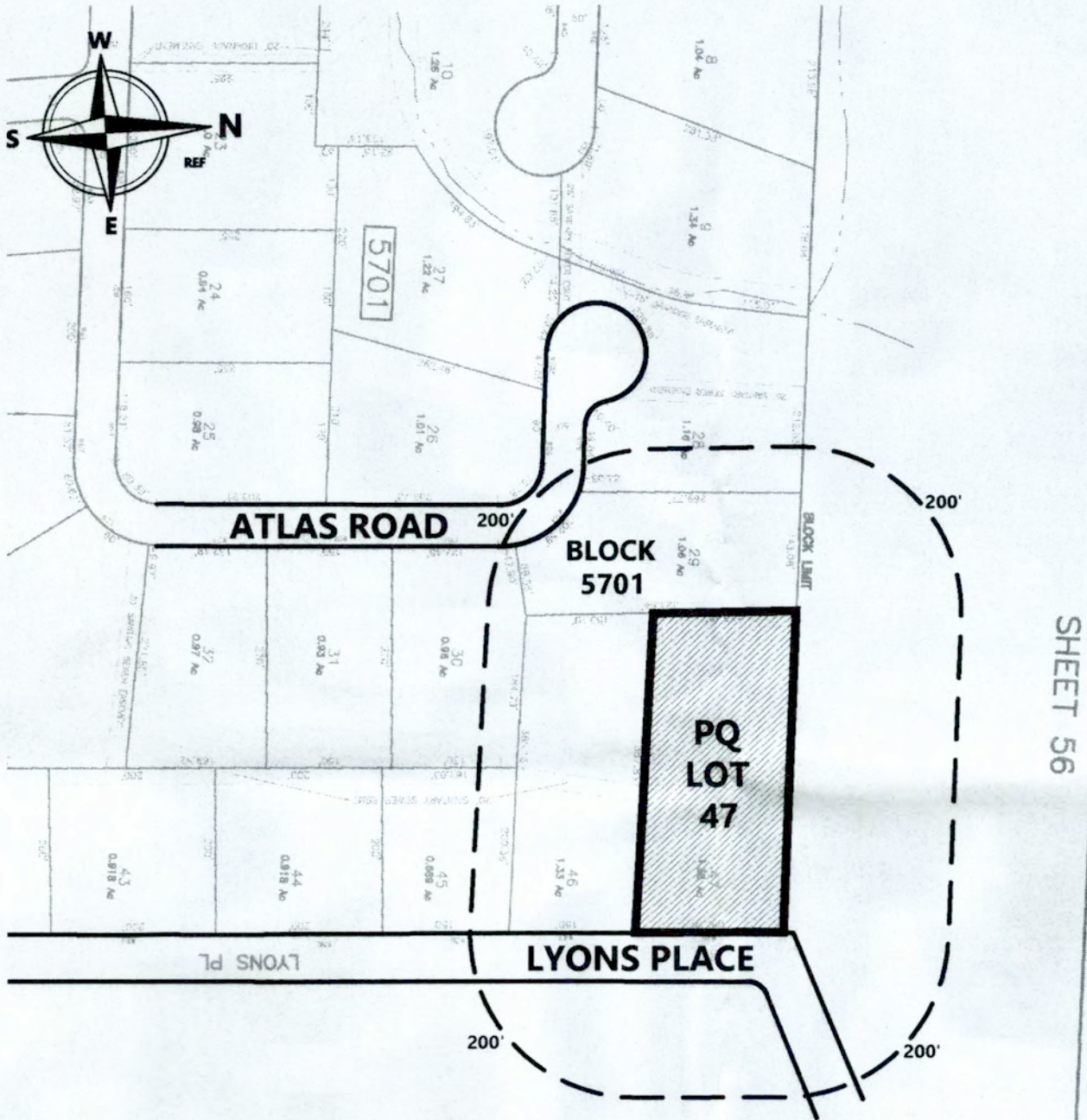
- EXCAVATION CONTRACTOR TO CALL AND CONFIRM FOR UTILITY MARK-OUT PRIOR TO ANY EXCAVATION. GENERAL CONTRACTOR, OWNER, AND/OR PERSON IN CHARGE OF CONSTRUCTION TO CONFIRM PRIOR TO ANY EXCAVATION ACTIVITY
- AS PER LOCAL PUBLIC SERVICE UTILITY(S) COMPANY(S), THERE IS A POSSIBILITY FOR AN EXISTING BLANKET EASEMENT TO UTILIZE LAND ALONG PROPERTY FRONTAGE, WHICH MAY OR MAY NOT HAVE EFFECTS TO THIS APPLICATION, WHEREAS THE PROVIDED DESIGN PLANS PRESENT NONE. PENDING UTILITY MARK-OUT AND VERIFICATION(S), THE OWNER & CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH THE UTILITY(S) COMPANY(S) THERETO. IF SUCH CASE SHOULD ARISE, ONELLO ENGINEERING SHALL BE KEPT INFORMED OF ANY MODIFICATIONS THERETO
- ANY ENCOUNTERED SUB-SURFACE OIL TANKS, SEPTIC SYSTEMS, OR WELLS SHALL BE ABANDONED AS PER STATE OF NEW JERSEY STANDARDS FOR UNDERGROUND STORAGE TANKS (UST), SANITARY CODE, AND WELLS. CONTACT ONELLO ENGINEERING IF UNKNOWN FACILITIES ARE ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITY SHALL HALT UNTIL CONFIRMATIONS AND VERIFICATIONS OF CONTINUANCE THERETO
- CONTRACTOR SHALL VERIFY ALL UTILITY(S) LOCATIONS AND CONNECTIONS FOR ALL EXISTING AND PROPOSED SERVICE FACILITIES, RETROFITS, AND/OR NEW CONNECTIONS, (AS APPLICABLE, REQUIRED, AND NECESSARY)
- ON-SITE DRYWELL SEEPAGE PITS MAY EXIST (FOR DRAINAGE, SANITARY, AND/OR OTHER USE), WHICH MAY NOT CONFORM TO TRAFFIC-LOADING REQUIREMENTS. CONTRACTOR SHALL USE NECESSARY PIPE-TRACING MEANS TO LOCATE DRYWELL SEEPAGE PIT LOCATIONS, (AND/OR VERIFY NON-EXISTENCE THEREO) PRIOR TO DRIVING HEAVY DUTY EXCAVATION EQUIPMENT ACROSS ANY AREAS OF THE PROPERTY
- CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITY AND EQUIPMENT STAGING WITHIN THE LIMIT OF DISTURBANCE AS SET FORTH WITHIN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN, (OR OTHER APPLICABLE PRE-DETERMINED ALLOWABLE AREA FOR CONSTRUCTION ACTIVITY)
- PRE-CONSTRUCTION MEETING AND NOTIFICATION REQUIREMENT: THE OWNER, GENERAL CONTRACTOR, AND/OR ANY SUB-CONTRACTOR ASSOCIATED WITH WORK IN RELATION TO THIS ENGINEERED PLAN SET (AS PROVIDED BY ONELLO ENGINEERING) SHALL CONTACT ONELLO ENGINEERING PRIOR TO ANY WORK BEING PERFORMED: FIVE (5) BUSINESS DAYS REQUIRED NOTIFICATION TO ONELLO ENGINEERING PRIOR TO START OF PROJECT. THEREAFTER, FIVE (5) BUSINESS DAYS NOTIFICATION TO ONELLO ENGINEERING IS REQUIRED PRIOR TO THE START OF ANY ADDITIONAL WORK PHASES AS SITE CONDITIONS MAY OR MAY NOT HAVE CHANGED DURING CONSTRUCTION
- PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS CONSTRUCTION DESIGN PLAN SET: THE OWNER, THE GENERAL CONTRACTOR, (AND/OR SUB-CONTRACTOR(S) ASSOCIATED WITH ANY WORK AS PER THIS CONSTRUCTION DESIGN PLAN SET), SHALL CONTACT ONELLO ENGINEERING AT LEAST FIVE (5) BUSINESS DAYS IN ADVANCE, TO SCHEDULE A PRE-CONSTRUCTION MEETING. A DATE, TIME, AND LOCATION SHALL BE AGREED UPON AND SUITABLE TO ALL ATTENDEES, WHEREAS A "FORCED MEETING" SHALL NOT BE ACCEPTABLE
- CONSTRUCTION ACTIVITY IN RELATION TO THE DESIGN AS SET FORTH WITHIN THESE DESIGN PLANS SHALL NOT BEGIN WORK WITHOUT THE OWNER AND CONTRACTOR CONTACTING ONELLO ENGINEERING AND OBTAINING AUTHORIZATION THERETO. ONELLO ENGINEERING STIPULATES THIS IS AN ABSOLUTE REQUIREMENT TO BE NOTIFIED OF ANY AND ALL CONSTRUCTION ACTIVITY PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS DESIGN PLAN SET, (REGARDLESS OF SITE CONDITIONS)
- CONTRACTOR SHALL CONTACT ONELLO ENGINEERING TO VERIFY SITE ELEVATION BENCH-MARK AND ANY OTHER PERMANENT EXISTING CONDITIONS IMPROVEMENT USED TO MEASURE OR SET LOCATIONS FOR THE INSTALLATION OF ANY IMPROVEMENTS; BENCH-MARK SHALL BE VERIFIED PRIOR ANY INSTALLATIONS THERETO
- OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF ANY PROPOSED STRUCTURES AND IMPROVEMENTS (INCLUDING, BUT NOT LIMITED TO BUILDING FOUNDATION(S), POOL AND/OR SPA, RETAINING WALLS, DETACHED ACCESSORY STRUCTURES, HARDSCAPES, PATIOS, DRIVEWAYS, OR SIMILAR IMPROVEMENTS AS PER DESIGN PLAN)
- ONELLO ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY WORK PERFORMED WITHOUT NOTIFICATION OF WORK BEING PERFORMED WHICH IS NOT IN CONFORMANCE WITH THE DESIGNS AS LAID OUT WITHIN THIS CONSTRUCTION DESIGN PLAN SET. AUTHORIZATION OF DESIGN CHANGE-ORDERS SHALL BE CONFIRMED AND VERIFIED VIA ONELLO ENGINEERING

PROPOSED IMPROVEMENTS
SEQUENCE OF INSTALLMENT
VERIFICATIONS

THIS NOTES SECTION SHALL BE APPLICABLE TO ALL PROPOSED CONDITIONS, INCLUDING, BUT NOT LIMITED TO: BUILDING(S), POOL(S), & ANY HARDSCAPE IMPROVEMENTS TO BE INSTALLED AS PER THESE DESIGN PLANS

- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: "CONTRACTOR NOTES"
- CONTRACTOR SHALL RETAIN NEW JERSEY LICENSED SURVEYOR VIA ONELLO ENGINEERING TO PROVIDE THE FOLLOWING CONSTRUCTION SEQUENTIAL TASK-ITEM CONSTRUCTION SERVICES
- SITE ELEVATION BENCH-MARK(S) SHALL BE SET, ESTABLISHED, CONFIRMED, AND VERIFIED FOR CONTINUAL USE THROUGHOUT CONSTRUCTION, (TRIANGULATE ELEVATION TO SITE SPECIFIC AREA FOR LINE OF SIGHT AS NECESSARY); SITE WORK CONTRACTOR SHALL HAVE LASER-LEVEL UNIT FOR CONTINUAL VERIFICATIONS DURING CONSTRUCTION ACTIVITY
- IF SITE ELEVATION BENCH-MARK IS COMPROMISED, IMMEDIATELY CONTACT PROJECT SURVEYOR FOR A NEW SITE ELEVATION BENCH MARK TO BE SET. ALL SITE ELEVATIONS SHALL BE RE-CONFIRMED AND VERIFIED AS APPLICABLE AND NECESSARY PRIOR TO THE CONTINUANCE OF SITE CONSTRUCTION ACTIVITY; (PROJECT SURVEYOR SHALL HAVE ORIGINAL HORIZONTAL COORDINATES CONTROL AND VERTICAL TOPOGRAPHIC ELEVATION CONTROL)
- STAKE-OUT BUILDING AND HARDSCAPE LOCATIONS AND PROVIDE A LAYOUT MAP WITH STAKE BACK-SHOT LOCATIONS AND ELEVATIONS (AT GRADE LEVEL) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF NO FOOTINGS ARE REQUIRED FOR FOUNDATION BUILDING WALL OR HARDSCAPE COMPONENTS TO BE INSTALLED UPON, (PRE-CASTED WALL PANEL, MODULAR BLOCKS, OR SIMILAR), STAKES (OR PINS) SHALL BE SET AT RESPECTIVE CORNERS, WITHIN COMPACTED GRAVEL OR DGA BASE-COURSE. PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF DESIGN PLANS CALL FOR FOUNDATION FOOTINGS, AFTER FOUNDATION FOOTINGS FORMS ARE INSTALLED, PERFORM FOOTING AS-BUILT PRIOR TO CONCRETE INSTALLATION TO VERIFY HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS
- AFTER FOUNDATION FOOTINGS ARE CURED, FOUNDATION WALL AND/OR HARDSCAPE WALL CORNERS SHALL BE PINNED, AND SUBSEQUENTLY, THE TOP OF FOOTING ELEVATION SHALL BE VERIFIED (ALSO KNOWN AS: PINNING THE FOOTINGS & FOOTING AS-BUILT SURVEY). PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS (AT SET PIN) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF MASONRY WALL IS TO BE "CAST-IN-PLACE" (STEEL REINFORCED CONCRETE), AFTER FORMS HAVE BEEN SET, A WALL FORM AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION, (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- AFTER FORMS HAVE BEEN POURED AND CURED, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE CONSTRUCTED WITH INDIVIDUAL CONCRETE MASONRY UNITS (CMU WALL). AFTER COMPLETION, A WALL LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE PRE-CASTED AND INSTALLED ON-SITE, AFTER COMPLETION, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE PROPOSED FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (BOTH HORIZONTALLY & VERTICALLY)
- INTERIM AS-BUILT LOCATION AND ELEVATION VERIFICATION TASK-ITEMS MAY BE OMITTED / WAIVED, BY THE OWNER AND THE GENERAL CONTRACTOR PROVIDING NOTICE TO ONELLO ENGINEERING WITH FULL ACKNOWLEDGMENT OF ALL PARTIES. REGARDLESS IF NOTICE IS PROVIDED TO ONELLO ENGINEERING (OR NOT), ANY WAIVED VERIFICATION TASKS ARE THE RESPONSIBILITY OF THE OWNER AND THE GENERAL CONTRACTOR
- A FOUNDATION LOCATION AS-BUILT SURVEY IS REQUIRED TO BE PROVIDED TO THE MUNICIPAL BUILDING / CONSTRUCTION DEPARTMENT PRIOR TO THE RELEASE OF A FRAMING PERMIT, WHICH SHALL DEMONSTRATE CONFORMANCE WITH THIS APPROVED DESIGN ENGINEERING PLOT PLAN (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- CONTRACTOR RESPONSIBLE FOR PROVIDING SURVEY FIELD-CREW WITH PEDESTRIAN ACCESS TO TOP-OF-FOUNDATION LOCATIONS FOR AS-BUILT SURVEY REQUIREMENTS (AS APPLICABLE AND NECESSARY). ACCESS SHALL MEET OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
- PRIOR TO FOUNDATION BACK-FILL, ALL SUB-GRADE FOUNDATION SURFACES SHALL BE WATERPROOFED AS PER STANDARDS WITHIN THESE DESIGN PLANS AND/OR AS PER THE STANDARDS ENTAILED WITHIN THE APPROVED ARCHITECTURAL DRAWINGS
- REGARDLESS OF ARCHITECTURAL REQUIREMENTS, THE FOUNDATION SHALL BE WATERPROOFED WITH SEALANT AND DRAINAGE DIMPLE-BOARD LEADING TO A VIABLE AND APPROVED DRAINAGE DISCHARGE OR CONVEYANCE LOCATION
- EXPOSED FOUNDATION WINDOW WELLS & CASINGS SHALL BE WATER-PROOFED; INSET WINDOW-WELL GRADE SURFACE SHALL BE MINIMUM 4" THICKNESS CLEAN-CRUSHED STONE (OVER GEOTEXTILE FABRIC) AND SET 2" BELOW THE WINDOW WITH INTERNAL DRAIN LEADING TO FOUNDATION DRAIN AND/OR SUMP-PUMP. EXTERIOR GRADE ATOP WINDOW-WELL WALL SHALL BE PITCHED AT MINIMUM 5.0% DOWN & AWAY FROM FOUNDATION; INSTALLATION REQUIREMENTS MAY VARY, CONTRACTOR SHALL CONFIRM ALL SPECIFICATIONS WITH OWNER & ARCHITECT
- A FULLY FUNCTIONING "SUMP-PUMP" SHALL BE INSTALLED WITHIN THE FOUNDATION BASEMENT FLOOR WITH EMERGENCY BATTERY BACK-UP AND ALARM, (CONNECT TO EMERGENCY BACK-UP GENERATOR IF APPLICABLE)
- ONELLO ENGINEERING ACCEPTS NO RESPONSIBILITY TO ANY FOUNDATION DAMAGES RESULTING FROM THE OCCURRENCE OF GROUNDWATER, (REGARDLESS OF APPLIED WATER-PROOFING MATERIALS AND/OR MECHANICAL PUMPS)
- IT IS THE RESPONSIBILITY OF THE OWNER & ARCHITECT TO PROVIDE FOR THE SAFEGUARD OF BUILDING FOUNDATIONS AGAINST GROUNDWATER CONDITIONS; THE MOST CURRENT / INDUSTRY STANDARD TECHNOLOGY SHALL BE UTILIZED THERETO (WATER-PROOFING MEMBRANES, DRAINAGE BOARDS, DRAINAGE CONVEYANCE TILE / PIPE, ELECTRONICS, ALARMS, BACK-UP PUMPS, DUPLEX PUMP CIRCUITRY CONTROLS, AUTOMATIC EMERGENCY GENERATOR, ETC). ANY WAIVER OF RECOMMENDED WATER-PROOFING COMPONENTS IS THE RESPONSIBILITY OF THE OWNER
- ALL ASSOCIATED FEES AS PER THE ABOVE LISTED CRITERIA AND TASK-ITEM SERVICES ARE THE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR (AS PER CONTRACTUAL AGREEMENT THERETO)
- IF NECESSARY, CONTACT ONELLO ENGINEERING FOR FURTHER CLARIFICATION, DIRECTION, AND VERIFICATIONS

SITE PLAN
POOL PROJECT
FOR
REILLY RESIDENCE
#48 LYONS PLACE
LOT 47 - BLOCK 5701
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY



NEW JERSEY
ONE CALL
CALL BEFORE YOU DIG
1-800-272-1000
CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS IN THE "UNDERGROUND FACILITY PROTECTION ACT".

