

2-3-21

REVISED/ADD'L

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB 20-027 Block: 8201 Lot: 22 & 23 Zone: R-6

Applicant: BRAEMER PARTNERS

Address of Property: 3066-3074 VALLEY ROAD

Description: PRELIMINARY/FINAL MAJOR SITE PLAN,
CONDITIONAL USE (D-3) TO CONSTRUCT AN
ASSISTED LIVING FACILITY

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> <u>ORIG + 3 COPIES OF APP</u>	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> Original ¹⁴ 16 copies of Application	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Survey
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input type="checkbox"/> Photographs
<input checked="" type="checkbox"/> Ownership Form (B)	<input type="checkbox"/> Wetlands Report/LOI
<input type="checkbox"/> 200' Property Search List (C)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Escrow Deposit
<input type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Imaging Fee
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input type="checkbox"/> Tax Map Revision Fee
<input checked="" type="checkbox"/> Contributions Disclosure Form (G)	<input checked="" type="checkbox"/> Checklist

SCHEDULING

12.21.20 Original Submission Date 60*

02.19.21 Completeness Deadline (45 days)

 Incomplete Date

 Resubmission Date

 Date Complete 60*

 Time to Act (45/95/120 days)

HEARING

 Notice to Property Owners

 Date of Publication

02.03.21 Completeness Hearing

4.7.21 Public Hearing

 Carried to Date

 Decision - Approved/Denied

 Resolution Memorialized

 Resolution Published

DISTRIBUTION

12.21.20 Environmental Comm

 Fire Official

 LCFAS

 Police

NOTES

* COVID EXEC ORDER

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

Contribution Disclosure Statement Required. Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

Applicant: Braemer Partners Application: Proposed Assisted Living Facility, Block 8201, Lots 20/23

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____

Name: _____

Title: _____

Firm: _____

Address: _____

Date: 1/29/2021

Jeffrey B. Linder

Attorney

DiFrancesco Rafterman & Co., PC

15 Mack Centre Blvd.

Litton, NJ 07059

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

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Proposed Assisted Living Facility
(Block 8201, Lots 22 & 23)


Applicant: Braemar Partners Application: _____

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☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature:  Date: 1/20/2021
Name: John Harter, P.E.
Title: Principal
Firm: Atlantic Traffic & Design Engineering, LLC
Address: 30 Independence Blvd.
Suite 110
Warren, NJ
07059

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

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Assisted Living Facility
3074 Valley Road

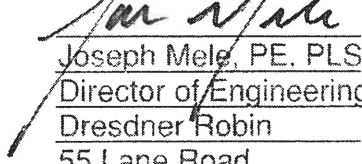
Applicant: Braemar Partners Application: Lots 22 and 23 of Block 8201

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: 
Name: Joseph Mele, PE. PLS
Title: Director of Engineering
Firm: Dresdner Robin
Address: 55 Lane Road
Suite 220
Fairfield, NJ 07004

Date: January 20, 2021

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

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Applicant: Braemar Partners Application: Assisted Living Facility
Block 8201, Lots 22 & 23

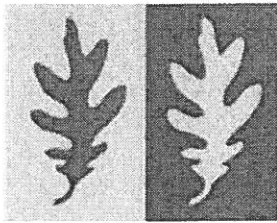
Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature:  Date: 1/25/21
Name: Dennis C. Loh
Title: Vice President
Firm: Geo-Technology Assoc., Inc.
Address: 14 World's Fair Drive
Suite A.
Somerset, NJ 08873



Township of Bernards

Peggy L Warren, Tax Collector

1 Collyer Lane, Basking Ridge, NJ 07920

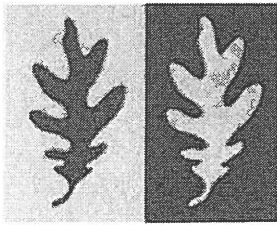
Phone: 908-204-3080; Fax: 908-766-1941; Website: www.bernards.org

January 26, 2021

This is to certify that the property located at Block 8201 Lot 22, otherwise known as 3074 Valley Rd, Basking Ridge, NJ is assessed to Rica Properties LLC and is paid for the year 2020.