GENERAL PLAN NOTES

- SUBJECT PROPERTY KNOWN AS: LOT 47 (BLOCK 5701), #48 LYONS PLACE, TOWNSHIP OF BERNARDS, TAX MAP #57, COUNTY OF SOMERSET, DEED BOOK #5950 (PAGE #3380), STATE OF NEW JERSEY
- PROPERTY LOCATED IN THE R-4 ZONE, BULK ZONING AS PER TOWNSHIP OF BERNARDS CODE, LAND DEVELOPMENT, SECTION 521 ATTACHMENT 7, TABLE 501, MINIMUM DIMENSIONAL REQUIREMENTS, LOTS IN STANDARD RESIDENTIAL DEVELOPMENT
- THERE ARE NO KNOWN COVENANTS AND/OR DEED RESTRICTIONS AFFECTING THE SITE, WHICH HAVE BEEN DISCLOSED TO ONELLO ENGINEERING. OWNER SHALL VALIDATE IF REQUIRED BY REVIEW AGENCY(S)
- PROPERTY IS LOCATED IN STATE OF NEW JERSEY PLANNING AREA "SUBURBAN PLANNING AREA" (PA 2)
- EXISTING CONDITIONS ARE REPRESENTATIVE WITHIN THIS PLAN SET AS PER THE REFERENCED PROPERTY SURVEY
- OWNER AND/OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED PERMITS (AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY)
- ALL REMOVED MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE TOWNSHIP OF BERNARDS
- CONTRACTOR SHALL RETAIN AN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON-SITE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES
- NO WORK SHALL BE PERFORMED NOR DISTURB ADJACENT PROPERTIES (WHICH ARE NOT UNDER COMMON OWNERSHIP) WITHOUT AUTHORIZED WRITTEN CONSENT OF ADJACENT PROPERTY OWNER(S); GRADING AND DRAINAGE PATTERNS SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES
- CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGES TO EXISTING IMPROVEMENTS, WHICH ARE SPECIFIED TO REMAIN, AT ITS EXPENSE AND TO THE SATISFACTION OF THE OWNER
- ALL CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS ONELLO ENGINEERING AND ITS SUB-CONSULTANTS (TO THE FULLEST EXTENT PERMITTED BY LAW) AGAINST ANY DAMAGES AND LIABILITIES (INCLUSIVE OF ATTORNEY'S FEES) ARISING FROM CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE
- LYONS PLACE IS A TOWNSHIP OF BERNARDS ROADWAY WITHIN A RIGHT-OF-WAY. ALL CONTRACTORS AND PERSONS ASSOCIATED WITH THE PROJECT SHALL ARISE BY THE SPEED LIMIT OF ALL ROADWAYS. ANY APPLICABLE AND REQUIRED TRAFFIC CONTROL SHALL CONFIRM TO THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- EXISTING RESIDENTIAL DRIVEWAY SHALL BE USED FOR CONSTRUCTION ACCESS. INSTALL CONSTRUCTION ACCESS WHOLE BLANKET AS PER PLAN OR IF AND WHERE DIRECTED BY TOWNSHIP OF BERNARDS ENGINEER / OFFICIAL AND/OR SOIL CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)
- ALL LIMIT OF DISTURBANCE FENCING, SILT FENCING AND TREE PROTECTION (AND OTHER APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES) MUST BE INSTALLED AND INSPECTED PRIOR TO RELEASE OF PERMITS. CONTRACTOR SHALL ABIDE BY ANY TOWNSHIP OF BERNARDS ORDINANCES STIPULATING AREAS OF NO DISTURBANCE
- ANY SOILS TRACKED ONTO THE STREET (ROADWAY) MUST BE IMMEDIATELY REMOVED. IF TRACKED SOIL REMAINS OVERNIGHT, THE TOWNSHIP OF BERNARDS DEPARTMENT OF PUBLIC WORKS SHALL REMOVE IT AND ASSESS THE OWNER FOR THOSE COSTS. THE TOWNSHIP OF BERNARDS WILL NOT TOLERATE ANY OFFSITE SILT AND SOIL TRACKING. ANY BREACH OF SILT CONTROLS WILL RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE IN-KIND REPLACEMENT OF ANY CURB OR SIDEWALK SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY
- THE MAXIMUM HEIGHT OF CONSTRUCTED RETAINING WALLS SHALL BE WITHIN THE LIMITATIONS OF TOWNSHIP OF BERNARDS ZONING REQUIREMENTS THERETO, MEASURED FROM TOP OF WALL (CAP) TO FINISHED GRADE (BELOW)
- THERE ARE NO ALTERATIONS TO THE EXISTING BUILDING AS PART OF THIS APPLICATION, THUS THE ZONING REQUIREMENTS FOR: ROOF-HEIGHT & MINIMUM HABITABLE FLOOR AREAS HAVE BEEN ASSUMED AS PER VISUAL SITE INSPECTION
- EXISTING ON-SITE BUILDING(S) IS CONSIDERED TO BE A LEGALLY EXISTING STRUCTURE(S) WITH A VALID CERTIFICATE OF OCCUPANCY FOR THE ENTIRETY OF THE PREMISES ON-FILE WITH THE TOWNSHIP OF BERNARDS
- OWNER & CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE LOCATION AND CONSTRUCTION
- IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR TO RETAIN AN ARBORIST TO ASSES THE DAMAGE TO THE TREES; ALL FEES AS PER OWNER
- A COPY OF THE APPROVED AND AUTHORIZED SOIL EROSION & SEDIMENT CONTROL PLAN IN DIRECT RELATION TO THE ASSOCIATED CERTIFICATION THERETO SHALL REMAIN AT THE SITE ACCESSIBLE TO TOWNSHIP OF BERNARDS AND SOIL CONSERVATION DISTRICT OFFICIALS AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL COMPLETION OF THE PROJECT
- THIS PLAN-SET SHALL ONLY BE CONSIDERED A COMPLETE PLAN SET IF ALL SHEETS ARE INCLUSIVE AS PER THE SHEET INDEX PROVIDED ON DRAWING SHEET #1, ALL PLAN SHEETS SHALL MATCH THE EXACT AND CONSISTENT REVISION DATE THROUGHOUT. ALL PLAN SHEETS SHALL BE SIGNED AND SEALED BY THE ORIGINAL DESIGN ENGINEER FROM ONELLO ENGINEERING
- OWNER & CONTRACTOR SHALL CONFIRM THE LAST REVISED PLAN-SET DATE WITH ONELLO ENGINEERING PRIOR TO THE IMPLEMENTATION OR INSTALLMENT OF ANY ITEMS PROVIDED THROUGHOUT THIS PLAN SET

REVIEW AGENCIES

- TOWNSHIP OF BERNARDS DEPARTMENT OF ZONING, ENGINEERING, AND BUILDING

APPLICANT REPRESENTATION

- OWNER / APPLICANT: REILLY, BERNADETTE S & PETER F, 48 LYONS PLACE, BASKING RIDGE, NEW JERSEY 07920, (201) 248-0910, BERNADETTE.REILLY6@gmail.com, (201) 240-4306, PETER.REILLY.4@gmail.com
- SITE ENGINEER: ONELLO ENGINEERING, 5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642, ANGELO ONELLO, PE, (201) 774-1444, ANGELO@ONELLO.ENG.COM
- LAND SURVEYOR: PARKER ENGINEERING & SURVEYING PC, 370 EAST MAIN STREET, SOMERVILLE, NEW JERSEY 08876, (908) 725-4400, PARKERES@aol.com
- CONTRACTOR: FRANKLIN LAKES POOL, ERIC JEPSEN, ERIC@FRANKLIN LAKES POOL.COM, (551) 580-9696

SHEET INDEX

DWG	DESCRIPTION
1	PROJECT INFORMATION
2	EXISTING CONDITIONS
3	DESIGN LAYOUT & ZONING ANALYSIS
4	SITE ENGINEERING
5	SOIL EROSION & SEDIMENT CONTROL
6	CONSTRUCTION DETAILS

REILLY, BERNARDS TOWNSHIP
SITE PLAN - POOL PROJECT

ONELLO
ENGINEERING
5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

REILLY
#48 LYONS PLACE
LOT 47 - BLOCK 5701
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY

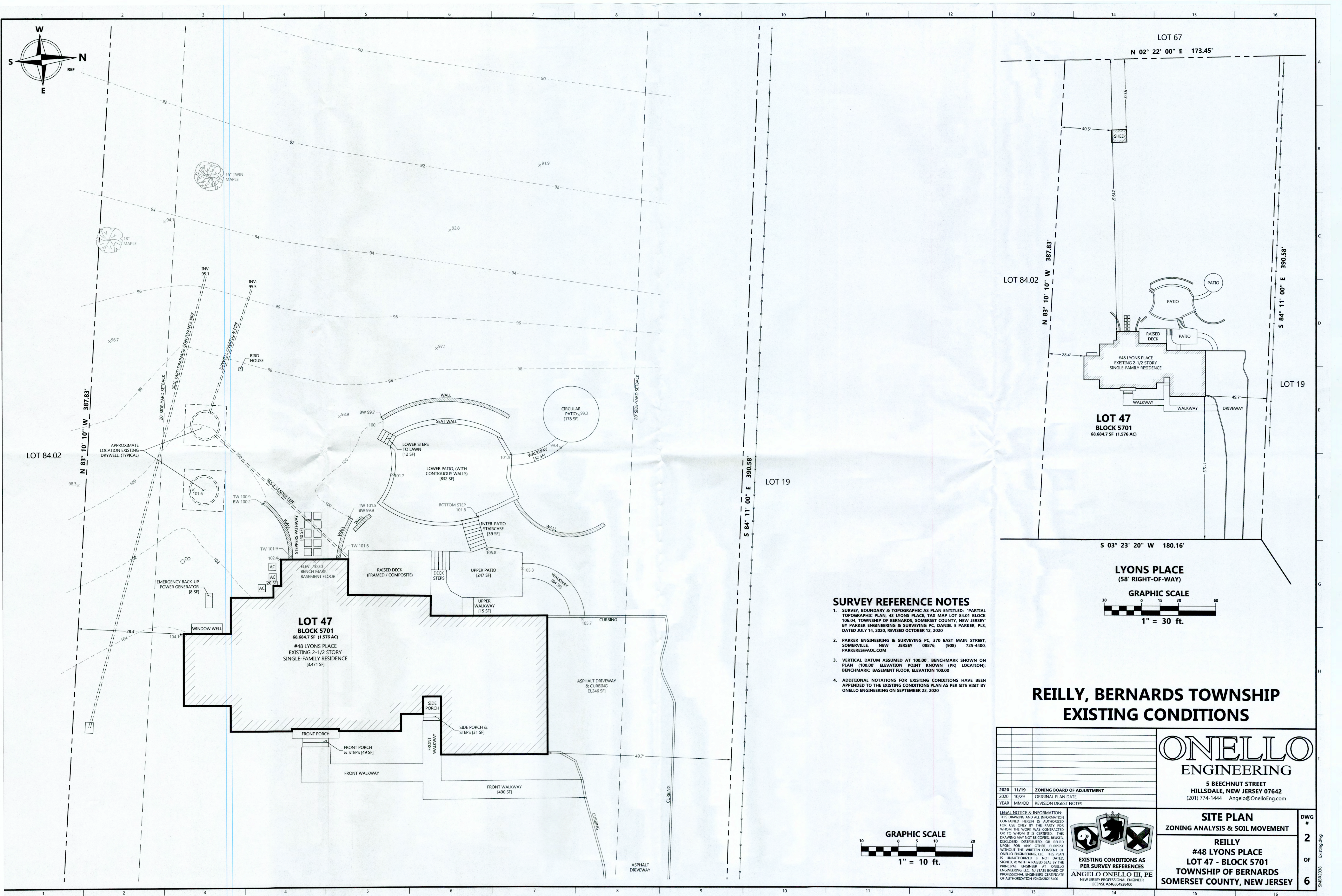
DWG # 1 OF 6

Site Plan - Reilly.dwg

2020	11/19	ZONING BOARD OF ADJUSTMENT
2020	10/29	ORIGINAL PLAN DATE
YEAR	MM/DD	REVISION DIGEST NOTES

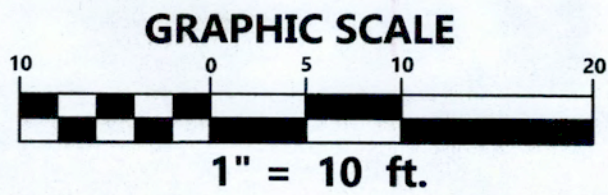
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ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #A6A28215400



SURVEY REFERENCE NOTES

1. SURVEY, BOUNDARY & TOPOGRAPHIC AS PLAN ENTITLED: "PARTIAL TOPOGRAPHIC PLAN, 48 LYONS PLACE, TAX MAP LOT 84.01 BLOCK 106.04, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" BY PARKER ENGINEERING & SURVEYING PC, DANIEL E PARKER, PLS, DATED JULY 14, 2020, REVISED OCTOBER 12, 2020
2. PARKER ENGINEERING & SURVEYING PC, 370 EAST MAIN STREET, SOMERVILLE, NEW JERSEY 08876, (908) 725-4400, PARKERES@AOL.COM
3. VERTICAL DATUM ASSUMED AT 100.00'; BENCHMARK SHOWN ON PLAN (100.00' ELEVATION POINT KNOWN (PK) LOCATION); BENCHMARK: BASEMENT FLOOR, ELEVATION 100.00
4. ADDITIONAL NOTATIONS FOR EXISTING CONDITIONS HAVE BEEN APPENDED TO THE EXISTING CONDITIONS PLAN AS PER SITE VISIT BY ONELLO ENGINEERING ON SEPTEMBER 23, 2020

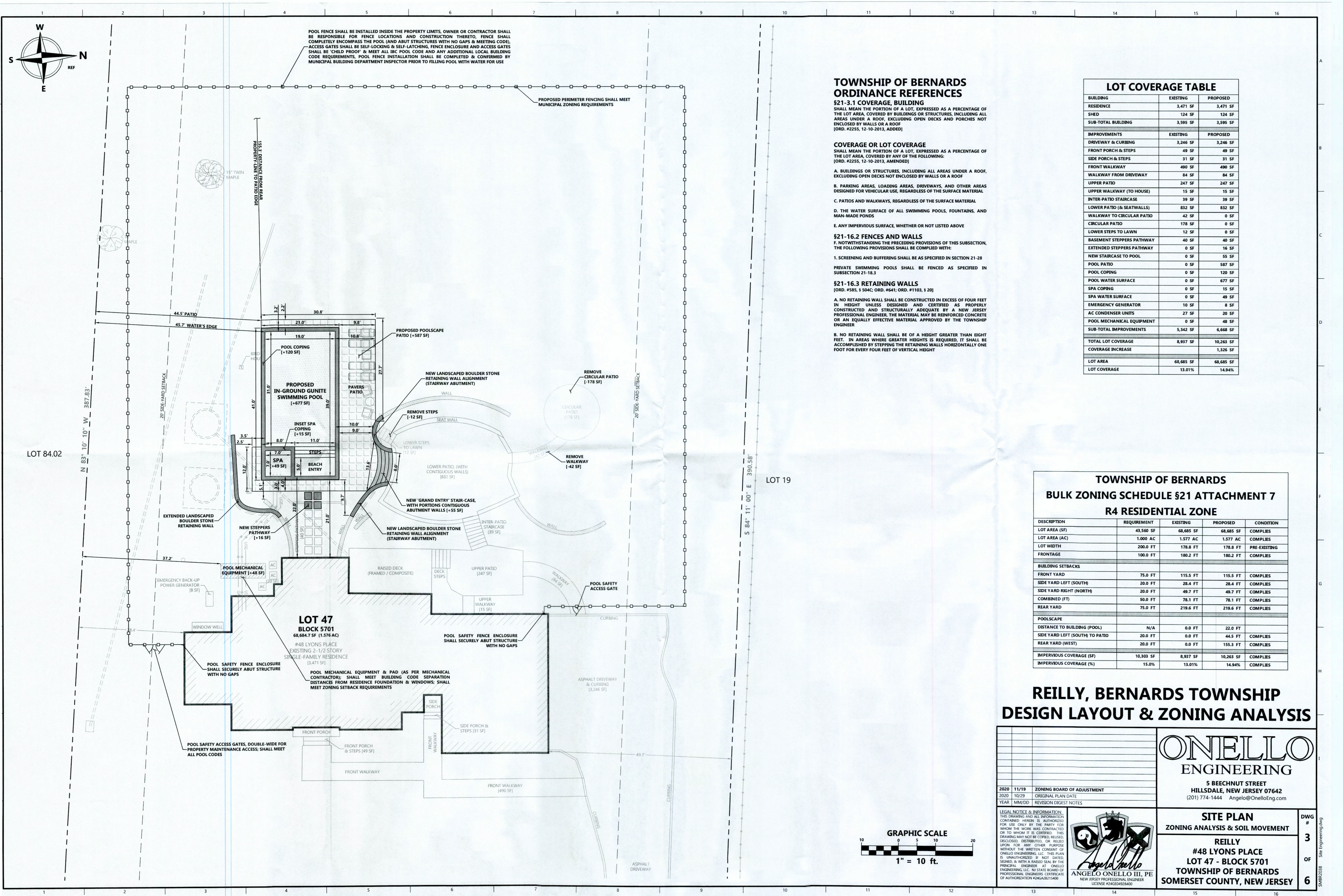


**REILLY, BERNARDS TOWNSHIP
EXISTING CONDITIONS**

ONELLO ENGINEERING 5 BEECHNUT STREET HILLSDALE, NEW JERSEY 07642 (201) 774-1444 Angelo@OnelloEng.com	
SITE PLAN ZONING ANALYSIS & SOIL MOVEMENT	
REILLY #48 LYONS PLACE LOT 47 - BLOCK 5701 TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY	
DWG # 2 OF 6	

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EXISTING CONDITIONS AS PER SURVEY REFERENCES
ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #24GE04928400



TOWNSHIP OF BERNARDS
ORDINANCE REFERENCES

§21-3.1 COVERAGE, BUILDING
SHALL MEAN THE PORTION OF A LOT, EXPRESSED AS A PERCENTAGE OF THE LOT AREA, COVERED BY BUILDINGS OR STRUCTURES, INCLUDING ALL AREAS UNDER A ROOF, EXCLUDING OPEN DECKS AND PORCHES NOT ENCLOSED BY WALLS OR A ROOF
[ORD. #2255, 12-10-2013, AMENDED]

COVERAGE OR LOT COVERAGE
SHALL MEAN THE PORTION OF A LOT, EXPRESSED AS A PERCENTAGE OF THE LOT AREA, COVERED BY ANY OF THE FOLLOWING:
[ORD. #2255, 12-10-2013, AMENDED]

A. BUILDINGS OR STRUCTURES, INCLUDING ALL AREAS UNDER A ROOF, EXCLUDING OPEN DECKS NOT ENCLOSED BY WALLS OR A ROOF

B. PARKING AREAS, LOADING AREAS, DRIVEWAYS, AND OTHER AREAS DESIGNED FOR VEHICULAR USE, REGARDLESS OF THE SURFACE MATERIAL

C. PATIOS AND WALKWAYS, REGARDLESS OF THE SURFACE MATERIAL

D. THE WATER SURFACE OF ALL SWIMMING POOLS, FOUNTAINS, AND MAN-MADE PONDS

E. ANY IMPERVIOUS SURFACE, WHETHER OR NOT LISTED ABOVE

§21-16.2 FENCES AND WALLS

F. NOTWITHSTANDING THE PRECEDING PROVISIONS OF THIS SUBSECTION, THE FOLLOWING PROVISIONS SHALL BE COMPLIED WITH:

1. SCREENING AND BUFFERING SHALL BE AS SPECIFIED IN SECTION 21-28

PRIVATE SWIMMING POOLS SHALL BE FENCED AS SPECIFIED IN SUBSECTION 21-16.3

§21-16.3 RETAINING WALLS

[ORD. #585, § 504C; ORD. #641; ORD. #1103, § 20]

A. NO RETAINING WALL SHALL BE CONSTRUCTED IN EXCESS OF FOUR FEET IN HEIGHT UNLESS DESIGNED AND CERTIFIED AS PROPERLY CONSTRUCTED AND STRUCTURALLY ADEQUATE BY A NEW JERSEY PROFESSIONAL ENGINEER. THE MATERIAL MAY BE REINFORCED CONCRETE OR AN EQUALLY EFFECTIVE MATERIAL APPROVED BY THE TOWNSHIP ENGINEER

B. NO RETAINING WALL SHALL BE OF A HEIGHT GREATER THAN EIGHT FEET. IN AREAS WHERE GREATER HEIGHTS IS REQUIRED, IT SHALL BE ACCOMPLISHED BY STEPPING THE RETAINING WALLS HORIZONTALLY ONE FOOT FOR EVERY FOUR FEET OF VERTICAL HEIGHT

LOT COVERAGE TABLE		
BUILDING	EXISTING	PROPOSED
RESIDENCE	3,471 SF	3,471 SF
SHED	124 SF	124 SF
SUB-TOTAL BUILDING	3,595 SF	3,595 SF
IMPROVEMENTS		
DRIVEWAY & CURBING	3,246 SF	3,246 SF
FRONT PORCH & STEPS	49 SF	49 SF
SIDE PORCH & STEPS	31 SF	31 SF
FRONT WALKWAY	490 SF	490 SF
WALKWAY FROM DRIVEWAY	84 SF	84 SF
UPPER PATIO	247 SF	247 SF
UPPER WALKWAY (TO HOUSE)	15 SF	15 SF
INTER-PATIO STAIRCASE	39 SF	39 SF
LOWER PATIO (& SEATWALLS)	832 SF	832 SF
WALKWAY TO CIRCULAR PATIO	42 SF	0 SF
CIRCULAR PATIO	178 SF	0 SF
LOWER STEPS TO LAWN	12 SF	0 SF
BASEMENT STEPPERS PATHWAY	40 SF	40 SF
EXTENDED STEPPERS PATHWAY	0 SF	16 SF
NEW STAIRCASE TO POOL	0 SF	55 SF
POOL PATIO	0 SF	587 SF
POOL COPING	0 SF	120 SF
POOL WATER SURFACE	0 SF	677 SF
SPA COPING	0 SF	15 SF
SPA WATER SURFACE	0 SF	49 SF
EMERGENCY GENERATOR	10 SF	8 SF
AC CONDENSER UNITS	27 SF	20 SF
POOL MECHANICAL EQUIPMENT	0 SF	48 SF
SUB-TOTAL IMPROVEMENTS	5,342 SF	6,668 SF
TOTAL LOT COVERAGE	8,937 SF	10,263 SF
COVERAGE INCREASE		1,326 SF
LOT AREA	68,685 SF	68,685 SF
LOT COVERAGE	13.01%	14.94%

TOWNSHIP OF BERNARDS
BULK ZONING SCHEDULE §21 ATTACHMENT 7
R4 RESIDENTIAL ZONE

DESCRIPTION	REQUIREMENT	EXISTING	PROPOSED	CONDITION
LOT AREA (SF)	43,560 SF	68,685 SF	68,685 SF	COMPLIES
LOT AREA (AC)	1,000 AC	1,577 AC	1,577 AC	COMPLIES
LOT WIDTH	200.0 FT	178.8 FT	178.8 FT	PRE-EXISTING
FRONTAGE	100.0 FT	180.2 FT	180.2 FT	COMPLIES
BUILDING SETBACKS				
FRONT YARD	75.0 FT	115.5 FT	115.5 FT	COMPLIES
SIDE YARD LEFT (SOUTH)	20.0 FT	28.4 FT	28.4 FT	COMPLIES
SIDE YARD RIGHT (NORTH)	20.0 FT	49.7 FT	49.7 FT	COMPLIES
COMBINED (FT)	50.0 FT	78.1 FT	78.1 FT	COMPLIES
REAR YARD	75.0 FT	219.6 FT	219.6 FT	COMPLIES
POOLScape				
DISTANCE TO BUILDING (POOL)	N/A	0.0 FT	22.0 FT	
SIDE YARD LEFT (SOUTH) TO PATIO	20.0 FT	0.0 FT	44.5 FT	COMPLIES
REAR YARD (WEST)	20.0 FT	0.0 FT	155.3 FT	COMPLIES
IMPERVIOUS COVERAGE (SF)	10,303 SF	8,937 SF	10,263 SF	COMPLIES
IMPERVIOUS COVERAGE (%)	15.0%	13.01%	14.94%	COMPLIES

REILLY, BERNARDS TOWNSHIP
DESIGN LAYOUT & ZONING ANALYSIS

2020 11/19 ZONING BOARD OF ADJUSTMENT	
2020 10/29 ORIGINAL PLAN DATE	
YEAR MM/DD REVISION DIGEST NOTES	
LEGAL NOTICE & INFORMATION: THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CREDITED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONELLO ENGINEERING, LLC. THIS PLAN IS UNAUTHORIZED IF NOT DATED, SIGNED & WITH A RAISED SEAL BY THE PRINCIPAL ENGINEER AT ONELLO ENGINEERING, LLC. IN STATE BOARD OF PROFESSIONAL ENGINEERS CERTIFICATE OF AUTHORIZATION #24GA28215400	

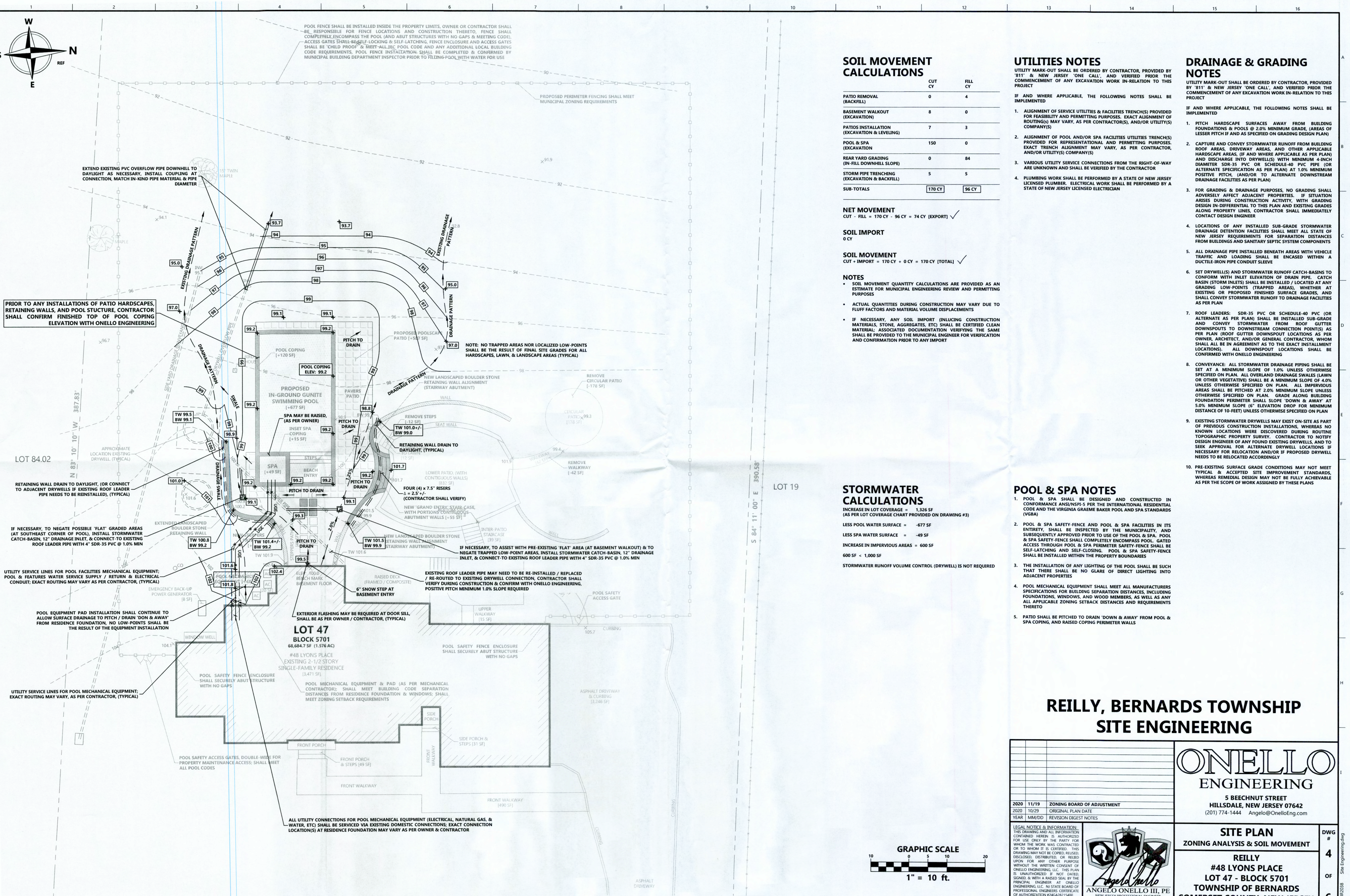
ONELLO
ENGINEERING

5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

REILLY
#48 LYONS PLACE
LOT 47 - BLOCK 5701
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY

DWG # 3 OF 6
Site Engineering.dwg



SOIL MOVEMENT CALCULATIONS

	CUT CY	FILL CY
PATIO REMOVAL (BACKFILL)	0	4
BASEMENT WALKOUT (EXCAVATION)	8	0
PATIOS INSTALLATION (EXCAVATION & LEVELING)	7	3
POOL & SPA (EXCAVATION)	150	0
REAR YARD GRADING (IN-FILL DOWNHILL SLOPE)	0	84
STORM PIPE TRENCHING (EXCAVATION & BACKFILL)	5	5
SUB-TOTALS	170 CY	96 CY

NET MOVEMENT
CUT - FILL = 170 CY - 96 CY = 74 CY [EXPORT] ✓

SOIL IMPORT
0 CY

SOIL MOVEMENT
CUT + IMPORT = 170 CY + 0 CY = 170 CY [TOTAL] ✓

- NOTES
- SOIL MOVEMENT QUANTITY CALCULATIONS ARE PROVIDED AS AN ESTIMATE FOR MUNICIPAL ENGINEERING REVIEW AND PERMITTING PURPOSES
 - ACTUAL QUANTITIES DURING CONSTRUCTION MAY VARY DUE TO FLUFF FACTORS AND MATERIAL VOLUME DISPLACEMENTS
 - IF NECESSARY, ANY SOIL IMPORT (INCLUDING CONSTRUCTION MATERIALS, STONE, AGGREGATES, ETC) SHALL BE CERTIFIED CLEAN MATERIAL; ASSOCIATED DOCUMENTATION VERIFYING THE SAME SHALL BE PROVIDED TO THE MUNICIPAL ENGINEER FOR VERIFICATION AND CONFIRMATION PRIOR TO ANY IMPORT

STORMWATER CALCULATIONS

INCREASE IN LOT COVERAGE = 1,326 SF
(AS PER LOT COVERAGE CHART PROVIDED ON DRAWING #3)

LESS POOL WATER SURFACE = -677 SF
LESS SPA WATER SURFACE = -49 SF
INCREASE IN IMPERVIOUS AREAS = 600 SF
600 SF < 1,000 SF
STORMWATER RUNOFF VOLUME CONTROL (DRYWELL) IS NOT REQUIRED

UTILITIES NOTES

UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT

IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED

1. ALIGNMENT OF SERVICE UTILITIES & FACILITIES TRENCH(S) PROVIDED FOR FEASIBILITY AND PERMITTING PURPOSES. EXACT ALIGNMENT OF ROUTING(S) MAY VARY, AS PER CONTRACTOR(S), AND/OR UTILITY(S) COMPANY(S)
2. ALIGNMENT OF POOL AND/OR SPA FACILITIES UTILITIES TRENCH(S) PROVIDED FOR REPRESENTATIONAL AND PERMITTING PURPOSES. EXACT TRENCH ALIGNMENT MAY VARY, AS PER CONTRACTOR, AND/OR UTILITY(S) COMPANY(S)
3. VARIOUS UTILITY SERVICE CONNECTIONS FROM THE RIGHT-OF-WAY ARE UNKNOWN AND SHALL BE VERIFIED BY THE CONTRACTOR
4. PLUMBING WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED PLUMBER. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED ELECTRICIAN

DRAINAGE & GRADING NOTES

UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT

IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED

1. PITCH HARDSCAPE SURFACES AWAY FROM BUILDING FOUNDATIONS & POOLS @ 2.0% MINIMUM GRADE, (AREAS OF LESSER PITCH IF AND AS SPECIFIED ON GRADING DESIGN PLAN)
2. CAPTURE AND CONVEY STORMWATER RUNOFF FROM BUILDING ROOF AREAS, DRIVEWAY AREAS, AND OTHER APPLICABLE HARDSCAPE AREAS, IF AND WHERE APPLICABLE AS PER PLAN AND DISCHARGE INTO DRYWELLS WITH MINIMUM 4-INCH DIAMETER SDR-35 PVC OR SCHEDULE-40 PVC PIPE (OR ALTERNATE SPECIFICATION AS PER PLAN) AT 1.0% MINIMUM POSITIVE PITCH, (AND/OR TO ALTERNATE DOWNSTREAM DRAINAGE FACILITIES AS PER PLAN)
3. FOR GRADING & DRAINAGE PURPOSES, NO GRADING SHALL ADVERSELY AFFECT ADJACENT PROPERTIES. IF SITUATION ARISES DURING CONSTRUCTION ACTIVITY, WITH GRADING DESIGN IN-DIFFERENTIAL TO THIS PLAN AND EXISTING GRADES ALONG PROPERTY LINES, CONTRACTOR SHALL IMMEDIATELY CONTACT DESIGN ENGINEER
4. LOCATIONS OF ANY INSTALLED SUB-GRADE STORMWATER DRAINAGE DETENTION FACILITIES SHALL MEET ALL STATE OF NEW JERSEY REQUIREMENTS FOR SEPARATION DISTANCES FROM BUILDINGS AND SANITARY SEPTIC SYSTEM COMPONENTS
5. ALL DRAINAGE PIPE INSTALLED BENEATH AREAS WITH VEHICLE TRAFFIC AND LOADING SHALL BE ENCASED WITHIN A DUCTILE-IRON PIPE CONDUIT SLEEVE
6. SET DRYWELL(S) AND STORMWATER RUNOFF CATCH-BASINS TO CONFORM WITH INLET ELEVATION OF DRAIN PIPE. CATCH BASIN (STORM INLETS) SHALL BE INSTALLED / LOCATED AT ANY GRADING LOW-POINTS (TRAPPED AREAS), WHETHER AT EXISTING OR PROPOSED FINISHED SURFACE GRADES, AND SHALL CONVEY STORMWATER RUNOFF TO DRAINAGE FACILITIES AS PER PLAN
7. ROOF LEADERS: SDR-35 PVC OR SCHEDULE-40 PVC (OR ALTERNATE AS PER PLAN) SHALL BE INSTALLED SUB-GRADE AND CONVEY STORMWATER FROM ROOF GUTTER DOWNSPOUTS TO DOWNSTREAM CONNECTION POINT(S) AS PER PLAN (ROOF GUTTER DOWNSPOUT LOCATIONS AS PER OWNER, ARCHITECT, AND/OR GENERAL CONTRACTOR, WHOM SHALL ALL BE IN AGREEMENT AS TO THE EXACT INSTALLMENT LOCATIONS). ALL DOWNSPOUT LOCATIONS SHALL BE CONFIRMED WITH ONELLO ENGINEERING
8. CONVEYANCE: ALL STORMWATER DRAINAGE PIPING SHALL BE SET AT A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL OVERLAND DRAINAGE SWALES (LAWN OR OTHER VEGETATIVE) SHALL BE A MINIMUM SLOPE OF 4.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL IMPERVIOUS AREAS SHALL BE PITCHED AT 2.0% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN. GRADE ALONG BUILDING FOUNDATION PERIMETER SHALL SLOPE 'DOWN & AWAY' AT 5.0% MINIMUM SLOPE (6" ELEVATION DROP FOR MINIMUM DISTANCE OF 10-FEET) UNLESS OTHERWISE SPECIFIED ON PLAN
9. EXISTING STORMWATER DRYWELLS MAY EXIST ON-SITE AS PART OF PREVIOUS CONSTRUCTION INSTALLATIONS, WHEREAS NO KNOWN LOCATIONS WERE DISCOVERED DURING ROUTINE TOPOGRAPHIC PROPERTY SURVEY. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY FOUND EXISTING DRYWELLS, AND TO SEEK APPROVAL FOR ALTERNATE DRYWELL LOCATIONS IF NECESSARY FOR RELOCATION AND/OR IF PROPOSED DRYWELL NEEDS TO BE RELOCATED ACCORDINGLY
10. PRE-EXISTING SURFACE GRADE CONDITIONS MAY NOT MEET TYPICAL & ACCEPTED SITE IMPROVEMENT STANDARDS, WHEREAS REMEDIAL DESIGN MAY NOT BE FULLY ACHIEVABLE AS PER THE SCOPE OF WORK ASSIGNED BY THESE PLANS

POOL & SPA NOTES

1. POOL & SPA SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE ANSI/NSPI-5 PER THE INTERNATIONAL RESIDENTIAL CODE AND THE VIRGINIA GRAEME BAKER POOL AND SPA STANDARDS (VGBA)
2. POOL & SPA SAFETY-FENCE AND POOL & SPA FACILITIES IN ITS ENTIRETY, SHALL BE INSPECTED BY THE MUNICIPALITY, AND SUBSEQUENTLY APPROVED PRIOR TO USE OF THE POOL & SPA. POOL & SPA SAFETY-FENCE SHALL COMPLETELY ENCOMPASS POOL. GATED ACCESS THROUGH POOL & SPA PERIMETER SAFETY-FENCE SHALL BE SELF-LATCHING AND SELF-CLOSING. POOL & SPA SAFETY-FENCE SHALL BE INSTALLED WITHIN THE PROPERTY BOUNDARIES
3. THE INSTALLATION OF ANY LIGHTING OF THE POOL SHALL BE SUCH THAT THERE SHALL BE NO GLARE OF DIRECT LIGHTING INTO ADJACENT PROPERTIES
4. POOL MECHANICAL EQUIPMENT SHALL MEET ALL MANUFACTURERS SPECIFICATIONS FOR BUILDING SEPARATION DISTANCES, INCLUDING FOUNDATIONS, WINDOWS, AND WOOD MEMBERS, AS WELL AS ANY ALL APPLICABLE ZONING SETBACK DISTANCES AND REQUIREMENTS THERE TO
5. PATIO SHALL BE PITCHED TO DRAIN 'DOWN & AWAY' FROM POOL & SPA COPING, AND RAISED COPING PERIMETER WALLS

REILLY, BERNARDS TOWNSHIP
SITE ENGINEERING

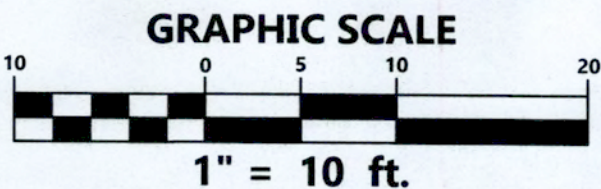
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SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

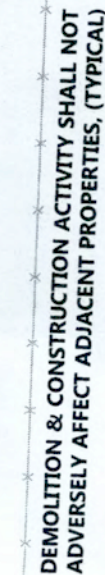
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DWG # 4 OF 6



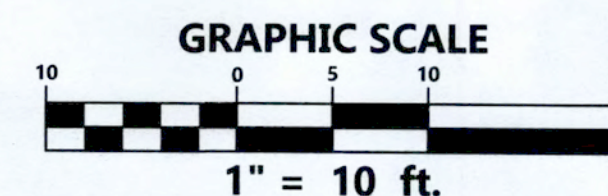
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DWG

5
OF
6





- IN-SITU SOILS BELOW SHALL BE COMPACTED
AND EXHIBIT DRY GRANULAR SANDY SOILS
WITH LOW QUANTITIES OF SILTS &
SPORADIC ROCK FRAGMENTS, (CLAY AND/OR
ORGANIC SOILS ARE PROHIBITED)



PROBING WIRE TEST
5.5 GAUGE STEEL WIRE (SURVEY FLAG)
 NOT TO SCALE



4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL

SOIL COMPACTION TESTING IS NOT REQUIRED IF / WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION / TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL



- A. APPLY LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- C. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB PER 1000 SF
& ANNUAL RYEGRASS SEED AT A RATE OF 1 LB PER 1000 SF
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS/1000 SF.
- E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
- F. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE

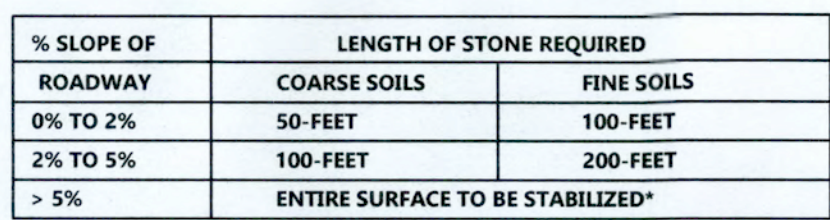
- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- C. APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 1 LB PER 1000 SF
ANNUAL RYEGRASS AT 1 LB PER 1000 SF
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- E. APPLY A LIQUID MULCH BINDER OR TRACK TO STRAW OR HAY MULCH

A. APPLY TOPSOIL TO A DEPTH OF 5-INCHES (UNSETTLED)

B. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PR 1000 SF & WORK 4-INCHES INTO THE TOPSOIL

C. APPLY FERTILIZER (10-10-10) AT A RATE OF 11 LBS PER 1000 SF, (500 LBS PER ACRE)

D. APPLY SEED MIXTURE: TALL FESCUE (TURF-TYPE) 6 LBS PER 1000 SF
PERENNIAL RYEGRASS AT 5 LBS PER 1000 SF
OPTIMAL PLANTING PERIOD: MARCH 01 - APRIL 30
ACCEPTABLE PLANTING PERIOD: MAY 01 - AUGUST 14
ACCEPTABLE PLANTING PERIOD: AUGUST 15 - OCTOBER 15



*IF REQUIRED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY

NOT TO SCALE



NOT TO SCALE

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS

DUST CONTROL MATERIALS, TABLE 16-1*

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. *SEE SEDIMENT BASIN STANDARDS, P. 26-1		
ACIDULATED SOY BEAN SOAP STICK	NONE	COURSE SPRAY	1,200

*SEE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL



1. ALL SPECIMEN TREES AS SHOWN ON THE PLANS ARE TO BE PROTECTED DURING CONSTRUCTION
2. THE CONTRACTOR SHALL INSTALL SNOW FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN VICINITY OF THE TREE

1. IF TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION, THE OWNER SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE MUNICIPALITY
2. CONSTRUCTION ACTIVITY SHALL BE KEPT CLEAR OF ALL TREES TO REMAIN WHEREAS TREE PROTECTION SHALL BE INSTALLED IF AND WHERE NECESSAR AS PER THE PROVIDED CONSTRUCTION DETAIL WITHIN THIS PLAN SET

3. NO ADJACENT PROPERTY(S) TREE ROOTS SHALL BE COMPROMISED AS A RESULT OF THIS APPLICATION. IF ADJACENT PROPERTY(S) TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THE IMMEDIATE ARE EXCAVATION SHALL COME TO A HALT, WHEREAS THE ADJACENT PROPERTY OWNER(S) SHALL BE CONTACTED ACCORDINGLY. A TREE EXPERT SHALL BE ENGAGED TO EVALUATE THE PROPOSED EXCAVATION ACTIVITIES AT THE SOLE COST OF THE OWNER



NOT TO SCALE

REQUIREMENTS FOR SILT FENCE

1. FENCE POSTS SHALL BE SPACED 8 FEET ON-CENTER OR CLOSER. THEY SHALL STAY AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES
2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FT. HEIGHT MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FT. ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS AND STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHER, ETC.) PLACED BETWEEN THE FABRIC AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSRING IN THE PORTION OF THE FENCE FOR ADDITIONAL STRENGTH

SILT FENCE DETAIL

NOT TO SCALE



REILLY, BERNARDS TOWNSHIP CONSTRUCTION DETAILS

ONELLO

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SITE PLAN

ZONING ANALYSIS & SOIL MOVEMENT

**REILLY
#48 LYONS PLACE
LOT 47 - BLOCK 5701
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY**

DWG

6
OF
6

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB20-025 Block: 302 Lot: 5 Zone: R-1

Applicant: KHOSHABA, URSULA

Address of Property: 44 OLD FARM RD

Description: (C) POOL NOT LOCATED BEHIND
REAR BUILDING LINE OF ADJACENT DWELLING

APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input checked="" type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

SCHEDULING

12.4.20 Original Submission Date 60
2.2.21 Completeness Deadline (45 days)
 _____ Incomplete Date
 _____ Resubmission Date
 _____ Date Complete 60
4.3.21 Time to Act (45/95/120 days)

HEARING

_____ Notice to Property Owners
 _____ Date of Publication
 _____ Completeness Hearing
1.6.21 Public Hearing
 _____ Carried to Date
 _____ Decision - Approved/Denied
 _____ Resolution Memorialized
 _____ Resolution Published

DISTRIBUTION

12.7.20 Environmental Comm
 _____ Fire Official
 _____ LCFAS
 _____ Police

NOTES

Bisogno, Loeffler & Zelley, L.L.C.

**Attorneys at Law
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Paul D. Mitchell

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Facsimile: (908) 766-7809

December 4, 2020

Ms. Cynthia Kiefer, Administrator
Bernards Township Board of Adjustment
277 South Maple Avenue
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for Bulk Variance
Applicant: Ursula Khoshaba
Tax Block 302, Lot 5 – 44 Old Farm Road

Dear Ms. Kiefer:

This office represents Ursula Khoshaba, the Applicant in the above-referenced Application.