Very truly yours,

Peggy L. Warren
Tax Collector



Township of Bernards

Peggy L Warren, Tax Collector
1 Collyer Lane, Basking Ridge, NJ 07920

Phone: 908-204-3080; Fax: 908-766-1941; Website: www.bernards.org

January 26, 2021

This is to certify that the property located at Block 8201 Lot 23, otherwise known as 3066 Valley Rd, Basking Ridge, NJ is assessed to Rica Rental Realty LLC and is paid for the year 2020.

Very truly yours,

Peggy L. Warren
Tax Collector



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

*** 200 Foot Property Search ***

** VALID FOR 90 DAYS **

Date: 10/26/2020

Block: 8201 **Lot(s):** 22&23 **Qual:**

Property Location: 3074 & 3066 Valley Road

Applicant: Susan F. Bateman

Phone : 908-757-7800 **Fax:** 908-757-8039 **Email:** sbateman@newjerseylaw.net

PROPERTY OWNER INFORMATION

Name: Rica Properties LLC & Rica Rental Realty LLC

Address: 151 Mt. Bethel Road

City, State, Zip: Warren, NJ 07059

Due to the location of the referenced
Block and Lot, the following
Fire Company Should be notified:



Liberty Corner Fire Company
P.O. Box 98, Church St.
Liberty Corner, NJ 07938

Email When Complete:

Email Report To: Susan F. Bateman

sbateman@newjerseylaw.net

CERTIFIED BY:

David Centrelli, Assessor - Township Of Bernards

Amount Paid: \$10.00

Paid By: Check (No. 29229)



Bernards Township

Parcel Offset List

Target Parcel(s): Block-Lot: 8201-23
RICA RENTAL REALTY LLC
3066 VALLEY RD
Block-Lot: 8201-22
RICA PROPERTIES LLC
3074 VALLEY RD

16 parcels fall within 200 feet of this parcel(s).

Block-Lot: 8602-34
SPRING RIDGE MASTER ASSOCIATION

COMMON ELEMENTS 00000
RE: RECORD ONLY

Block-Lot: 8602-78
3055 VALLEY LLC
PO BOX 153
OLDWICK NJ 08858
RE: 3055 VALLEY RD

Block-Lot: 8602-77
SBLENDORIO, ANTHONY & MARIA
510 S MAPLE AVE
BASKING RIDGE NJ 07920
RE: 3065 VALLEY RD

Block-Lot: 8602-76
NARAYANAN, ROHIT & PETER, MERLIN
3071 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3071 VALLEY RD

Block-Lot: 8602-75
MACBRIDE, JOAN A & VINCENT, R TRUST
3251 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3077 VALLEY RD

Block-Lot: 8602-74
MACBRIDE, JOAN A & VINCENT, R TRUST
3251 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3075 VALLEY RD

Block-Lot: 8301-12
BURNETT, ROBERT W & DONNA A
79 HAAS RD
BASKING RIDGE NJ 07920
RE: 79 HAAS RD

Block-Lot: 8201-26
CHABAD JEWISH CENTER AT B R
3048 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3038 VALLEY RD

Block-Lot: 8201-25
CHABAD CTR SOMERSET COUNTY INC
3048 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3048 VALLEY RD

Block-Lot: 8201-24
NICKRITI LLC,
9 CHARLOTTE HILL DR
BERNARDSVILLE NJ 07924
RE: 3060 VALLEY RD

Block-Lot: 8201-21

LU, XIAOJUN STEVE & JIA, YONGMEI
3080 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3080 VALLEY RD

Block-Lot: 8201-20

HUDSON, DONALD C & VERONICA E
3084 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3084 VALLEY RD

Block-Lot: 8201-19

CLARK, GORDON
3090 VALLEY RD
BASKING RIDGE NJ 07920
RE: 3090 VALLEY RD

Block-Lot: 8201-16

XIAO, HAN
9 HERITAGE CT
BASKING RIDGE NJ 07920
RE: 9 HERITAGE CT

Block-Lot: 8201-3

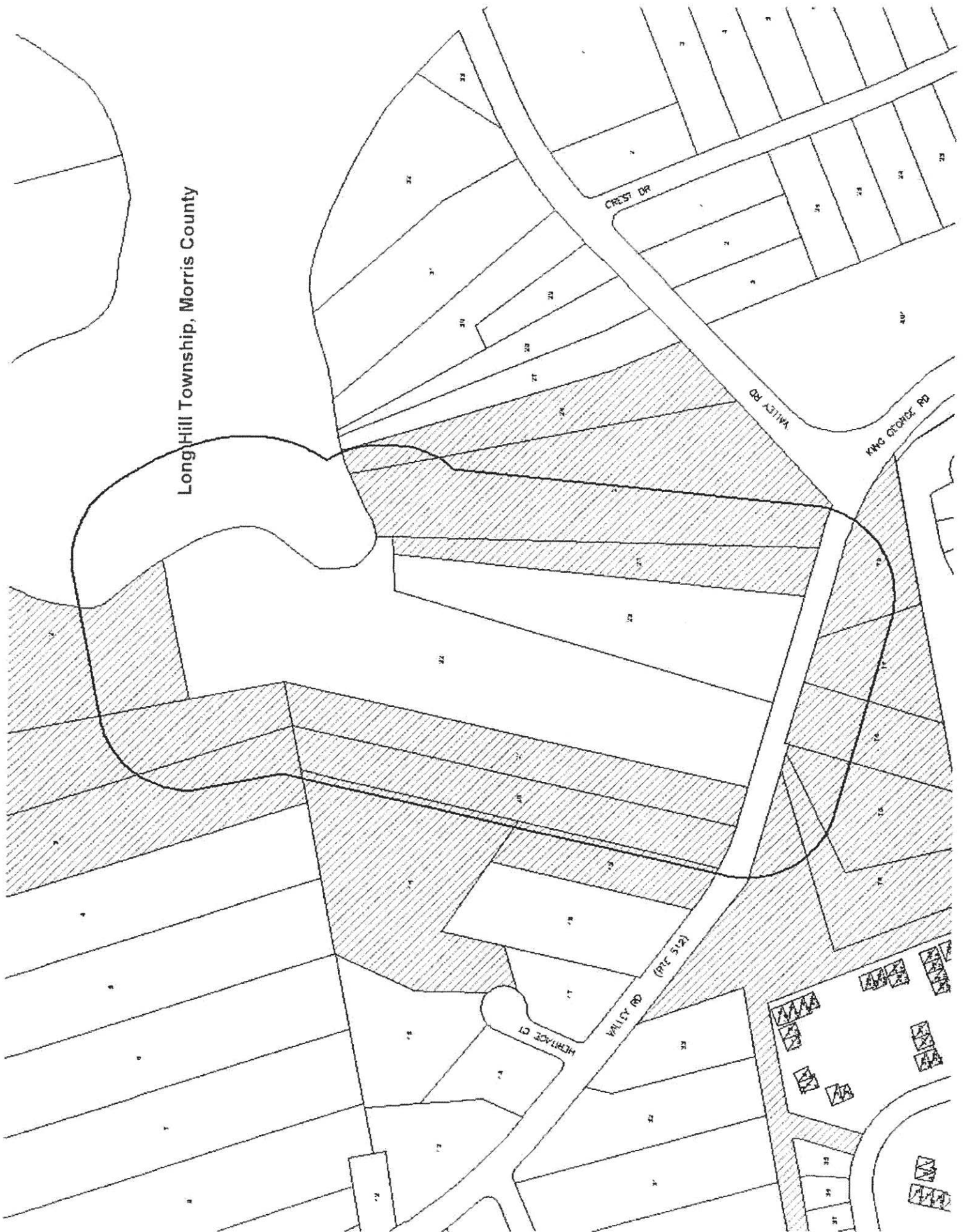
FORTENBACKER, CHARLES & CARMEN
43 HAAS RD
BASKING RIDGE NJ 07920
RE: 43 HAAS RD

Block-Lot: 8201-2

PAULSEN, ROBERT M
49 HAAS RD
BASKING RIDGE NJ 07920
RE: 49 HAAS RD

Please note: This search identified properties within the 200 foot radius of the subject property which are located outside of Bernards Township (see enclosed map.) Please contact the Assessor's Office in Long Hill Township for information on properties located in their township.

Long Hill Township, Morris County





OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE
BASKING RIDGE, NJ 07920
(908)-204-3082 FAX (908)-766-1644

200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. *The attached list was compiled by the Engineering Department.*

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- | | | |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO
1 Lindbergh Rd
Stony Point, NY 10980
(908) 757-1212 | 6. NEW JERSEY AMERICAN WATER CO
Donna Short, GIS Supervisor
NJ-American Water Company, Inc.
1025 Laurel Oak Rd
Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO
Edward D. Young III, Secretary
Verizon Legal Dept.
540 Broad St – Room 2001
Newark, NJ 07101
(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION
Secretary, 46 th Floor
1717 Arch
Philadelphia, PA 19102 | 7. CABLEVISION OF RARITAN VALLEY
275 Centennial Ave; CN6805
Piscataway, NJ 08855
Attn: Margurite Prenderville
Construction Dept | 11. TRANSCONTINENTAL GAS PIPELINE
Division Office
3200 S Wood Ave
Linden, NJ 07036 |
| 3. JCP & L/ GPU
Service Tax Dept
PO Box 1911
Morristown, NJ 07962-1911 | 8. BERNARDS TWP SEWERAGE ATHTY
1 Collyer Ln
Basking Ridge, NJ 07920