Enclosed herewith please find the following:

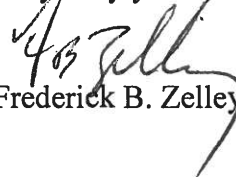
1. Bernards Township Zoning Board of Adjustment Application (O+16)
2. Dimensional Statistics Sheet (17)
3. C Variance Checklist (17)
4. Site Inspection Consent Form (17)
5. Proposed Notice of Hearing (17)
6. 200' Property Owners List (17)

7. Property Tax Certification and Current Print-Out (17)
(Updated Certification has been ordered)
8. Wetlands Report by Environmental Technology Inc. dated 11/7/2020
9. Copy of Applicant's Deed (17)
10. (1) Aerial Photo, (11) Site Photographs and (1) Computer Enhanced Photo (17 sets)
11. Engineering Plans by David E. Fantina, P.E. last revised 10/14/2020 (4 Sheets) (17 Sets)
12. Survey by John C. Ritt, N.J.P.L.S. dated 10/29/2017\
13. Conceptual Pool and Hardscape Plan by Joseph H. Polacek, N.J.L.A.A. dated 7/24/2020
14. Our client's checks in the respective amounts of \$100.00 for the application fees, \$1,500.00 for the escrows, and \$25.00 for the imaging fee.
15. Form W-9 (1)

If any additional documentation is needed in order to make this application complete, kindly advise our office accordingly. If not, kindly advise us when the application has been deemed to be complete and of the scheduled hearing date. Needless to say, our client would like to have the application heard as soon as possible.

Thank you for your attention and anticipated continued cooperation in this matter. Should you have any questions or concerns, or if we may otherwise be of any further assistance, please do not hesitate to contact me.

Very truly yours,


Frederick B. Zelley

FBZ/PDM
Enclosures

cc: Ms. Ursula Khoshaba (via email)
David Fantina, P.E. (via email)

TOWNSHIP OF BERNARDS
2020 ZONING BOARD OF ADJUSTMENT APPLICATION

<input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance <input type="checkbox"/> Use ("d") Variance <input type="checkbox"/> Conditional Use ("d") Variance <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance <input type="checkbox"/> Site Plan - Preliminary / Final	<input type="checkbox"/> Appeal of Zoning Officer's Decision <input type="checkbox"/> Interpretation of Zoning Ordinance <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Major Subdivision - Preliminary / Final <input type="checkbox"/> Other (specify): _____
--	--

1. APPLICANT: Ursula Khoshaba

Address: 44 Old Farm Road, Basking Ridge, New Jersey 07920

Phone: (home) _____ (work) _____ (mobile) (201) 650-5217

Email (will be used for official notifications): ukosh@aol.com

2. OWNER (if different from applicant): Same as Applicant

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: Frederick B. Zelley / Bisogno, Loeffler & Zelley, L.L.C.

Address: 88 South Finley Avenue, P.O. Box 408, Basking Ridge, New Jersey 07920

Phone: (908) 766-6666 Email (will be used for official notifications): fzelley@baskingridgelaw.com

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: David E. Fantina Profession: Professional Engineer

Address: 15 Sunset Drive, Bernardsville, New Jersey 07924

Phone: (908) 696-9598 Email (will be used for official notifications): dfantina@fantinaengineering.com

5. PROPERTY INFORMATION: Block(s): 302 Lot(s): 5 Zone: R-1

Street Address: 44 Old Farm Road, Basking Ridge Total Area (square feet/acres): 145,054sf/3.33ac

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

The following preexisting bulk non-conformities exist: Lot width (250' required / 230.40' exists) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

[X] No [] Yes (if yes, explain and attach copy) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:

The subject property, a 3.33 acre lot in the R-1 (3 acre) Zone, hosts a single family residence. The Applicant wishes to install a 924 sf in-ground swimming pool. As part of the project, applicant is installing a pergola over the dining area, a pavilion roof over the existing kitchen, and a garden wall with flower trellis, which require no relief.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

Ordinance § 21-18.1. Area. (In all cases the pool shall be located behind the rear building line of existing residential structures on adjoining lots.)

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:

Due to the subject property's location, and the orientation of the houses on adjoining lots 6 and 7, it is impossible for the Applicant to comply. The front of the house on adjoining lot 7 faces the subject property, as does the side of the house on lot 6, so there is no location on the subject property to install the pool and comply with locating same behind the rear building lines of the existing structures on the adjoining lots.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Ursula Khoshaba and _____ hereby deposes and says that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and _____

Sworn and subscribed before me, this 4 day of December, 2020.

[Signature]
Notary Frederick B. Zelley
An Attorney at Law of the
State of New Jersey

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 2019.

Notary

SUBMIT 17 COPIES TOTAL

FORM F

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	3 acres	3.33 acres	3.33 acres
LOT WIDTH	250 FT	230.4 FT	230.4 FT
FRONTAGE	125 FT	125.95 FT	125.95 FT
FRONT YARD SETBACK	100 FT	163.46 FT	163.46 FT
REAR YARD SETBACK	100 FT	318 FT	318 FT
COMBINED SIDE YARD	100 FT	197.21 FT	197.21 FT
SIDE YARD	50 FT	73.21 FT	73.21 FT
COVERAGE	15%	8.58%	9.78%
HEIGHT	35 FT	< 35 FT	< 35 FT
<i>IF REQUIRED,</i> GROSS FLOOR AREA	NR	NR	NR
<i>IF REQUIRED,</i> FLOOR AREA RATIO	NR	NR	NR
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA	25,000 SF	65,850 SF	65,850 SF

**URSULA KHOSHABA
44 OLD FARM ROAD, BLOCK 302, LOT 5**

APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.		✓	
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.	✓		
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	✓		

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Ursula Khoshaba Application: Khoshaba
Block: 302 Lot: 5 Street Address: 44 Old Farm Road

I, Ursula Khoshaba, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 12/4/20

NOTICE OF PUBLIC HEARING
BERNARDS TOWNSHIP BOARD OF ADJUSTMENT

YOU ARE HEREBY NOTIFIED that the undersigned Applicant has filed an application with the Bernards Township Board of Adjustment for a variance for a swimming pool not being located behind the rear building line of existing residential structure(s) on adjoining lot(s) relative to the Applicant's property known as Tax Block 302, Lot 5 and located at 44 Old Farm Road, Basking Ridge, New Jersey, which is located in the R-1 Zone. The Applicant wishes to construct a 924 square foot in-ground swimming pool immediately behind their home. Due to the subject property's location, and given the locations and positions of the existing residential structures on the adjoining lots, it is impossible to locate a swimming pool on the subject lot in compliance with the said requirement.

With the exception of the aforementioned variance, the Applicant believes that no other variance, waiver, or exception is required in order to grant the approvals requested. However, if the Board of Adjustment directs that additional variance(s), waiver(s), or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

A copy of the proposed plans and application are on file with the Secretary to the Board of Adjustment and are open for inspection during regular business hours at the office of said Secretary, which is located at 277 South Maple Avenue, Basking Ridge, New Jersey.

The application will be considered by the Bernards Township Board of Adjustment on Wednesday, January 6, 2021 at 7:30 p.m. at the Bernards Township Municipal Building, Courtroom, 1 Collyer Lane, Basking Ridge, New Jersey 07920. A hearing will be held by the Board at that time during which members of the public will be heard on the matter. The public will be able to view the meeting live on Optimum/Cablevision TV - Channel 15 and Verizon FIOS TV - Channel 35 and the meeting will also be streamed live for those interested in watching on their computers. The link will be available at 7:30 PM by clicking on the "Watch the Meeting Live" icon on the Bernards Township homepage.

Ursula Khoshaba /s/

Dated: December 4, 2020

Submitted by:

Frederick B. Zelley, Esq.
Bisogno, Loeffler & Zelley, L.L.C.
88 South Finley Avenue
P.O. Box 408
Basking Ridge, New Jersey 07920
(908) 766-6666
FAX: (908) 766-7809
Email: fzelley@baskingridgelaw.com



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

*** 200 Foot Property Search ***

** VALID FOR 90 DAYS **

Date: 10/06/2020

Block: 302 **Lot(s):** 5 **Qual:**

Property Location: 44 Old Farm Rd

Applicant: Paul D. Mitchell, Esq.

Phone : 908-766-6666 **Fax:** 908-766-7809 **Email:** pmitchell@baskingridgelaw.com

PROPERTY OWNER INFORMATION

Name: Ursula Khoshaba

Address: 44 Old Farm Rd

City, State, Zip: Basking Ridge, NJ 07920

Due to the location of the referenced
Block and Lot, the following
Fire Company Should be notified:



Basking Ridge Fire Company
P.O. Box 326
Basking Ridge, NJ 07920

Email When Complete:

Email Report To: Paul D. Mitchell, Esq.

pmitchell@baskingridgelaw.com

CERTIFIED BY:

David Centrelli, Assessor - Township Of Bernards

Amount Paid: \$10.00

Paid By: Check (No. 14377)

Bernards Township

Parcel Offset List

Target Parcel(s): Block-Lot: 302-5
KHOSHABA, URSULA
44 OLD FARM RD

9 parcels fall within 200 feet of this parcel(s).

Block-Lot: 304-3

VONDER, PAUL & JAROSLAVA
47 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 47 OLD FARM RD

Block-Lot: 304-2

CLARKE, MARY LOUISE & SHELDON
35 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 35 OLD FARM RD

Block-Lot: 302-8

MOORE, BRIAN J & ANN M
10 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 10 OLD FARM RD

Block-Lot: 302-7

TUFARIELLO, SUZANNE D
30 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 30 OLD FARM RD

Block-Lot: 302-6

BROOKS, SAMUEL R & PATRICIA A
42 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 42 OLD FARM RD (REAR)

Block-Lot: 302-4

SHERIDAN, MARTIN & NANCY
58 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 58 OLD FARM RD

Block-Lot: 302-3

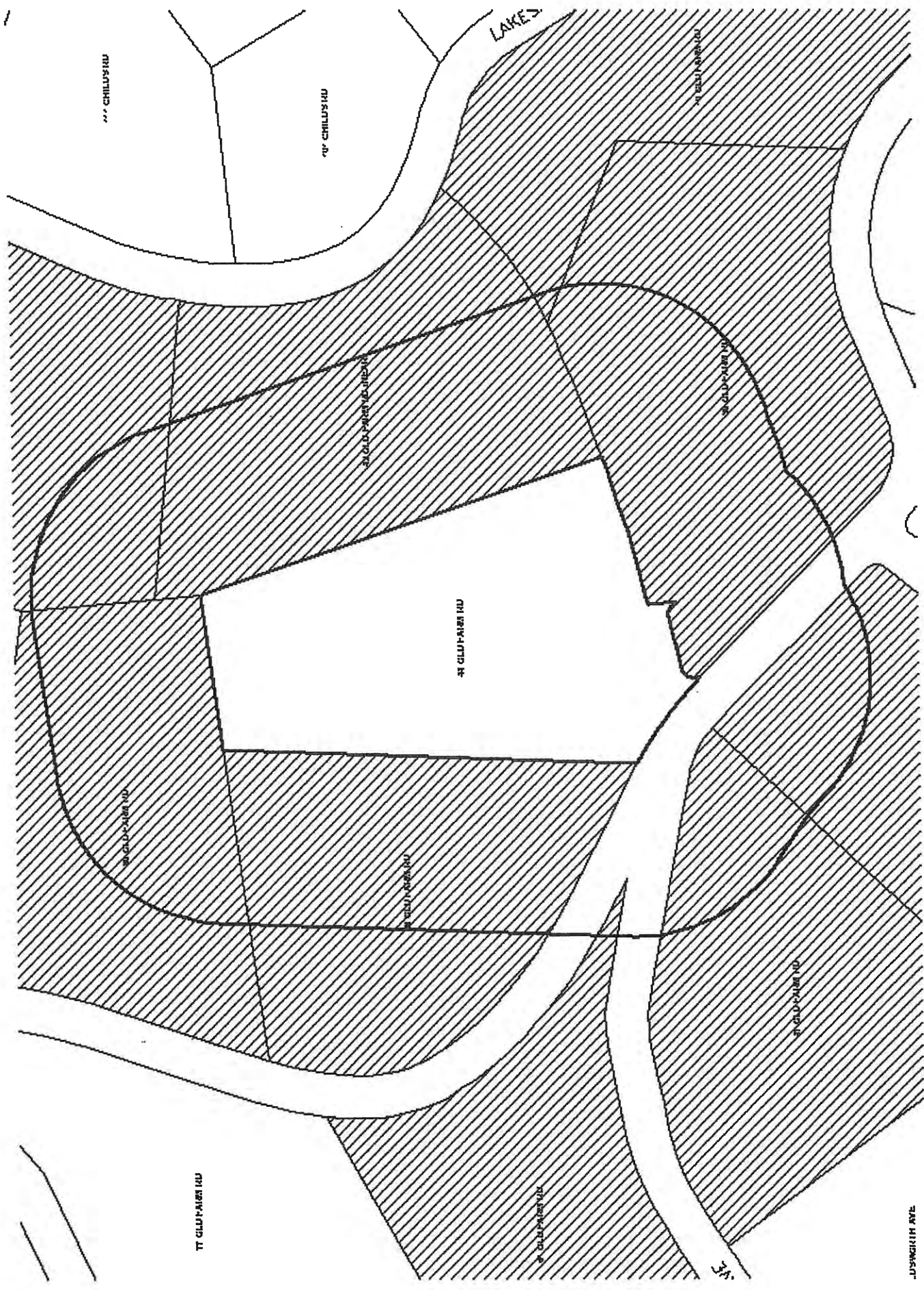
GEARY, JAMES & KIM
80 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 80 OLD FARM RD

Block-Lot: 301-8

CONYERS, CHRISTOPHER & KIMBERLY
61 OLD FARM RD
BASKING RIDGE NJ 07920
RE: 61 OLD FARM RD

Block-Lot: 202-13

VALENTINO, MATTHEW & DAVI, VERONICA
37 BUTTERNUT LN
BASKING RIDGE NJ 07920
RE: 37 BUTTERNUT LN



31

CHILDS RD

CHILDS RD

CHILDS RD

CHILDS RD

CHILDS RD

CHILDS RD

CHILDS RD

CHILDS RD

LAKES

CHILDS RD



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE
BASKING RIDGE, NJ 07920
(908)-204-3082 FAX (908)-766-1644

200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. ***The attached list was compiled by the Engineering Department.***

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- | | | |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO
1 Lindbergh Rd
Stony Point, NY 10980
(908) 757-1212 | 6. NEW JERSEY AMERICAN WATER CO
Donna Short, GIS Supervisor
NJ-American Water Company, Inc.
1025 Laurel Oak Rd
Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO
Edward D. Young III, Secretary
Verizon Legal Dept.
540 Broad St – Room 2001
Newark, NJ 07101
(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION
Secretary, 46 th Floor
1717 Arch
Philadelphia, PA 19102 | 7. CABLEVISION OF RARITAN VALLEY
275 Centennial Ave; CN6805
Piscataway, NJ 08855
Attn: Margurite Prenderville
Construction Dept | 11. TRANSCONTINENTAL GAS PIPELINE
Division Office
3200 S Wood Ave
Linden, NJ 07036 |
| 3. JCP & L/ GPU
Service Tax Dept
PO Box 1911
Morristown, NJ 07962-1911 | 8. BERNARDS TWP SEWERAGE AUTHORITY
1 Collyer Ln
Basking Ridge, NJ 07920
(908) 204-3002 | 12. VERIZON BUSINESS/MCI
Right of Way Dept.
2400 N Glenville Dr
Richardson, TX 75082 |
| 4. PUBLIC SERVICE ELECTRIC & GAS
Manager – Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP
William Halsey, President
601 State Hwy 202/206
Bedminster, NJ 07921
(908) 234-0677 | |
| 5. VERIZON COMMUNICATIONS
Engineering
290 W Mt Pleasant Ave; Ste 1400
Livingston, NJ 07039-2763 | | |

PLEASE NOTE:
Numbers 1,3,4,5 and 7 are
registered with the Township and
REQUIRE NOTIFICATION

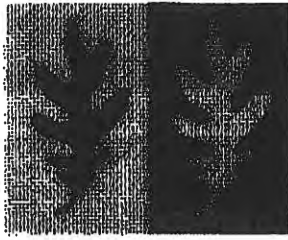
If the property is adjacent to a State Highway, the
COMMISSIONER OF TRANSPORTATION
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION
1035 Parkway Ave., CN600
Trenton, NJ 08625

If the property is adjacent to a County Road, the
SOMERSET COUNTY PLANNING BOARD
must be notified at

SOMERSET COUNTY PLANNING BOARD
PO Box 3000
Somerville, NJ 08876

908-766-7809
Paul Mitchell, Esq.



Township of Bernards

Peggy L Warren, Tax Collector

1 Collyer Lane, Basking Ridge, NJ 07920

Phone: 908-204-3080; Fax: 908-766-1941; Website: www.bernards.org

October 9, 2020

This is to certify that the property located at Block 302 Lot 5, otherwise known as 44 Old Farm Rd, Basking Ridge, NJ is assessed to Ursula Khoshaba and is paid through the third quarter 2020.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Peggy L. Warren".

Peggy L. Warren
Tax Collector

BERNARDS TOWNSHIP

CHARTERED 1760

Block/Lot/Qual:	302. 5.	Tax Account Id:	31
Property Location:	44 OLD FARM RD	Property Class:	2 - Residential
Owner Name/Address:	KHOSHABA, URSULA	Land Value:	474,600
	44 OLD FARM RD	Improvement Value:	909,700
	BASKING RIDGE NJ 07920	Exempt Value:	0
		Total Assessed Value:	1,384,300
		Additional Lots:	None
Special Taxing Districts:		Deductions:	

Taxes

Make a Payment View Tax Rates View Current Bill Project Interest							
Year	Due Date	Type	Billed	Balance	Interest	Total Due	Status
2021	02/01/2021	Tax	7,246.81	7,246.81	0.00	7,246.81	OPEN
2021	05/01/2021	Tax	7,246.81	7,246.81	0.00	7,246.81	OPEN
Total 2021			14,493.62	14,493.62	0.00	14,493.62	
2020	02/01/2020	Tax	7,285.79	0.00	0.00	0.00	PAID
2020	05/01/2020	Tax	7,285.79	0.00	0.00	0.00	PAID
2020	08/01/2020	Tax	7,318.58	0.00	0.00	0.00	PAID
2020	11/01/2020	Tax	7,097.08	0.00	0.00	0.00	PAID
Total 2020			28,987.24	0.00	0.00	0.00	
2019	02/01/2019	Tax	7,027.03	0.00	0.00	0.00	PAID
2019	05/01/2019	Tax	7,027.02	0.00	0.00	0.00	PAID
2019	08/01/2019	Tax	7,544.55	0.00	0.00	0.00	PAID
2019	11/01/2019	Tax	7,544.55	0.00	0.00	0.00	PAID
Total 2019			29,143.15	0.00	0.00	0.00	
Last Payment: 11/02/20							

[Return to Home](#)



ENVIRONMENTAL
TECHNOLOGY
INC.

Environmental Consultants



November 7, 2020

SENT VIA EMAIL: ukhosh@aol.com

Ms. Ursula Khoshaba
44 Old Farm Road
Basking Ridge, NJ 07920

Re: Wetlands/Transition Area Investigation
44 Old Farm Road
Block 302, Lot 5
Township of Bernards, Somerset County, N.J.

Dear Ms. Khoshaba:

Per your request, Environmental Technology Inc. (ETI) has visited the above referenced property to determine if the proposed project is impacted by any wetlands or wetland transition areas. The plan reviewed was prepared by David E. Fantina, P.E. entitled "Pool Grading Plan & Soil Erosion Control Plan and Variance Plan Lot 5 in Block 302, Bernards Township, Somerset County, New Jersey," dated September 10, 2020. This review was pursuant to the Freshwater Wetlands Protection Act Rules (N.J.A.C. 7:7A). Our methodology and findings are as follows:

STUDY METHODOLOGY

The investigation of the site was performed by David C. Krueger of Environmental Technology, Inc. on October 21, 2020.

In accordance with the New Jersey Freshwater Wetlands Protection Act, and outlined by the New Jersey Department of Environmental Protection (NJDEP), the extent of the wetlands were determined by implementing the methodology that is currently accepted by the United States Environmental Protection Agency (USEPA), namely Federal Manual for Identifying and Delineating Jurisdictional Wetlands dated January 10, 1989 and supplements. This methodology states that for an area to be considered wetland all three of the following parameters must be present:

1. Hydric Soils
2. A Predominance of Hydrophytic Vegetation
3. Hydrology

The determination of hydric soils in the field is made by the use of a manually operated

32 Grove Street • P.O. Box 50 • Chester, NJ 07930
(908) 879-8509 • Fax (908) 879-8609 • E-mail: info@etiwetlands.com • www.etiwetlands.com

Ms. Ursula Khoshaba
Re: Wetlands/Transition Area Investigation
44 Old Farm Road
Block 302, Lot 5
Township of Bernards, Somerset County, N.J.

November 7, 2020

soil sampler. Then a determination of hydric soils is made by using Munsell Soil Color Charts. Transects are made from the wetlands to the uplands to determine the point at which soils no longer were determined to be hydric. Hydric soils are those soils that have a chroma of less than or equal to 1 (when no mottling is present) or a matrix chroma of less than or equal to 2 when mottling is present.

When soils classified as a sand soil are encountered Munsell Soil Color Charts are not used exclusively. In these instances hydric determinations are also made by the presence of one or more of the following conditions: high organic matter content in the surface horizon, the streaking of subsurface horizons by organic matter, or the presence of organic pans.

In situations in which soils exhibit significant coloration due to the nature of the parent material (e.g. red shales) the soils often do not exhibit the characteristic chromas associated with hydric soils. In the above situations the Munsell Soil Color Charts cannot always be used to evaluate the hydric nature of the soil. In these cases their hydric nature according to the Soil Conservation Service (SCS), and the other criteria carry more weight.

Vegetation is classified according to the Eastern Mountains and Piedmont 2014 Regional Wetland Plant List prepared by the USACOE. The classifications, according to this list are as follows:

Obligate (OBL) Always found in wetlands under natural (not planted) conditions (frequency greater than 99%), but may persist in nonwetlands if planted there by man or in wetlands that have been drained, filled, or otherwise transformed into nonwetlands.

Facultative Wetland (FACW) Usually found in wetlands (67%-99% frequency), but occasionally found in nonwetlands.

Facultative (FAC) Sometimes found in wetlands (34%-66% frequency), but also occurs in nonwetlands.