(908) 204-3002 | 12. VERIZON BUSINESS/MCI
Right of Way Dept.
2400 N Glenville Dr
Richardson, TX 75082 |
| 4. PUBLIC SERVICE ELECTRIC & GAS
Manager – Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP
William Halsey, President
601 State Hwy 202/206
Bedminster, NJ 07921
(908) 234-0677 | |
| 5. VERIZON COMMUNICATIONS
Engineering
290 W Mt Pleasant Ave; Ste 1400
Livingston, NJ 07039-2763 | | |

PLEASE NOTE:
Numbers 1,3,4,5 and 7 are
registered with the Township and
REQUIRE NOTIFICATION

If the property is adjacent to a State Highway, the
COMMISSIONER OF TRANSPORTATION
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION
1035 Parkway Ave., CN600
Trenton, NJ 08625

If the property is adjacent to a County Road, the
SOMERSET COUNTY PLANNING BOARD
must be notified at

SOMERSET COUNTY PLANNING BOARD
PO Box 3000
Somerville, NJ 08876

**TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT**

NOTICE OF PUBLIC HEARING ON APPLICATION

PLEASE TAKE NOTICE that Braemar Partners (the “Applicant”) has filed an application for development with the Bernards Township Zoning Board of Adjustment for preliminary and final site plan and conditional use variance from the requirements of Section _____ of the Bernards Township Zoning Ordinance so as to permit construction of a two-story 80 unit assisted living/memory care facility on property designated as Block 8201, Lots 22 & 23 on the Tax Map of the Township of Bernards (the “Property”), which is located in the R-6 Zone District where assisted living facilities are permitted as a conditional use.. The proposed facility includes 51 assisted living units and 29 memory care units.

The following variances are requested in connection with this application:

Sec. 21-12.3m.5.(b)- The lot or tract on which the assisted living facility is situated must front on the county road known as “King George Road”.

Sec. 21-12.3.m.(6b)- Minimum lot frontage and width:

Required-500 feet

Proposed-440 feet

Approval is also sought for such other variances, waivers and/or relief as the Zoning Board may deem appropriate or necessary from the requirements of the Township of Bernards Zoning Ordinance at the time of the hearing in this matter. This notice is sent to you as an owner of property in the immediate vicinity.

A public hearing has been set in this matter for _____, 2021 at 7:30 p.m. or as soon thereafter as this matter may be reached, in the Municipal Building, 1 Collyer Lane, Basking Ridge, New Jersey, and, when the case is called, you may appear either in person, or by attorney, and present any objections which you may have to granting of the relief sought in the petition.

The application and plans submitted in support thereof are on file in the office of the Secretary, Planning Offices located at 277 South Maple Avenue, Monday through Friday, 8:30 A.M. to 4:30 P.M. and are available for inspection. If possible, call to make an appointment at (908) 204-3026.

The Applicant, by order of the Board of Adjustment, sends this notice to you.

BRAEMAR PARTNERS
13140 Freemanville Road
Milton, GA 30004

c/o **Jeffrey B. Lehrer, Esq.**
(908) 757-7800, ext. 180

DATED:



SOMERSET COUNTY
DOCUMENT COVER SHEET

HON. BRETT A. RADI
SOMERSET COUNTY
CLERK PO BOX 3000
20 GROVE STREET
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US



INSTRUMENT # 2019026881
BOOK: 7137 PAGE: 467-476

(Official Use Only)

DATE OF DOCUMENT: July 1, 2019	TYPE OF DOCUMENT: DEED
FIRST PARTY <i>(Grantor, Mortgagor, Seller or Assignor)</i>	SECOND PARTY <i>(Grantee, Mortgagee, Buyer, Assignee)</i>
Marilyn A. LaBrunda Marilyn Ann LaBrunda	Rica Properties, L.L.C.
ADDITIONAL PARTIES:	
Michael LaBrunda Michael John LaBrunda	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
MUNICIPALITY: Bernards	MAILING ADDRESS OF GRANTEE:
BLOCK: 8201	151 Mt. Bethel Road
LOT: 22	Warren, NJ
CONSIDERATION: \$500,000.00	07059

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE

<p>DO NOT REMOVE THIS PAGE</p> <p>THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD</p> <p>RETAIN THIS PAGE FOR FUTURE REFERENCE</p>
--

Deed

This Deed is made on this 1st day of July, 2019 and delivered on July 1st, 2019

Between

MARILYN LABRUNDA A/K/A MARILYN ANN LABRUNDA, Unmarried, INDIVIDUALLY AND AS EXECUTRIX UNDER THE LAST WILL AND TESTAMENT OF MICHAEL LABRUNDA A/K/A MICHAEL JOHN LABRUNDA, DECEASED,

whose post office address is: 3074 Valley Road, Basking Ridge, New Jersey, 07920

referred to as the Grantor,

and

RICA PROPERTIES, L.L.C., A NEW JERSEY LIMITED LIABILITY COMPANY,

whose post office address is: 151 Mt. Bethel Road, Warren, New Jersey, 07059

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property (called the "Property") described below to the Grantee. This Transfer is made for the sum of **Five Hundred Thousand Dollars (\$500,000.00)**. The Grantor acknowledges receipt of this money.

2. Tax Map Reference. (N.J.S.A. 46:26:A-3) Municipality of the Township of Bernards

Block No. 8201

Lot No. 22

(formerly known as Block 151 Lot 7)

☐ No property tax identification number is available on the date of this Deed.
(Check box if applicable)

3. Property. The Property consists of the land and all the buildings and structures on the land in the Township of Bernards, County of Somerset and State of New Jersey. The legal description is:

☒ Please see attached Legal Description annexed hereto and made a part hereof.
(check box if applicable)

(For Recorder's Use Only)

Prepared by:



Karen M. Spano, Esquire

Legal Description

ALTA Commitment

ALL that certain tract or parcel of land, situated, lying and being in the Township of Bernards, County of Somerset, State of New Jersey, more particularly described as follows:

BEGINNING at a point on the northerly sideline of King George Road at a concrete monument which point is the beginning of the dividing line between the lands of Frank P. Rica and Susan Rica, his wife, and lands now or formerly of Henry P Williams, and from point of beginning running; thence

- (1) Along said dividing line, North 26 degrees 58 minutes East 110.90 feet to a concrete monument; thence
- (2) Still along the same 100.00 feet more or less to an iron pin; thence
- (3) Still along the same 100.00 feet more or less to a concrete monument; thence
- (4) Still along the same 100.00 feet more or less to a concrete monument; thence
- (5) Still along the same 200.00 feet more or less to a concrete monument; thence
- (6) Still along the same 200.00 feet more or less to a concrete monument; thence
- (7) Still along the same 91.80 feet more or less to a concrete monument; thence
- (8) South 80 degrees 49 minutes East 88.00 feet to a concrete monument; thence
- (9) Still along the same 30.80 feet to an iron pin; thence
- (10) North 09 degrees 26 minutes East 30.00 feet more or less to a point in the centerline of the Passaic River; thence
- (11) Along the said centerline of the Passaic River and the various courses thereof a distance of 485.00 feet more or less to another point in the centerline of the Passaic River; thence
- (12) South 89 degrees 54 minutes West to an iron pin; thence
- (13) South 89 degrees 54 minutes West 29.48 feet to a concrete monument; thence
- (14) South 89 degrees 54 minutes West 253.65 feet to a concrete monument; thence
- (15) South 00 degrees 06 minutes East 205.93 feet to an iron pin; thence
- (16) South 00 degrees 06 minutes East 12.65 feet to an iron pin; thence
- (17) North 88 degrees 15 minutes West 16.87 feet to a concrete monument; thence
- (18) South 23 degrees 55 minutes West 122.75 feet more or less to an iron pin; thence
- (19) Still along the same and cutting a tree 130.00 feet more or less to a concrete monument; thence
- (20) Still along the same 200.00 feet more or less to an iron pin; thence
- (21) Still along the same 100.00 feet more or less to a concrete monument; thence
- (22) Still along the same 100.00 feet more or less to an iron pin; thence
- (23) Still along the same 100.00 feet more or less to a concrete monument; thence
- (24) Still along the same 100.00 feet more or less to an iron pin; thence
- (25) Still along the same 100.00 feet more or less to a concrete monument; thence
- (26) Still along the same 100.00 feet more or less to a concrete monument set for a point in the northerly sideline of King George Road; thence
- (27) Along the aforesaid northerly sideline of King George Road, South 61 degrees 11 minutes East 200.00 feet more or less to the point or place of BEGINNING.

EXCEPTING therefrom all those premises conveyed by Michael J. LaBrunda and Amelia LaBrunda, husband and wife, and Marilyn LaBrunda, single, to the County of Somerset dated August 23, 1991, recorded November 21, 1991 in the Somerset County Clerk's/Register's Office in Deed Book 1837, Page 428.

Continued...

This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I – Requirements; and Schedule B, Part II – Exceptions.

Legal Description

ALTA Commitment

BEING further described as follows in accordance with a survey prepared by James P. Deady Surveyor, LLC, dated May 6, 2019:

BEGINNING at a point being an iron bar with cap found in the northerly sideline of Valley Road (variable widths), said point being the intersection of said sideline with the westerly property line of Tax Lot 23, lands now or formerly RICA Realty Rental Group II, LLC (Deed Book 6065, page 1113). Said beginning point being described in Deed Book 6297, page 62, and from said beginning point running, thence