Facultative Upland (FACU) Seldom found in wetlands (1%-33% frequency) and usually occurs in nonwetlands.

Nonwetland (UPL) Occurs in wetlands in another region, but not found (<1% frequency) in wetlands in the region specified. If a species does not occur in wetlands in any region, it is not on the list.

According to the Federal Manual for Identifying and Delineating Jurisdictional Wetlands dated January 10, 1989, an area has hydrophytic vegetation, when under normal circumstances more than 50 percent of the composition of the dominant species from all strata are obligate wetland (OBL), facultative wetland (FACW), and/or facultative (FAC) species. However, when a plant community has less than or equal to 50 percent of the dominant species from all strata represented by OBL, FACW, and/or FAC species, and hydric soils and wetland hydrology are present, the area also has hydrophytic vegetation. (NOTE: These areas are considered problem area wetlands.)

Ms. Ursula Khoshaba
Re: Wetlands/Transition Area Investigation
44 Old Farm Road
Block 302, Lot 5
Township of Bernards, Somerset County, N.J.

November 7, 2020

In the non-growing season hydrophytic vegetation is assumed to be present, since during this time of the year many herbaceous species are either unidentifiable or non-existent.

Hydrology is determined by the evidence of water, either visible or indicators that water was present. This is noted by visible factors such as drift lines, high water marks on trees, sediment deposits including encrusted detritus, displacement of leaf litter as the result of water flowage, and drainage patterns. During the growing season, saturated soil samples and/or the water table is noted as evidence of hydrology when they are encountered within 12 inches of the soil surface.

Seasonal high-water table information is used, when available, from the Soil Conservation Service. Recent rainfall and/or other precipitation is also considered when evaluating hydrology.

In situations where the native conditions have been altered such as; cleared lands (e.g. agricultural lands), areas where the original soil has been altered (such as formerly plowed or filled lands), certain criteria are given more weight than others due to the lack of reliability of the affected parameter as an indicator.

FINDINGS

The investigation found the property to be developed with a single family dwelling. The undeveloped portions of the site are a combination of maintained lawn and upland forested.

No freshwater wetlands were identified on the property and no wetlands were observed within 150 feet of the proposed project. 150 feet is the maximum wetlands transition area required.

Soil samples on the site were non-hydric, with Munsell Soil Color Chart Readings of 7.5YR 4/4 from 0 to 8 inches and 7.5YR 5/4 from 8 to 18 inches.

Vegetation observed on the site consisted of typical, mostly upland species found in this area, such as black walnut (*Juglans nigra*, FACU), American elm (*Ulmus americana*, FACW), tulip-tree (*Liriodendron tulipifera*, FACU), spicebush (*Lindera benzoin*, FACW), autumn olive (*Eleagnus umbellata*, NL), wine raspberry (*Rubus phoenicolasius*, NL), garlic mustard (*Allaria officinalis*, NL) and white snakeroot (*Eupatorium rugosum*, NL).

CONCLUSIONS

Based on the methodology currently accepted by the NJDEP pursuant to N.J.A.C. 7:7A, the proposed project is not within a wetland transition area or wetland.

The information provided is based on the most current information available and our best professional judgment. This letter does not consider pending or future legislation or regulations that may change the opinions provided.

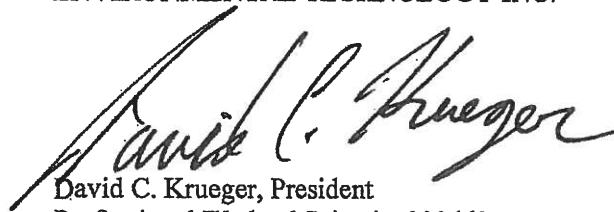
Ms. Ursula Khoshaba
Re: Wetlands/Transition Area Investigation
44 Old Farm Road
Block 302, Lot 5
Township of Bernards, Somerset County, N.J.

November 7, 2020

Please do not hesitate to contact our office if you should have any questions regarding our findings.

Very truly,

ENVIRONMENTAL TECHNOLOGY INC.



David C. Krueger, President
Professional Wetland Scientist 000662
Certified Wetland Delineator WDCP94MD03101146B

cc: Paul Mitchell, Esq. – via email
David E. Fantina, P.E. – via email

DCK
20188



SOMERSET COUNTY
DOCUMENT COVER SHEET

HON. BRETT A. RADI
SOMERSET COUNTY CLERK
PO BOX 3000
20 GROVE STREET
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US

BRETT A. RADI COUNTY CLERK
SOMERSET COUNTY, NJ
2017 DEC 12 02:42:21 PM
BK: 7011 PG: 419-427
CONS: \$1,500,000.00 EXEMPT: OS
NJ XFER FEE: \$15,625.00
INSTRUMENT # 2017050019

(Official Use Only)

DATE OF DOCUMENT: 11/15/17	TYPE OF DOCUMENT: Deed
FIRST PARTY (Grantor, Mortgagor, Seller or Assignor) John MacLean, a/k/a John H. MacLean by his Attorney-in-Fact, Adrienne G. MacLean & Adrienne MacLean, a/k/a Adrienne G. MacLean, H/W	SECOND PARTY (Grantee, Mortgagee, Buyer, Assignee) Ursula Khoshaba, Married
ADDITIONAL PARTIES:	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
MUNICIPALITY: Bernards Township	MAILING ADDRESS OF GRANTEE: 44 Old Farm Road, Basking Ridge, NJ 07920
BLOCK: 302	
LOT: 5	
CONSIDERATION: \$ 1,500,000.00	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE

DO NOT REMOVE THIS PAGE THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD RETAIN THIS PAGE FOR FUTURE REFERENCE
--

DEED

Prepared by:


David A. Lewis, Esq.

This Deed is made on October 31st, 2017 and delivered on November 15th, 2017,

BETWEEN: **JOHN MacLEAN, a/k/a JOHN H. MacLEAN, by his Attorney-in-Fact, Adrienne G. MacLean and ADRIENNE MacLEAN, a/k/a ADRIENNE G. MacLEAN, H/W**

whose address is 44 Old Farm Road, Basking Ridge, New Jersey 07920

referred to as the Grantor,

AND: **URSULA KHOSHABA, Married**

whose post office address is about to be 44 Old Farm Road, Basking Ridge, New Jersey 07920

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of **One Million Five Hundred Thousand Dollars (\$1,500,000.00)**.

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-1.1) Municipality of **Bernards Township**
Block No. **302** Lot No. **5** Qualification No.

Property. The property consists of the land and all the buildings and structures on the land in the **Township of Bernards, County of Somerset and State of New Jersey**. The legal description is:

SEE "SCHEDULE A" LEGAL DESCRIPTION ATTACHED

BEING more commonly known as **44 Old Farm Road, Basking Ridge, New Jersey 07920**.

BEING the same premises conveyed to Grantors herein from Charles W. Dudley, Executor of the Estate of Arthur M. Dudley, Trustee of the Testamentary Trust of Arthur M. Dudley and as Successor Executor of the Estate of Patricia A. Dudley, by Deed dated June 7, 2011 and recorded on June 13, 2011 in the Somerset County Clerk's Office in Book OPR 6427 at Page 2366.

SCHEDULE A

(continued)

File No. ZT17-0234

LEGAL DESCRIPTION

ALL that certain lot, parcel or tract of land, situate and lying in the Township of Bernards, County of Somerset, State of New Jersey, and being more particularly described as follows:

BEING known and designated as Lot 15 in Block 6 on a certain map entitled "Chevy Chase, Property of Willmere Farm, Inc., situated in the Borough of Bernardsville and the Township of Bernards, Somerset County, New Jersey" which map was filed in the Somerset County Clerk's Office on March 4, 1952 as Filed Map No. 255.

BEING further known and designated as part of lands shown on a certain map entitled "Final Map, Subdivision of a portion of Chevy Chase, Lands of Carl H. Wessling and Sylvia E. Wessling, formerly lands of Willmere Farms, Inc." which map was filed in the Somerset County Clerk's Office on February 25, 1976 as Filed Map No. 1620.

BEGINNING at an iron bar with cap found in the northeasterly sideline of Old Farm Road, said point being the intersection of the northeasterly sideline of Old Farm Road with the easterly property line of Tax Lot 4 as described in Deed Book 2091, Page 415 and from said BEGINNING point running; thence

- (1) North 02 degrees 03 minutes 55 seconds East, a distance of 487.50 feet to an iron bar with cap found; thence
- (2) North 81 degrees 58 minutes 05 seconds East, a distance of 180.00 feet to an iron bar with cap set; thence
- (3) South 19 degrees 38 minutes 40 seconds East, a distance of 496.99 feet to a point; thence
- (4) South 69 degrees 37 minutes 00 seconds West, a distance of 181.43 feet to an iron bar with cap set; thence
- (5) South 08 degrees 36 minutes 20 seconds West, a distance of 38.48 feet to a point of curvature; thence
- (6) In a general northwesterly direction on a curve to the left, having a radius of 15.00 feet, an arc distance of 28.72 feet, a chord bearing of North 46 degrees 15 minutes 51 seconds West, and a chord distance of 24.53 feet to a point of reverse curvature; thence
- (7) In a general southwesterly direction on a curve to the right, having a radius of 1,025.00 feet, an arc distance of 18.51 feet, a chord bearing of South 79 degrees 24 minutes 08 seconds West and a chord distance of 18.51 feet to a point of tangency; thence
- (8) South 79 degrees 55 minutes 10 seconds West, a distance of 44.62 feet to a point of curvature; thence
- (9) In a general southwesterly direction on a curve to the left, having a radius of 15.00 feet, an arc distance of 32.97 feet, a chord bearing of South 16 degrees 57 minutes 05 seconds West, and a chord distance of 26.72 feet to a point in the northeasterly sideline of Old Farm Road; thence
- (10) Along the northeasterly sideline of Old Farm Road, North 46 degrees 00 minutes 00 seconds West, a distance of 37.58 feet to an iron bar with cap set on a point of curvature; thence

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

SCHEDULE A

(continued)

File No. ZT17-0234

- (11) Continuing along the northeasterly sideline of Old Farm Road in a general northwesterly direction on a curve to the left, having a radius of 282.32 feet, an arc distance of 88.73 feet, a chord bearing of North 55 degrees 00 minutes 13 seconds West, and a chord distance of 88.37 feet to the point and place of BEGINNING.

The above description is drawn in accordance with a survey prepared by James P. Deady Surveyor, LLC, dated October 29, 2017.

FOR INFORMATIONAL PURPOSES ONLY: Also known as Lot 5 in Block 302 on the Township of Bernards Tax Map.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

NEW JERSEY LAND TITLE
INSURANCE RATING BUREAU

NJRB 3-09
Last Revised: 05/23/17

MUST SUBMIT IN DUPLICATE

AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT

STATE OF NEW JERSEY

COUNTY

Somerset

SS. County Municipal Code
1802

MUNICIPALITY OF PROPERTY LOCATION

Bernards

FOR RECORDER'S USE ONLY

Consideration

RTF paid by buyer

Date

\$

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(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

Deponent,

Lynne Mulcahy, Esq.

(Name)

being duly sworn according to law upon his/her oath,

deposes and says that he/she is the legal representative

(Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)

real property identified as Block number 302

Lot number 5

located at

44 Old Farm rd Bernards NJ

(Street Address, Town)

and annexed thereto.

(2) CONSIDERATION \$ 1,500,000.00

(See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED OR CIRCLED BELOW IS TAKEN FROM OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD)

OF MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR OF TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) Grantee required to remit the 1% fee, complete (A) by checking off appropriate box or boxes below.

☒ Class 2 - Residential☐ Class 4A - Commercial properties☐ Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property

(if checked, calculation in (E) required below)

☐ Cooperative unit (four families or less) (See C. 46:8D-3.) Cooperative units are Class 4C.(B) Grantee is not required to remit 1% fee (one or more of following classes being conveyed), complete (B) by checking off appropriate box or boxes below.☐ Property class. Circle applicable class or classes: 1 3B 4B 4C 15

Property classes: 1-Vacant Land; 3B- Farm property (Qualified); 4B- Industrial properties; 4C- Apartments; 15: Public Property, etc. (N.J.A.C. 18:12-2.2 et seq.)

☐ Exempt organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.☐ Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one not subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).

☐ Property class. Circle applicable class or classes: 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

Total Assessed Valuation + Director's Ratio = Equalized Valuation

Property Class _____ \$ _____ + _____ % = \$ _____

Property Class _____ \$ _____ + _____ % = \$ _____

Property Class _____ \$ _____ + _____ % = \$ _____

Property Class _____ \$ _____ + _____ % = \$ _____

(E) REQUIRED EQUALIZED VALUE CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Value

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 30th day of Oct., 2017.

Signature of Deponent

Lynne U. Mulcahy, Esq.

Grantee Name

Deponent Address

Grantee Address at Time of Sale

Zinn title agency llc

Name/Company of Settlement Officer

County recording officers: forward one copy of each RTF-1EE to:

STATE OF NJ - DIVISION OF TAXATION

PO BOX 251

TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

FOR OFFICIAL USE ONLY

Instrument Number

Deed Number

Deed Dated

County

Book

Page

Date Recorded

The Director, Division of Taxation, Department of the Treasury has prescribed this form, as required by law. It may not be altered or amended without prior approval of the Director. For further information on the Realty Transfer Fee or to print a copy of this Affidavit or any other relevant forms, visit: www.state.nj.us/treasury/taxation/lpt/localtax.shtml.



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

Adrienne G. Maclean

9 John H Mac Lean AKA John Mac Lean

Current Street Address

19700 North 76th Street Unit 2130

City, Town, Post Office Box

Scottsdale

State

az

Zip Code

85255

PROPERTY INFORMATION

Block(s)

302

Lot(s)

5

Qualifier

Street Address

44 Old Farm Road

City, Town, Post Office Box

Basking Ridge

State

nj

Zip Code

07920

Seller's Percentage of Ownership

100%

Total Consideration

1,500,000.00

Owner's Share of Consideration

1,500,000.00

Closing Date

11/15/2017

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☐ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☒ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

Date

Date

Signature

(Seller) Please Indicate If Power of Attorney or Attorney In Fact

Signature


(Seller) Please Indicate If Power of Attorney or Attorney In Fact

**AFFIDAVIT OF
NON-REVOCATION / NON-TERMINATION OF POWER OF ATTORNEY**
(PURSUANT TO N.J.S.A. 46:2B-8.5C & 6B REVISED DURABLE OF ATTORNEY ACT)

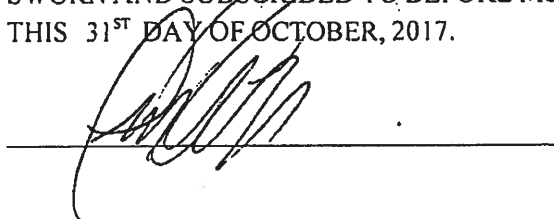
STATE OF NEW JERSEY
COUNTY OF MORRIS, SS.:

ADRIENNE MACLEAN, A/K/A ADRIENNE G. MACLEAN, BEING OF FULL AGE, AND DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS:

1. I AM THE ATTORNEY-IN-FACT FOR JOHN MACLEAN, A/K/A JOHN H. MACLEAN, HEREINAFTER REFERRED TO AS THE PRINCIPAL, BY VIRTUE OF A POWER OF ATTORNEY DATED 10/31/17 AND ABOUT TO BE RECORDED IN THE SOMERSET COUNTY CLERK'S OFFICE OF SOMERSET COUNTY, NEW JERSEY. SAID POWER OF ATTORNEY VESTS WITH ME THE AUTHORITY TO ACT FOR THE PRINCIPAL FOR ALL THE PURPOSES SET FORTH THEREIN, INCLUDING WITHOUT LIMITATION, THE EXECUTION AND DELIVERY OF THE DOCUMENT TO WHICH THIS AFFIDAVIT IS ATTACHED. THE SAID POWER OF ATTORNEY IS A DURABLE POWER OF ATTORNEY.
2. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SAID POWER OF ATTORNEY HAS NOT BEEN REVOKED OR TERMINATED BY AN ACT OF THE PRINCIPAL OR BY THE DEATH, DISABILITY OR INCAPACITY OF THE PRINCIPAL. THE PRINCIPAL HAS NOT BEEN JUDICIALLY DECLARED TO BE INCOMPETENT.
3. THIS AFFIDAVIT IS MADE PURSUANT TO THE PROVISIONS OF THE NEW JERSEY STATUTE CITED ABOVE.


ADRIENNE MACLEAN, A/K/A
ADRIENNE G. MACLEAN

SWORN AND SUBSCRIBED TO BEFORE ME
THIS 31ST DAY OF OCTOBER, 2017.

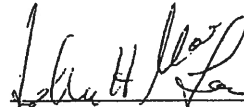


TERESITA LEWIS
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires June 4, 2019

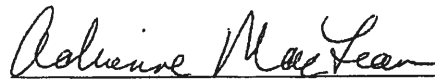
Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:


JOHN H. MacLEAN, a/k/a JOHN MacLEAN, by
his Attorney-in-Fact, Adrienne G. MacLean

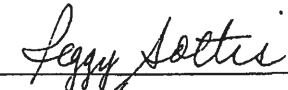

DAVID A. LEWIS, ESQ.



ADRIENNE G. MacLEAN, a/k/a ADRIENNE
MacLEAN

STATE OF NEW JERSEY)
) SS.:
COUNTY OF MORRIS)

I CERTIFY that on October 30th, 2017, JOHN MacLEAN, a/k/a JOHN H. MacLEAN, by his Attorney-in-Fact, ADRIENNE G. MacLEAN and ADRIENNE MacLEAN, a/k/a ADRIENNE G. MacLEAN, H/W, personally came before me and stated to my satisfaction that this person (or if more than one, each person):

- (a) was the maker of the attached Deed;
- (b) executed this Deed as his or her own act; and
- (c) made this Deed for \$1,500,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5).


Peggy Sottis

 7/22/19
Dated: November 6th, 2017

DEED

JOHN H. MacLEAN
and
ADRIENNE G. MacLEAN, H/W
Grantor,
TO
URSULA KHOSHABA, Married
Grantee.

Record and return to: 

Lynne U. Mulcahy, Esq., LLC
P. O. Box 1005
Bedminster, NJ 07921



BRETT A. RADI
SOMERSET COUNTY CLERK
20 GROVE STREET
P.O. BOX 3000
SOMERVILLE, NJ 08876-1262

Recorded: 12/12/2017 02:42:21 PM
Book: OPR 7011 Page: 419-427
Instrument No.: 2017050019
DEED 9 PGS \$113.00
CONSIDERATION: \$1,500,000.00
EXEMPTION: OS
NJ REALTY XFER FEE: \$15,625.00
1% GRANTEE TAX: \$15,000.00

Recorder: HECKMAN

DO NOT DISCARD



2017050019

Untitled Map

Write a description for your map.

Legend

📍 44 Old Farm Rd

Google Earth

© 2020 Google

📍 44 Old Farm Rd

200 ft

















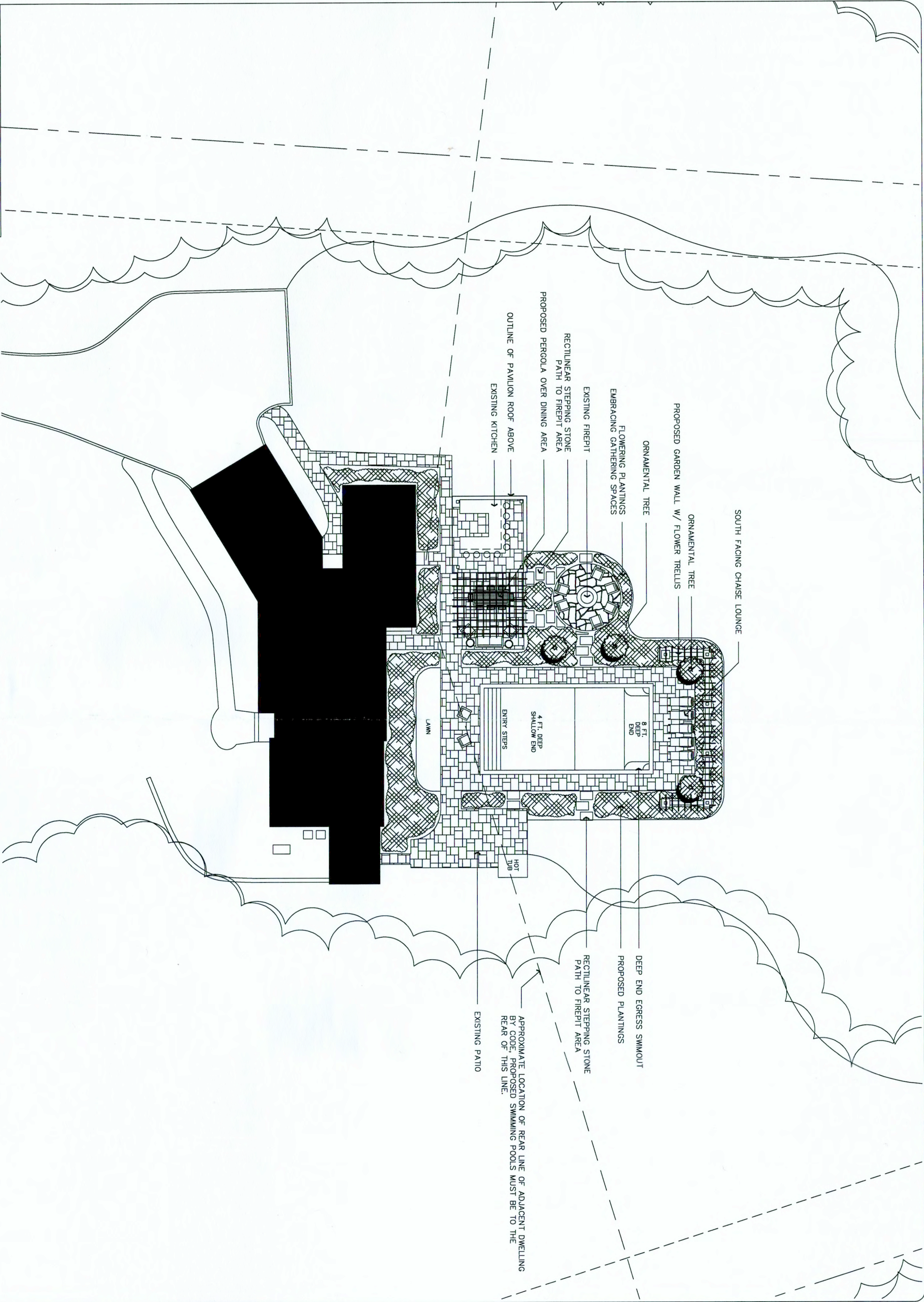












DRAWING TITLE: Conceptual Pool and Hardscape Plan		DRAWING ISSUE DATA	
DRAWING SCALE: 1" = 10' - 00"	DRAWN BY:	EVENT	DATE
		ORIGINAL DOCUMENT COMPLETION	7-24-2025
CERTIFIED BY:		REVISIONS	
		EVENT	DATE
JOSEPH H. POLACEK NJ LLA LIC #214500128400			

Drawings completed for:
Lot 5 Block 302
Private Residence
#44 Old Farm Road, Bernards Township
Somerset County New Jersey

C:\Users\edendesignla\OneDrive\Documents\2025\1\EDENDesignla\CREATE\For Digital\JPG_PNG_DWG\Eden Design Private Logo.jpg
P.O. Box 344 Mount Freedom, NJ 07869
www.edendesignla.com (973) 796-9000 edendesignla@gmail.com

SHEET NUMBER:
C1.0

Bk. 6427
Pg. 2366T.M. LOT 4
F.M. LOT 1
PER DEED
(Bk. 2091 Pg. 415)T.M. LOT 3
F.M. LOT 2
PER DEED
(Bk. 6199 Pg. 3195)T.M. LOT 5
BLOCK 302
F.M. LOT 15
BLOCK 6
145,198± S.F.
3.333 AC.T.M. LOT 6
F.M. LOT 14
PER DEED
(Bk. 6329 Pg. 204)

CERTIFIED TO:

- URSULA KHOSHABA
- ZINN TITLE AGENCY, L.L.C. (TITLE No. ZT17-0234)
- CHICAGO TITLE INSURANCE COMPANY
- LYNNE URBANOWICZ-MULCAHY, ESQ.

JAMES P. DEADY SURVEYOR, LLC		
PROFESSIONAL LAND SURVEYING SERVICES		
295 ROUTE 22 EAST, ONE SALEM SQUARE		
SUITE 202 WEST		
WHITEHOUSE STATION, NJ 08889		
(908) 534-0145	(908) 534-0147	FAX
REVISIONS	DATE	Scale: 1"=30'
		Date: 10/29/17
		Dwn. By: J.A.
		Chk'd By: J.C.R.
		FILE# 1802-1128-1
		BK 371 PG 62

SURVEY
of
TAX LOT 5-BLOCK 302
LOCATED IN THE
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY

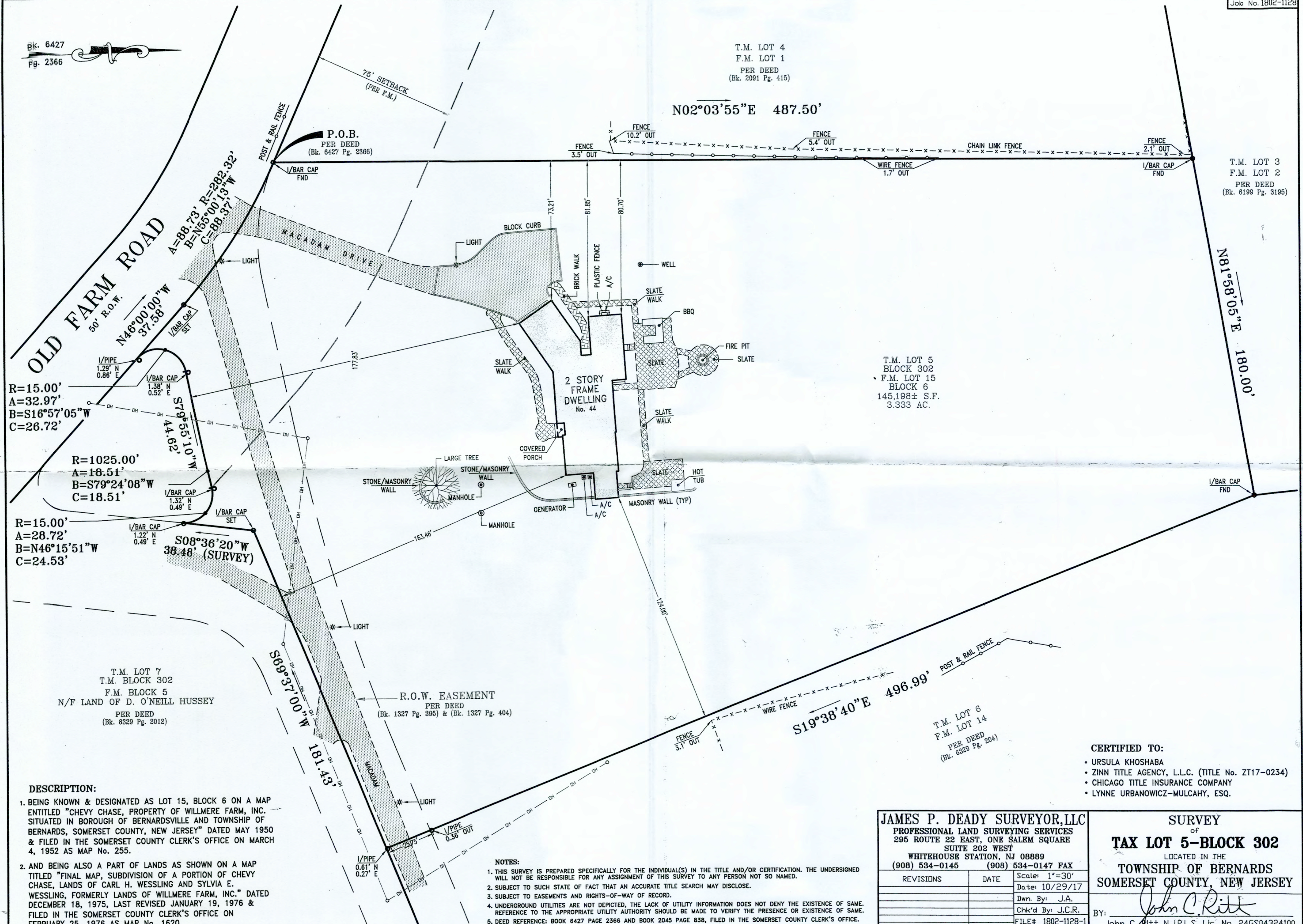
BY: *John C. Ritt*
John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100
Certificate No. 24GA28199000

DESCRIPTION:

1. BEING KNOWN & DESIGNATED AS LOT 15, BLOCK 6 ON A MAP ENTITLED "CHEVY CHASE, PROPERTY OF WILLMERE FARM, INC. SITUATED IN BOROUGH OF BERNARDSVILLE AND TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" DATED MAY 1950 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON MARCH 4, 1952 AS MAP No. 255.
2. AND BEING ALSO A PART OF LANDS AS SHOWN ON A MAP TITLED "FINAL MAP, SUBDIVISION OF A PORTION OF CHEVY CHASE, LANDS OF CARL H. WESSLING AND SYLVIA E. WESSLING, FORMERLY LANDS OF WILLMERE FARM, INC." DATED DECEMBER 18, 1975, LAST REVISED JANUARY 19, 1976 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON FEBRUARY 25, 1976 AS MAP No. 1620.

NOTES:

1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
4. UNDERGROUND UTILITIES ARE NOT DEPICTED. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
5. DEED REFERENCE: BOOK 6427 PAGE 2366 AND BOOK 2045 PAGE 838, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE.





- General Notes**
1. Metes & bounds shown hereon are taken from a map entitled "Survey of Tax Lot 5 - Block 302 Located in the Township of Bernards, Somerset County, New Jersey" prepared by John C. Ritt, NJPLS #24GS04324100, dated October 29, 2017.
 2. Topography & locations of buildings on adjoining lots shown hereon are taken from the Bernards Township Aerial Topography.
 3. The contractor shall verify location of all underground utilities prior to commencing any excavation.
 4. For details of the proposed pool refer to plans prepared by Eden Design, Mount Freedom, NJ.
 5. No steep slopes will be disturbed by this project.

ZONING REQUIREMENTS: R-1 Zone			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
Minimum Lot Area	3 acres	3.33 acres	3.33 acres
Lot Width	250 FT	230.4 FT*	230.4 FT*
Lot Frontage	125 FT	125.95 FT	125.95 FT
Principal Structure Setbacks			
Front Yard	100 FT	163.46 FT	163.46 FT
Rear Yard	100 FT	318 FT	318 FT
Side Yard: one/both	50/100 FT	73.21/197.21 FT	73.21/197.21 FT
Pool Requirements:			
Max size	1000 SF	N/A	924 SF
Behind adjoining dwellings	YES	N/A	NO**
Side Yard	20 FT	N/A	125.82 FT
Max. impervious coverage	15%	8.58%	9.78%
Max. bldg height	35 FT	<35 FT	<35 FT
Min. Improvable Lot Area	25,000 SF	65,850 SF	65,850 SF

*Existing non-conformity.
**Variance required.
Note that the house on adjoining Lot 7 faces toward this property. Consequently, there is no place on this lot where a pool could be located and conform to the ordinance requirements.

Existing Impervious Surfaces:
Dwelling: 3100 SF
Driveway: 3497 SF
Driveway to Lot 6: 3680 SF
Front porch, steps & walk: 391 SF
Patios & walkways: 1768 SF
Generator pads & A/C pads: 21 SF
Total = 12,457 SF

Existing Impervious Surfaces:
Dwelling: 3100 SF
Driveway: 3497 SF
Driveway to Lot 6: 3680 SF
Front porch, steps & walk: 391 SF
Patios & walkways: 1768 SF
Generator pads & A/C pads: 21 SF
Additional pool & patio: 1737 SF
Total = 14,194 SF

Owner/Applicant:
Ursula Khoshaba
44 Old Farm Road
Basking Ridge, NJ 07920

Pool Grading Plan & Soil Erosion Control Plan and
Variance Plan

LOT 5 in BLOCK 302
Bernards Township

Somerset County New Jersey

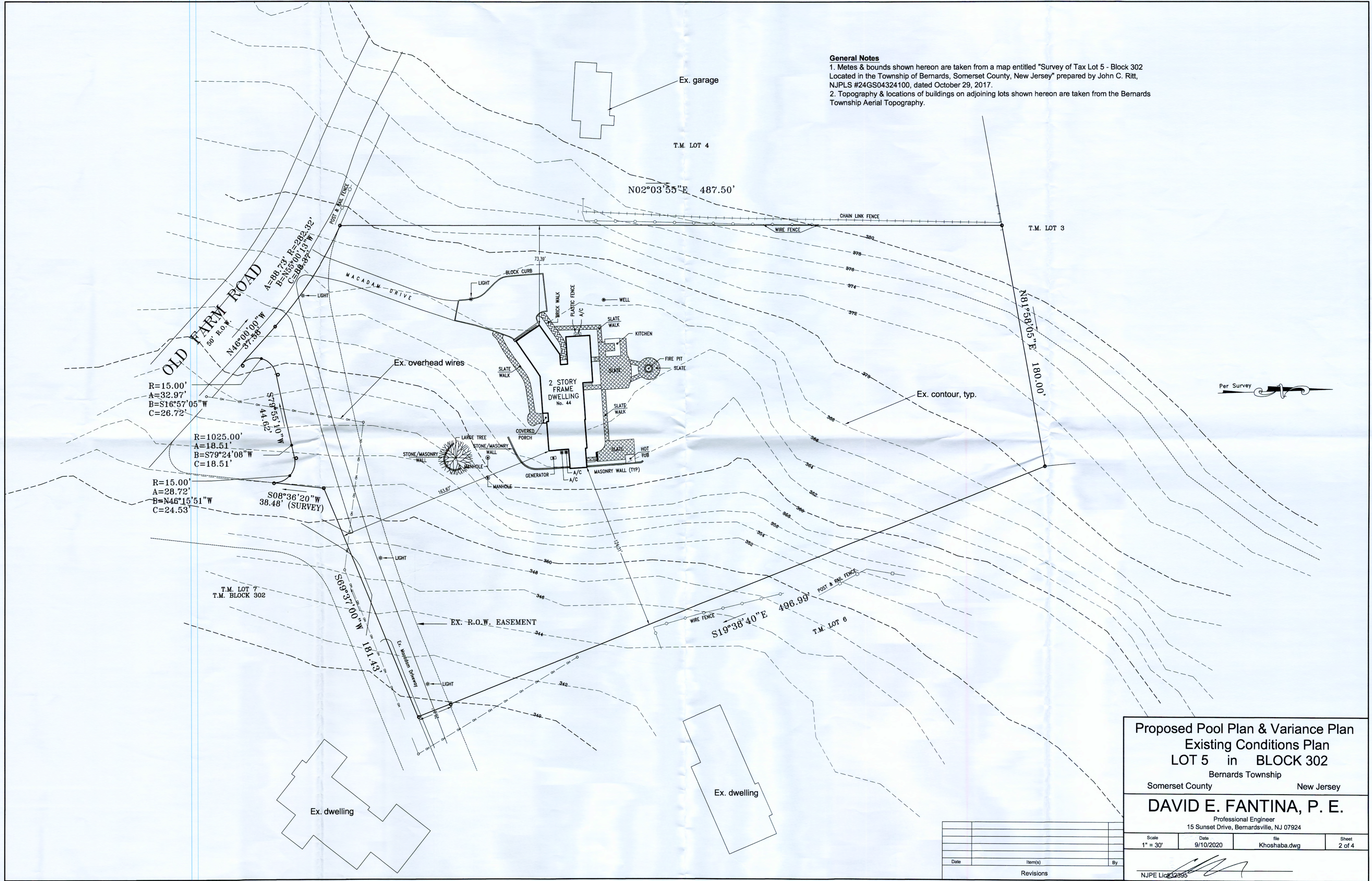
DAVID E. FANTINA, P. E.

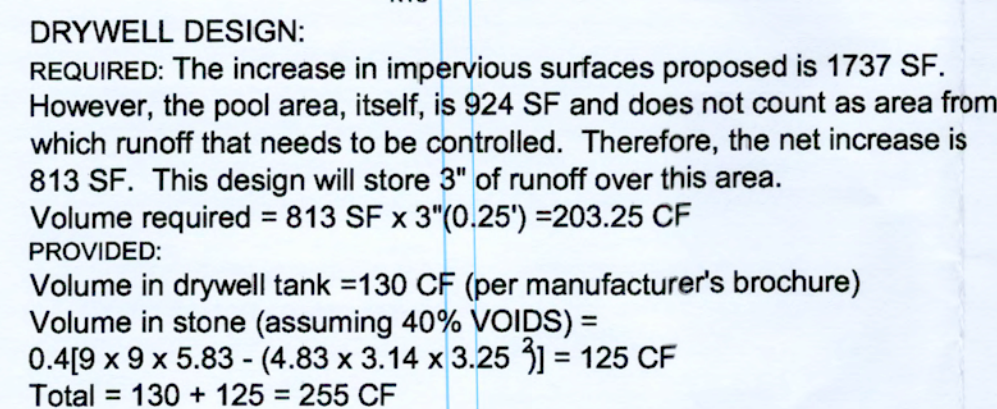
Professional Engineer
15 Sunset Drive, Bernardsville, NJ 07924

Scale: 1" = 30' Date: 9/10/2020 File: Khoshaba.dwg Sheet: 1 of 4

10-14-20	Per Pool Design Company	DF
Date	Item(s)	By
Revisions		

NJPE Lic#32395





PROPERTY OWNERS WITHIN 200'		
LOT	BLOCK	OWNER
13	202	VALENTINO, MATTHEW & DAVI, VERONICA
6	301	UNKNOWN
3	302	GEARY, JAMES & KIM
4	302	SHERIDAN, MARTIN & NANCY
2	302	FALDUTO, DOUGLAS E & MEGAN P
7	302	TUFARIELLO, SUZANNE D
8	302	ROCKRIDGE COURT LLC,
2	304	CLARKE, MARY LOUISE & SHELDON
3	304	VONDER, PAUL & JAROSLAVA

Soil Erosion and Sediment Control Notes

4. All soil erosion and sediment control devices will be installed in accordance with the New Jersey standards for soil erosion and sediment control, and will be in place prior to any major soil disturbance.
5. Any disturbed area that will be left exposed for more than thirty (30) days and not be subject to construction traffic must be immediately revegetated. If the season prohibits temporary seeding, the disturbed area will be mulched with salt hay or equivalent and buried in accordance with the New Jersey standards (e. pag and Twine, mulch netting, or liquid mulch binder).
6. Permanent vegetation is to be established on exposed areas within ten (10) days after final grading. Much less than 100% vegetation is acceptable.
7. Immediately following initial disturbance or rough grading all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or suitable equivalent. Straw mulch shall be applied at a 2 ton/acre rate, according to the state standards.
8. Permanent seeding and stabilization is to be in accordance with the standards for permanent vegetative cover. Specified rates and locations shall be as on the approved soil erosion and sediment control plan.
9. The site shall at all times be graded and maintained such that all storm water runoff is diverted to soil erosion and sediment control facilities.
10. All sedimentation structures will be inspected and maintained regularly.
11. A crushed stone, vehicle wheel-clearing blanket shall be installed.
12. Paved roadways must be kept clear at all times.
13. During and after construction, the owner will be responsible for the maintenance and upkeep of the drainage structures, vegetative cover, and any other measures deemed appropriate by the engineer. Said responsibility will conclude when completed work is approved by the township engineer.
14. The Joint-County-Union Soil Conservation District shall be notified, in writing, 72 hours prior to the start of any land disturbance.

Topsoil Stockpile Protection

1. Construct temporary diversion berm and/or hay bale barrier around stockpile area as required.
2. Apply limestone at a rate of 90 lbs/1000 SF.
3. Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 SF.
4. Apply perennial ryegrass at a rate of 1 lb/1000 SF.
5. Mulch with unrotted salt hay or small grain straw immediately after seeding. Apply at a rate of 90 lbs/1000 SF.

Temporary Stabilization Specifications

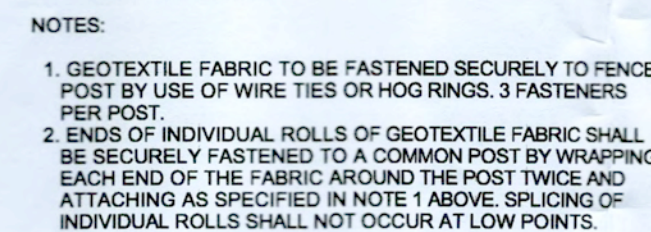
1. Apply ground limestone at a rate of 90 lbs/1000 SF.
2. Apply fertilizer (10-20-10) at a rate of 14 lbs/1000 SF and work into soil 4" deep.
3. Apply seed mixture:
Perennial ryegrass at 40 lbs/acre and annual ryegrass at 40 lbs/acre or approved equal.
4. Mulch with unrotted sawdust or small grain straw immediately after seeding. Apply at a rate of 90 lbs/1000 SF and secure by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
5. Plant seed between March 1 & May 15 or between August 15 & October 1, if possible.

Permanent Stabilization Specifications

1. Apply topsoil to a depth of 5" (unsettled) on all graded areas.
2. Apply ground limestone at a rate of 90 lbs/1000 SF.
3. Apply fertilizer (10-20-10) at a rate of 14 lbs/1000 SF.
4. Apply seed mixture:
Perennial ryegrass at 10 lbs/acre, Kentucky bluegrass at 25 lbs/acre, red fescue at 15 lbs/acre, and spreading fescue at 15 lbs/acre or approved equal.
5. Mix seed mixture with sand or small grain straw immediately after seeding. Apply at a rate of 90 lbs/1000 SF according to the NJ standards.
6. Anchor much with organic, vegetable-based or synthetic binders. Other approved methods (i.e. peg and twine, or much netting) may be used. If possible, plant between March 1 & May 15, or between August 15 & October 1.



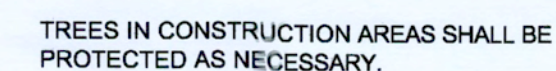
NOT TO SCALE



SILT FENCE
N.T.S.

Recommended Construction Schedule:

1. Install silt fence & construction entrance as shown on Sheet 1. (Day 1).
2. Clear & stockpile topsoil & temporarily seed same. (Day 2).
3. Rough grade site. (Day 3 - Day 10).
4. Temporarily reseed all disturbed areas that will not be constructed upon for more than 30 days. (Day 11).
5. Begin construction of pool and decking. (Day 11).
6. Conduct soil compaction testing and remediate subsoil (scarification/tillage to a minimum depth of 6") as necessary. Uniformly apply topsoil to an average depth of 5", minimum of 4", firmed in place. (Prior to final seeding).
7. Restore all disturbed areas with a permanent seeding as final item.



Soil De-Compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (to permit seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 8.0 inches to enhance the establishment of permanent vegetative cover. 2. The soils which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of test, and attached to the compaction remediation form, available from the local soil conservation district. 4. The methods for testing shall be as described in the attached document, "Soil Compaction Testing and Mitigation Methods" (see details herein), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to determine the extent of soils that require mitigation. The contractor/owner shall have the option to perform additional, more detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to district approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/billage (6" minimum depth or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

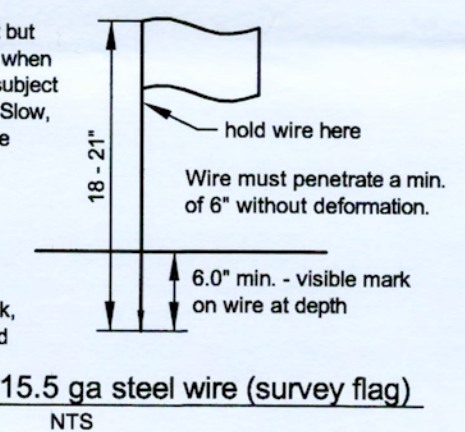
Procedures shall be used to mitigate excessive soil compaction prior to topsoil placement and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey

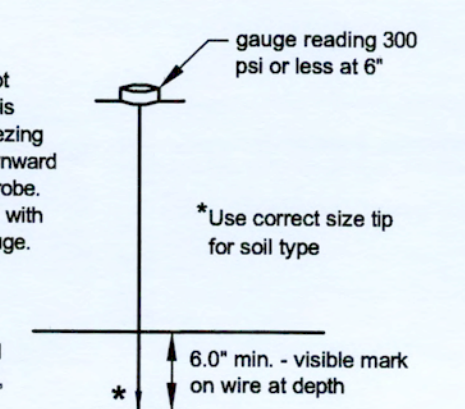
Soil Restoration Notes:

Soil Restoration Note:
As required by the Soil Conservation District, the compacted soil of all areas disturbed by construction vehicles will be restored. The testing requirements are not mandatory, but can be employed to indicate the soil restoration is not required. Areas within 20 feet of buildings with basements and within 12 feet of buildings without basements are exempt from the soil restoration requirements.

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow steady downward pressure used to advance the wire.



Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on gauge.



Handheld Soil Penetrometer Test

NTS

Key Map & Miscellaneous Details

LOT 5 in BLOCK 302

Bernards Township
Somerset County New Jersey

DAVID E. FANTINA, P. E.

Professional Engineer
15 Sunset Drive, Bernardsville, NJ 07924

Scale As shown	Date 9/10/2020	file Khoshaba.dwg	Sheet 4 of 4
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~~NJPE Lic#32395~~

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB20.026 Block: 4101 Lot: 12 Zone: R-4

Applicant: JOHN D. KEITH / GLORIA E. KEITH LIVING TRUST DATED 1/4/08

Address of Property: 34 ETON PLACE

Description: (C) SIDE YARD SETBACK RELIEF FOR PERGOLA TO BE CONSTRUCTED ON EXISTING PATIO

APPLICATION CHECKLIST

- | | |
|---|---|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9 | <input checked="" type="checkbox"/> Architectural Plans |
| <input checked="" type="checkbox"/> Site Visit Consent (A) | <input checked="" type="checkbox"/> Survey |
| <input type="checkbox"/> Ownership Form (B) | <input checked="" type="checkbox"/> Photographs |
| <input checked="" type="checkbox"/> 200' Property Search List (C) | <input type="checkbox"/> Wetlands Report/LOI |
| <input checked="" type="checkbox"/> Tax Certification (D) | <input checked="" type="checkbox"/> Application Fee |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E) | <input checked="" type="checkbox"/> Escrow Deposit |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F) | <input checked="" type="checkbox"/> Imaging Fee |
| <input checked="" type="checkbox"/> Contributions Disclosure Form (G) | <input type="checkbox"/> Tax Map Revision Fee |
| | <input checked="" type="checkbox"/> Checklist |

SCHEDULING

12.15.20 Original Submission Date 60
2.13.2021 Completeness Deadline (45 days)
 _____ Incomplete Date
 _____ Resubmission Date
 _____ Date Complete 60
4.14.2021 Time to Act (45/95/120 days)

HEARING

_____ Notice to Property Owners
 _____ Date of Publication
 _____ Completeness Hearing
2.13.2021 Public Hearing
 _____ Carried to Date
 _____ Decision - Approved/Denied
 _____ Resolution Memorialized
 _____ Resolution Published

DISTRIBUTION

12.15.2020 Environmental Comm
 _____ Fire Official
 _____ LCFAS
 _____ Police

NOTES

**TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify):</p> |
|---|---|

1. APPLICANT: JOHN D. KEITH & GLORIA E. KEITH LIVING TRUST DATED 1/4/08
Address: 34 ETON PLACE, BASKING RIDGE, NEW JERSEY 07920
Phone: (home) 908-766-3248 (work) N/A (mobile) 201-803-5631
Email (will be used for official notifications): JOHNDKEITH@OPTONLINE.NET

2. OWNER (if different from applicant): _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):
Name: Ben Lowell Walpole Outdoors LLC Profession: Designer
Address: 540 Tabor Rd Morris Plains NJ 07950
Phone: 646-294-4064 Email (will be used for official notifications): Ben.Lowell@WalpoleOutdoors.com

5. PROPERTY INFORMATION: Block(s): 4101 Lot(s): 12 Zone: R-6
Street Address: 34 ETON PL, BASKING RIDGE Total Area (square feet/acres): 30,477

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

SEE DOCUMENT ATTACHED

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.): _____

SEE DOCUMENT ATTACHED

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

SEE DOCUMENT ATTACHED

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, JOHN D. KEITH ^{LIVING TRUST DATED 1/4/08} and GLORIA E. KEITH ^{LIVING TRUST DATED 1/4/08} hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and [Signature]

Sworn and subscribed before me, this 9th day of DECEMBER, 20 .

[Signature]
Notary

KARIN MULRY
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 5/16/2022

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20 .

[Signature]
Notary

KARIN MULRY
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 5/16/2022

Township of Bernards – 2021 Zoning Board of Adjustment Application

John D Keith Living Trust dated 1/4/2008
Gloria E Keith Living Trust dated 1/4/2008

Support to Zoning Board of Adjustment Application Questions

9. Description of the Existing Property and Proposal Request

The existing property is a single family home located within an R-6 building zone within Bernards Township. ***We request permission to construct a pergola*** (see exhibit # 2 attached) on an existing patio (see exhibit # 1 attached) that will enhance the overall value and functionality of our home. ***Construction of the pergola will require that a side property line variance be granted.*** The pergola will be hidden from our impacted neighbor's yard and sight lines (see exhibits 3 & 4 attached) because existing trees (Arborvitae) are well established and 12 – 15 feet tall.

10. Description of Requested Variances and exceptions

10. A Bulk Land Use Variance (Ord. # 21-15.1 "D"1 - Table 501) for a single – family residential property (R-6 zone) is requested for construction of a pergola on an existing patio that will require a ***side property line variance*** because it will be placed less than the required 10 feet from our impacted neighbor's property line. Specifically, the proposed construction will require that a portion of the pergola be placed 3 feet 10 inches from our neighbor's side property line. The requested placement of the pergola is necessary to facilitate access to the patio area from existing doors and steps that exit the back of our home. As noted in question 9 above, the pergola will be hidden from our neighbor's sight lines because of trees that exist on the property (see exhibits # 3 & 4 annexed for details).

11. The Following Arguments are made in Support of This Application

The proposed pergola will complement and add functionality to our existing patio and also increase the overall value of our home. As noted in questions 9 & 10 above, the proposed placement of the pergola is necessary to facilitate access to the patio area from existing doors and steps exiting the home; as previously stated, the pergola will be hidden from our neighbor's sight lines by trees that exist on the property.

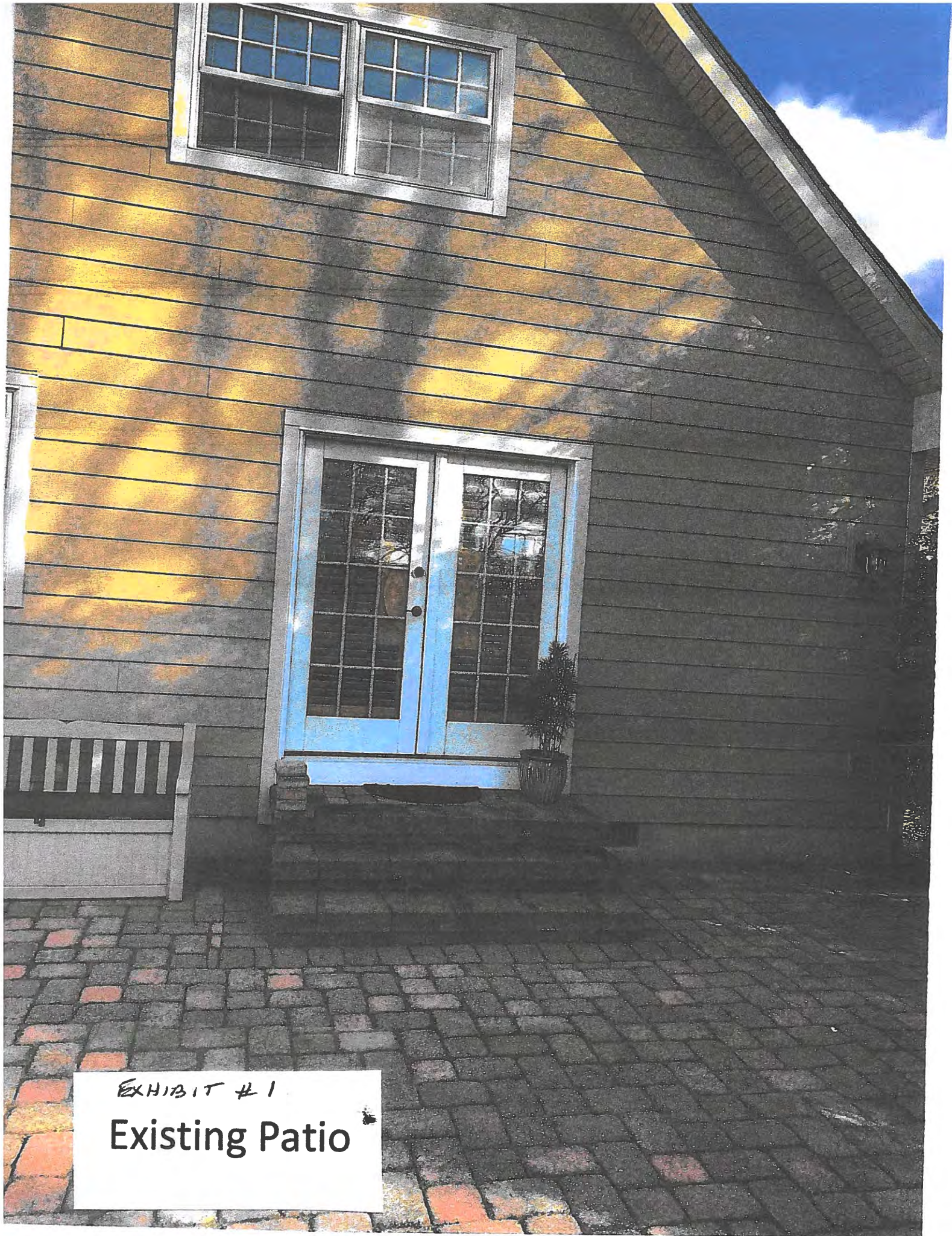
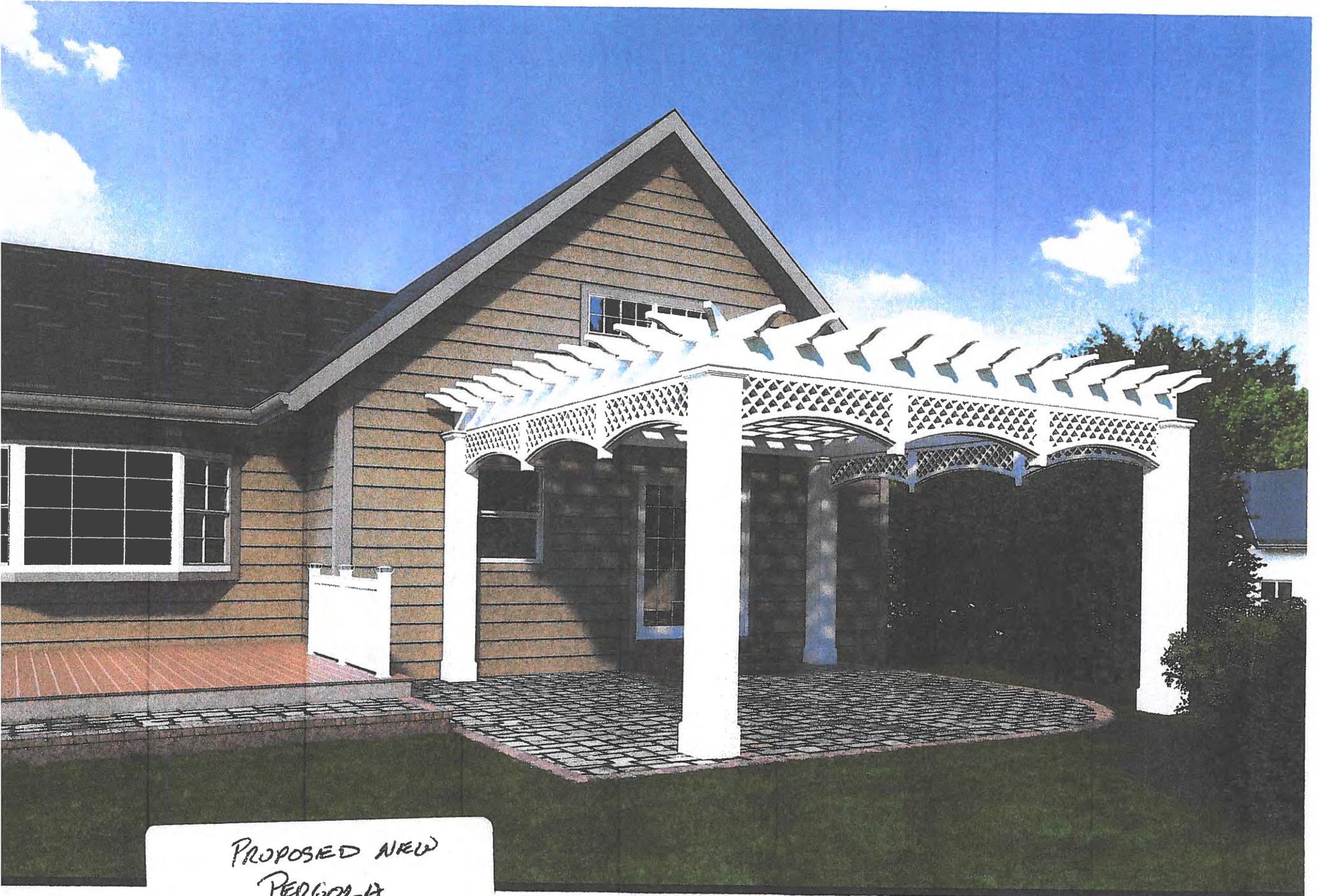


EXHIBIT #1
Existing Patio



PROPOSED NEW
PERGOLA
EXHIBIT # 2

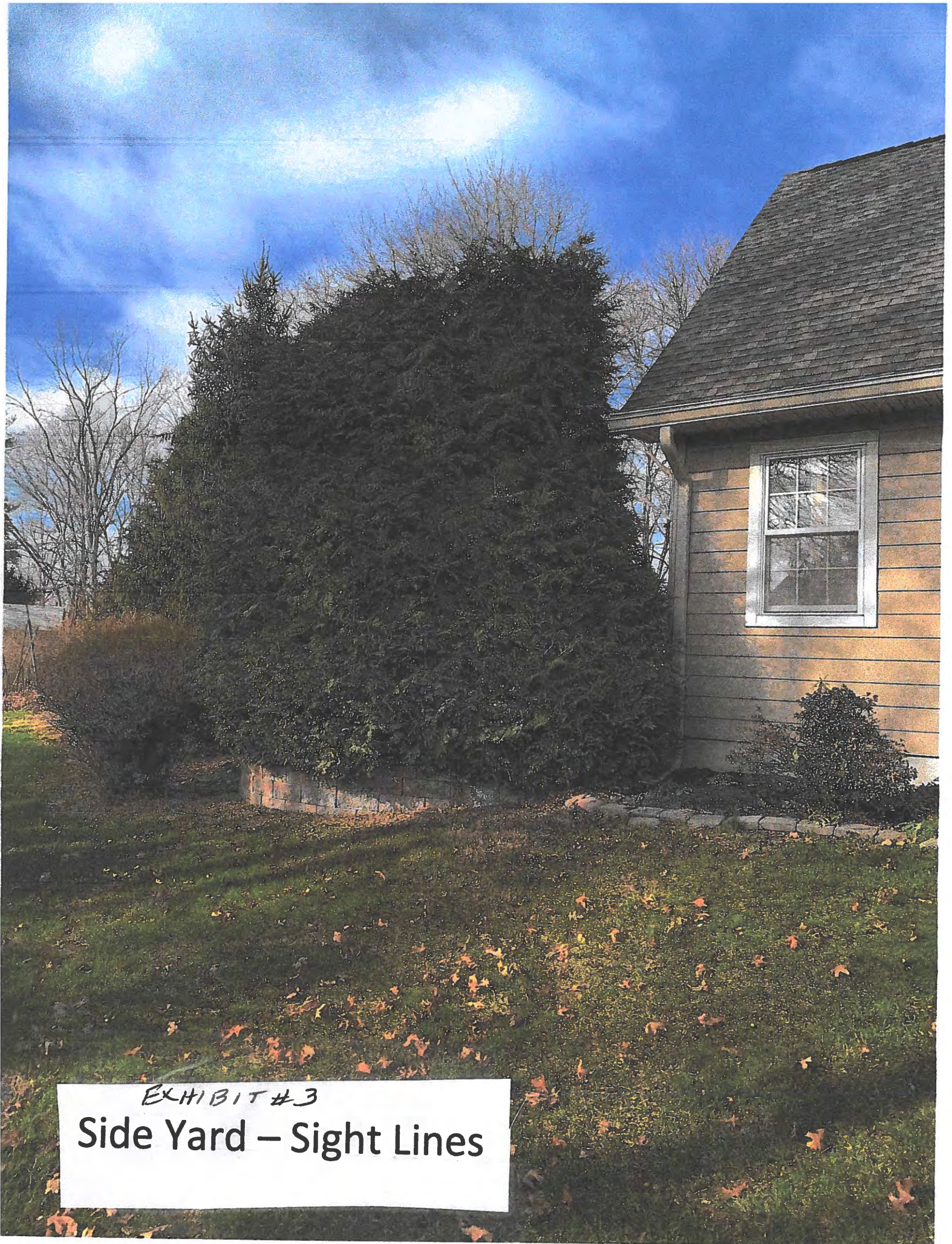


EXHIBIT #3

Side Yard – Sight Lines

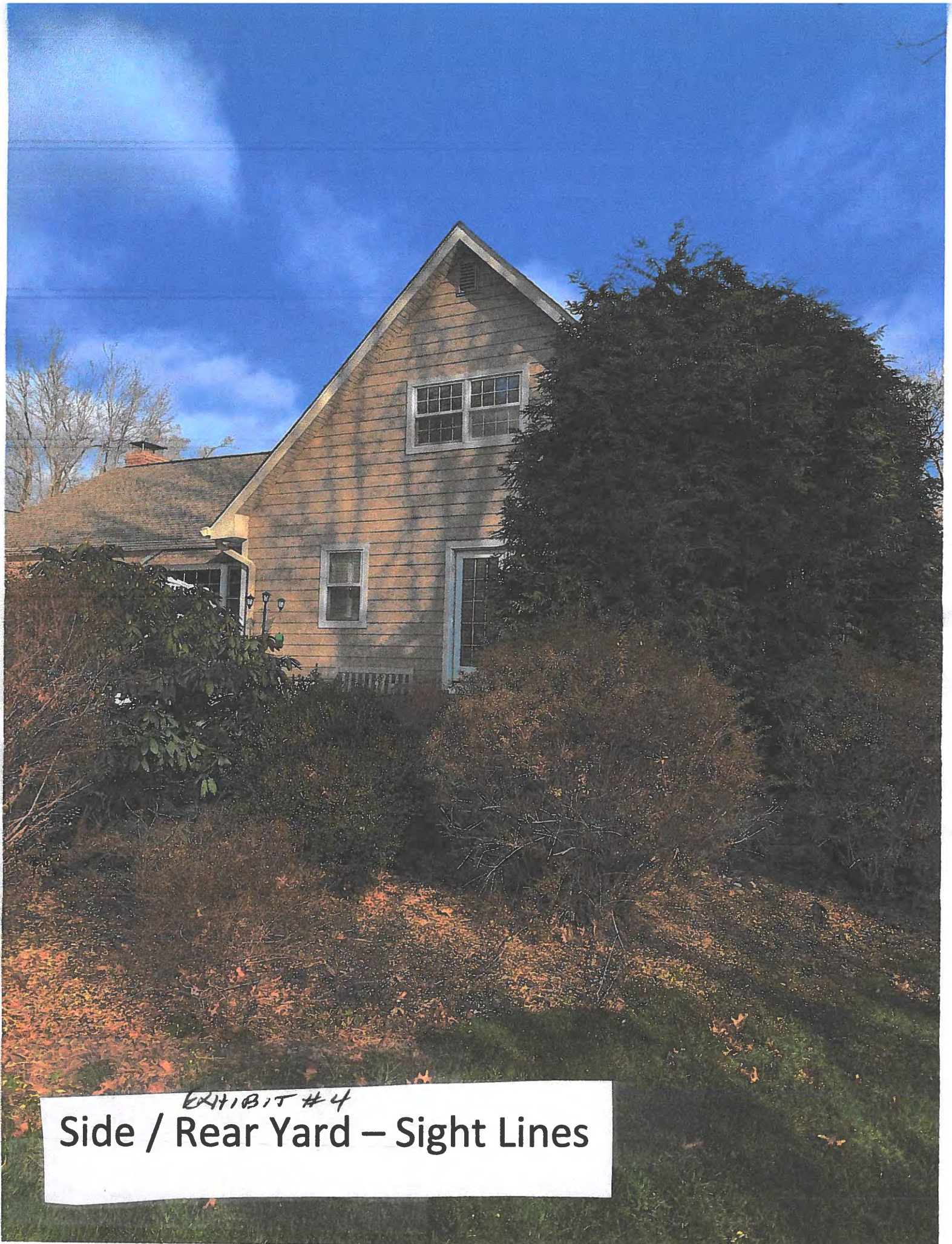
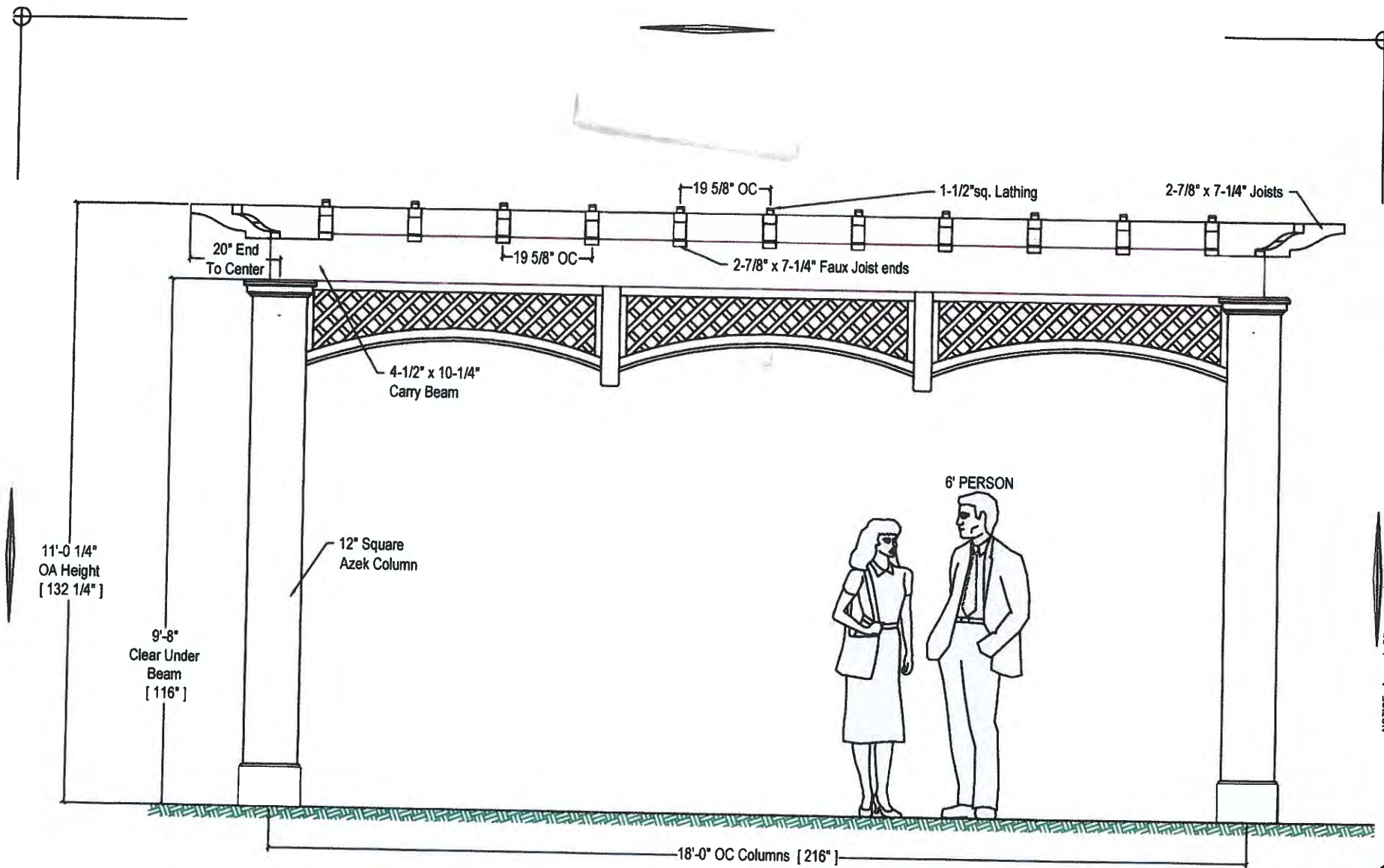


EXHIBIT #4

Side / Rear Yard – Sight Lines



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1

Front Elevation

Not to Scale

2

Paint White

Note: In order for Walpole Outdoors LLC to begin construction on this job, all drawings must be approved and signed by the CUSTOMER and/or ARCHITECT / CONTRACTOR.

	Customer Signature / Date:	Project:	Salesperson:	Date Drawn:	<p>1.00</p>
	<i>John M. Umbrianna</i> 9/14/20	Keith Pergola	Lowell	08/27/2020	
		Contractor:	Branch:	08	
		Order #:	681121	Rev. Date:	
<p>C:\Users\mumbrianna\Desktop\Current Work\client approvals\Keith 681121\2020-br08-Keith-681121.dwg, Front Elevation, 9/10/2020 2:15:22 PM</p>			<p>Mgr. Approval:</p>		

2'-2 3/4" Faux Joist Ends [26 3/4"]

18'-2 1/4" OA Beam [218 1/4"]

17'-11 3/8" OA Lathing [215 3/8"]

1-1/2" sq. Lathing

19 5/8" OC

20" End
To Center

2-7/8" x 7-1/4" Joists

4-1/2" x 10-1/4"
Carry Beam

11'-1 3/4"
OA Height
[133 3/4"]

6' PERSON

12" Square
Azek Column

9'-8"
Clear Under
Joist
[116"]

17'-2 3/4" OC Columns [206 3/4"]

18'-0" OC Column to House [216"]

1 Side Elevation

Not to Scale

2 Paint White

Note: In order for Walpole Outdoors LLC to begin construction on this job, all drawings must be approved and signed by the CUSTOMER and/or ARCHITECT / CONTRACTOR.



Customer Signature / Date :

John M. [Signature] 9/14/20

Project:

Keith Pergola

Contractor:

Salesperson: Lowell

Date Drawn: 08/27/2020

Branch: 08

Drawn By: M. Umbrianna

Order #: 681121

Rev. Date: 09/10/2020

Mgr. Approval:

1.01

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18'-4 1/2"
OA Beam
[220 1/2"]

18'-2 1/4"
OC Columns
[218 1/4"]

19 5/8"
OC

20"
End To
Center

2 1/4"
End To
Center

Diagonal 25'-7 1/16" OC [307 1/16"]

18'-0" OC Columns [216"]

18'-4 1/2" OA Beam [220 1/2"]

199 3/8"
Outside to
Outside of
Joists

2-7/8" x
7-1/4"
Joists

1-1/2" sq.
Lathing

12" sq.
Columns

4-1/2" x
10-1/4"
Carry Beam

20"
End To
Center

1

Plan View

Not to Scale

2

Paint White

Note: In order for Walpole Outdoors LLC to begin construction on this job, all drawings must be approved and signed by the CUSTOMER and/or ARCHITECT / CONTRACTOR.



Customer Signature / Date:

John M. [Signature] 9/14/20

Project:

Keith Pergola

Contractor:

C:\Users\mumbrianna\Desktop\Current Work\client approvals\Keith 681121\2020-br08-Keith-681121.dwg, Plan View

Salesperson: Lowell

Date Drawn: 08/27/2020

Branch: 08

Drawn By: M. Umbrianna

Order #:

681121

Rev. Date: 09/10/2020

Mgr. Approval:

1.02

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JOHN D. KEITH
PERGOLA VARIANCE

APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.			
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.		✓	
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: JOHN D. KEITH LIVING TRUST DATED 1/4/08

Block: 4101 Lot: 12

Street Address: 34 ETON PLACE, BASKING RIDGE, NJ
07920

I, JOHN D. KEITH ^{LIVING TRUST DATED 1/4/08}, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 12/8/2020

SUBMIT 17 COPIES TOTAL

FORM F

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA			
LOT WIDTH			
FRONTAGE			
FRONT YARD SETBACK			
REAR YARD SETBACK			
COMBINED SIDE YARD			
SIDE YARD	10'	12.69	3'10"
COVERAGE			
HEIGHT			11'-0'4"
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

**John D Keith & Gloria E Keith
34 Eton Place
Basking Ridge NJ 07920**

December 22, 2020

Re: John D Keith Living Trust Dated 1/4/2008 and
Gloria E Keith Living Trust dated 1/4/2008
Variance Application # ZB20-026
Block 4101, Lot 12; 34 Eton Place
Additional Requested Information

Dear Mr. Schley,

Based on your letter of December 16, 2020, I am submitting additional items to you to complete the variance application being scheduled for a public hearing in 2021:

1. The pergola, while not planned to be attached to our dwelling (approximately 1.25" from the dwelling) ***will, in principle, be considered as part of the dwelling for purposes of this application.*** Therefore the setbacks necessary to satisfy that the pergola is attached to the dwelling will be applicable.
2. ***A revised Dimensional Statistics table (Form F)*** is being submitted to comply with dwelling setbacks related to our request. As such, we are requesting the following variances for purposes of this application:
 - **A side yard variance** – a side yard setback of 3.83' (3'10") is requested vs. a required setback of 30.0' and an existing setback of 12.69'
 - **A combined side yard variance** – a combined side yard setback of 35.73' is requested vs. a required setback of 75' and an existing combined side yard setback of 44.59'
 - **A lot coverage variance** – a request for 21.79% coverage vs. a maximum permitted coverage of 18% and an existing (grandfathered) coverage of 21.73%.
3. ***Calculations of existing lot coverage*** are included on the spreadsheet attached to this letter. The lot coverage (impervious) grandfathered by the township in 2014 of 21.73% is higher than the permitted coverage of 18% (Ord. # 21.15.1.d.1; Table 501). The proposed pergola will increase lot coverage by 19' due both to the "overhang" of the pergola structure over existing patio pavers and the corner footing on the right side of the structure which will be placed off the pre-existing patio by approximately 12 inches. The new lot coverage will total 21.79 % from the additional footage noted above.

I believe that this satisfies your requests relative to my application. Please contact me should you need anything else

Sincerely,



John D Keith

Cc: Cyndi Kiefer, Board of Adjustment Secretary
Ben Lowell, Walpole Outdoors, LLC

SUBMIT 17 COPIES TOTAL

FORM F

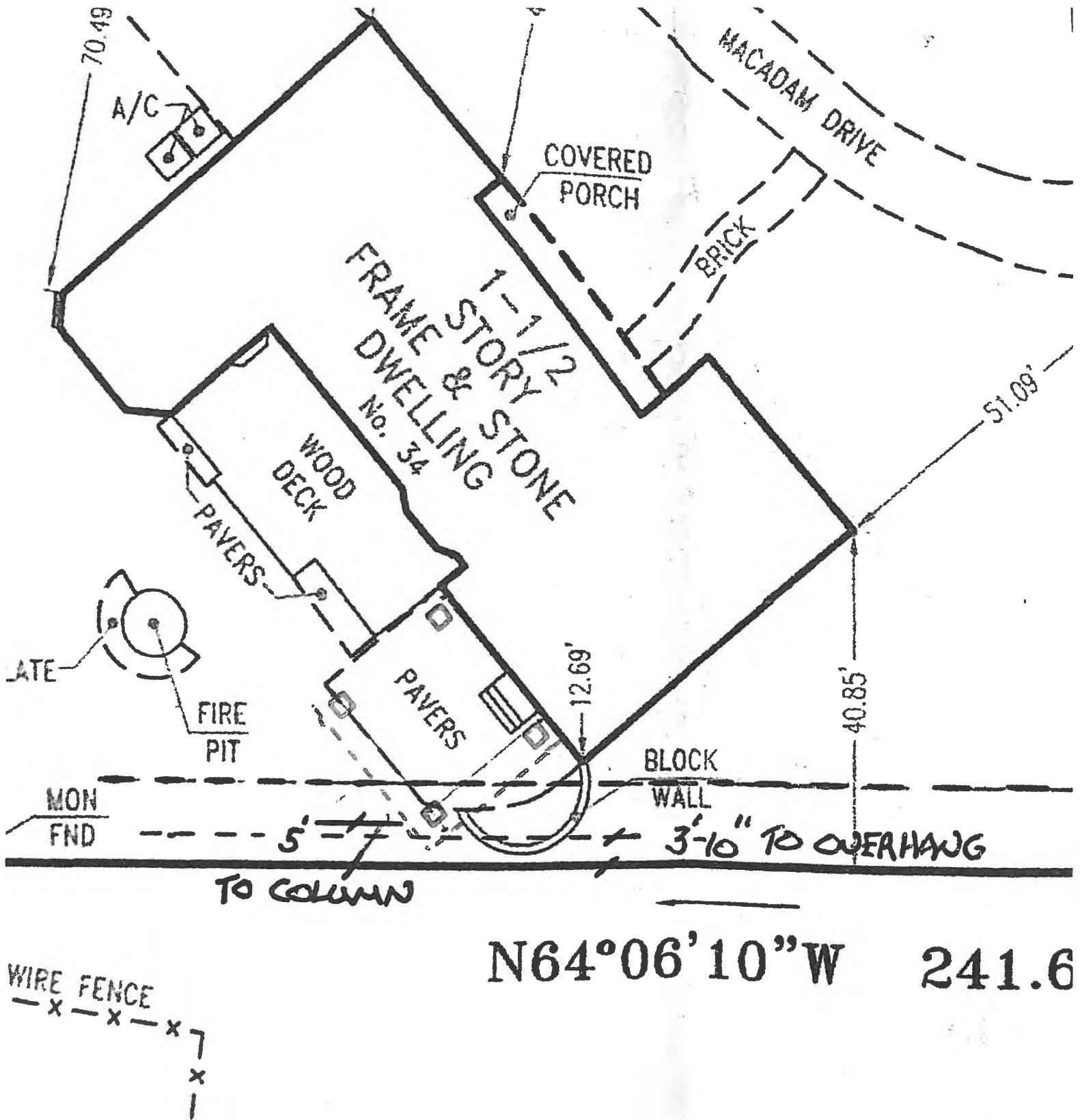
JOHN D. KEITH
GLORIA E. KEITH

DIMENSIONAL STATISTICS - REVISED 12/22/20

	REQUIRED	EXISTING	PROPOSED
LOT AREA	32,670 sf.	30,477	30,477
LOT WIDTH	150'	150'	150'
FRONTAGE	75'	75'	75'
FRONT YARD SETBACK	50'	51.09	51.09
REAR YARD SETBACK	50'	45.0'	52.0 (PERGOLA)
COMBINED SIDE YARD	75'	44.59'	35.73'
SIDE YARD	30'	12.69'	3.83' (3'10")
COVERAGE	18 %	21.73%	21.79%
HEIGHT	35'	< 35'	11.02' (11' 1/4")
IF REQUIRED, GROSS FLOOR AREA			PERGOLA
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

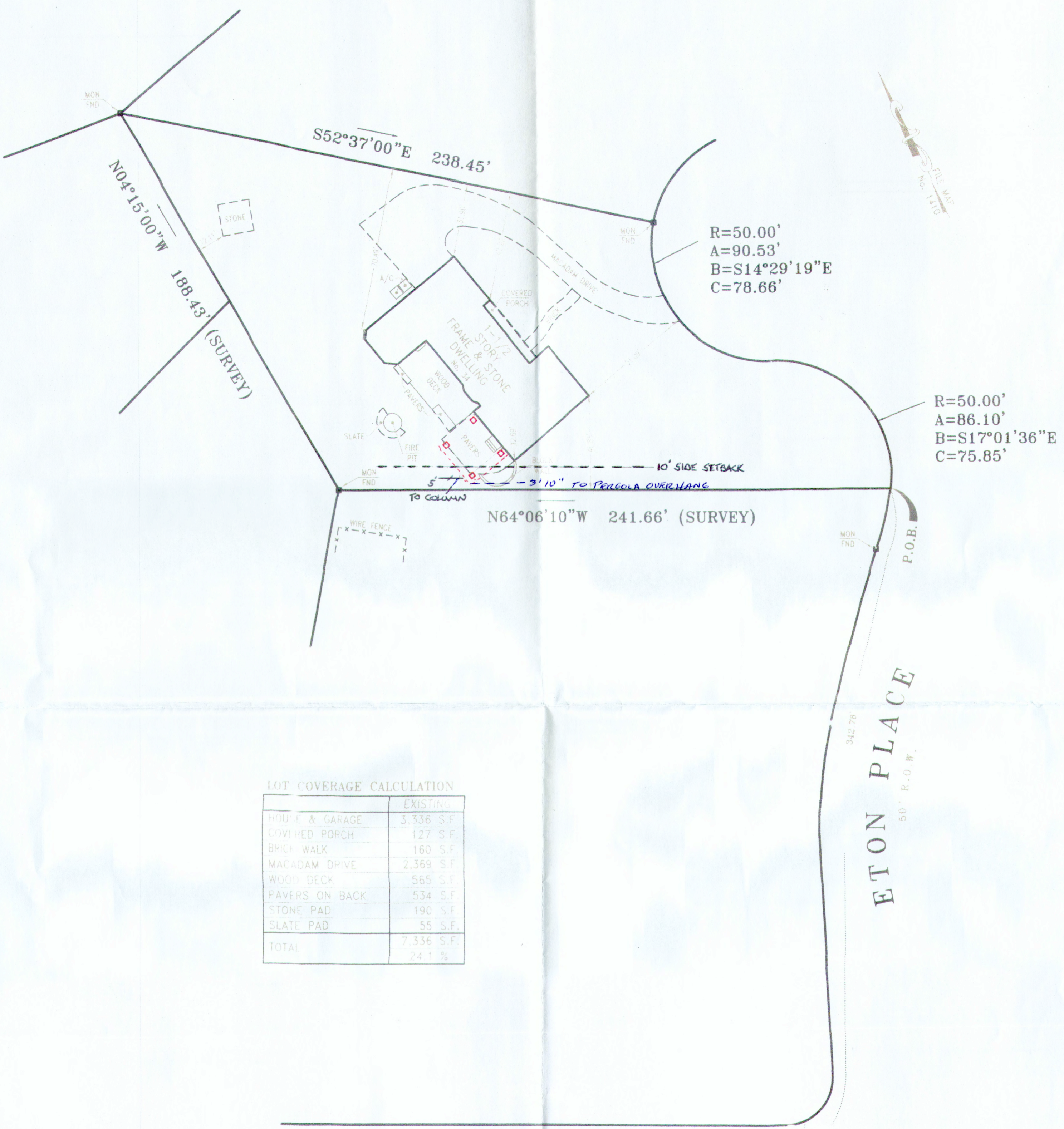
NOTE: REFERENCE SPREADSHEET ATTACHED
FOR LOT COVERAGE CALCULATION.

	John & Gloria Keith			
	34 Eton Place			
	Basking Ridge, NJ 07920			
Impervious Lot Coverage Calculation				
Lot - Total Square Footage - 30,477 feet				
Survey Map (Dated 8/02/2013)				
	EXISTING	PROPOSED		
	<u>Square Feet</u>	<u>Square Feet</u>		
House and Garage	3,336.00	3,336.00		
Covered Porch	127.00	127.00		
Brick Walk (Front Entrance)	160.00	160.00		
Macadam Driveway	2,369.00	2,369.00		
Shed	96.00	96.00		
Pavers in backyard	534.00	534.00		
NEW PERGOLA (NOTE 1)	-	19.00		
Total Footage	6,622.00	6,641.00		
Lot Coverage %	21.73%	21.79%		
Note 1: Gross coverage of new pergola totals 416 square feet; incremental coverage of pergola totals 19 square feet. Pergola overhang past end of pavers (12') and corner footing off pavers (7') represent incremental area (square footage) used for the new structure				



Larger Drawing of Pergola
Side Yard Dimensions

John D Keith
Pergola Variance



LOT COVERAGE CALCULATION	
	EXISTING
HOUSE & GARAGE	3,336 S.F.
COVERED PORCH	127 S.F.
BRICK WALK	160 S.F.
MACADAM DRIVE	2,369 S.F.
WOOD DECK	565 S.F.
PAVERS ON BACK	534 S.F.
STONE PAD	190 S.F.
SLATE PAD	55 S.F.
TOTAL	7,336 S.F.
	24.1 %

FAIRVIEW DRIVE SOUTH
50' R.O.W.

CERTIFIED TO:
• JOHN KEITH

- NOTES:
1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
 2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
 4. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
 5. DEED REFERENCE: BOOK 6100 PAGE 350, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE.
 6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.A.C. 45:8-36.3) AND (N.J.A.C. 13:40-5.1(d)).

DESCRIPTION:

BEING KNOWN & DESIGNATED AS LOT 50-4, BLOCK 154 ON A MAP ENTITLED "FINAL MAP OF FAIRVIEW ACRESS SOUTH, TOWNSHIP OF BASKING RIDGE, SOMERSET COUNTY, N.J.Y" DATED NOVEMBER 1Y, 1971, LAST REVISED FEBRUARY 9, 1972 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON APRIL 18, 1972 AS MAP No. 1410.

JAMES P. DEADY SURVEYOR, LLC
PROFESSIONAL LAND SURVEYING SERVICES
admin@deadysurveying.com 295 ROUTE 22 EAST
(908) 534-0145 ONE SALEM SQUARE
(908) 534-0147 FAX SUITE 202 WEST
WHITEHOUSE STATION, NJ 08889

REVISIONS	DATE	Scale: 1"=30'
		Date: 08-02-13
		Dwn. By: T.A.
		Chk'd By: J.C.R.
		FILE# 1802-947-2
		BK 318 PG 66

SURVEY
OF
TAX LOT 12-BLOCK 4101
LOCATED IN THE
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY

BY: *John C. Ritt*
John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100
Certificate No. 24GA28199000