- (1) Along the northerly sideline of Valley Road, North 62 degrees 38 minutes 00 seconds West a distance of 193.94 feet to a point in the easterly property line of Tax Lot 21, lands now or formerly Xiaojun Steve Lu and Yongmei Jia (Deed Book 6024, page 2485); thence
- (2) Along said lands, North 21 degrees 55 minutes 26 seconds East a distance of 1,061.81 feet to a point and corner; thence
- (3) Leaving said lands and running North 01 degree 35 minutes 42 seconds West a distance of 218.58 feet to a point and corner; thence
- (4) North 88 degrees 03 minutes 14 seconds East a distance of 333.70 feet to a point in the centerline of the Passaic River, thence along said line the following seven courses:
- (5) South 16 degrees 20 minutes 23 seconds East a distance of 115.75 feet to a point; thence
- (6) South 04 degrees 40 minutes 03 seconds East a distance of 56.84 feet to a point of curvature; thence
- (7) In a general northeasterly direction on a curve to the right, having a radius of 160.00 feet, an arc distance of 132.17 feet, a chord bearing of South 18 degrees 59 minutes 53 seconds West, and a chord distance of 128.45 feet to a point of tangency; thence
- (8) South 42 degrees 39 minutes 48 seconds West a distance of 79.87 feet to a point; thence
- (9) South 34 degrees 05 minutes 53 seconds West a distance of 45.10 feet to a point of curvature; thence
- (10) In a general southeasterly direction on a curve to the left, having a radius of 54.00 feet, an arc distance of 71.99 feet, a chord bearing of South 04 degrees 05 minutes 41 seconds East, and a chord distance of 66.78 feet to a point of tangency; thence
- (11) South 42 degrees 17 minutes 15 seconds East a distance of 58.91 feet to a point and corner; thence
- (12) Leaving said centerline of running South 23 degrees 01 minute 10 seconds West a distance of 27.88 feet to a point in the southerly sideline of said river; thence
- (13) Leaving said sideline and running along the northerly property line of Tax Lot 23, North 79 degrees 06 minutes 48 seconds West a distance of 88.03 feet to a point and corner; thence
- (14) Continuing along the westerly property line of said lot, South 25 degrees 31 minutes 01 second West a distance of 892.39 feet to point and place of BEGINNING.

NOTE FOR INFORMATION: 3074 Valley Road, Tax Lot 22, Tax Block 8201 in the Township of Bernards, County of Somerset, State of New Jersey.

Issuing Agent: Advantage Title Agency, Inc.

Issuing Office: 301 E. Hanover Avenue, Suite 1, Morristown, NJ 07960

Issuing Office File Number: ATA-23298

This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I – Requirements; and Schedule B, Part II – Exceptions.

BEING THE SAME PREMISES conveyed to Michael J. LaBrunda, widower and Marilyn LaBrunda, Unmarried as tenants in common, each having a fifty percent (50%) undivided interest by Deed from Michael J. LaBrunda, Widower and Marilyn LaBrunda, Unmarried, dated October 19, 2009, recorded January 25, 2010, in the Somerset County Clerk's Office in Deed Book 6297, Page 62.

PREVIOUSLY conveyed to Michael J. LaBrunda and Amelia LaBrunda, his wife and Marilyn LaBrunda, Unmarried, by Deed from Frank P. Rica and Susan M. Rica, his wife dated June 30, 1977, recorded July 1, 1977 in the Somerset County Clerk's Office in Deed Book 1354, Page 325.

The said Michael LaBrunda died testate on August 22, 2018, leaving his residuary estate to his daughter Marilyn Ann LaBrunda.

The street address of the Property is: 3074 Valley Road, Basking Ridge, NJ 07920.

4. Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the Property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the Property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

RTF-1 (Rev. 7/14/10)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

COUNTY

Somerset

1802

} SS. County Municipal Code

FOR RECORDER'S USE ONLY

Consideration \$ 500,000.00
RTF paid by seller \$ 1975.00
Date 7/1/19 By KE

MUNICIPALITY OF PROPERTY LOCATION Bernards Township

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) **PARTY OR LEGAL REPRESENTATIVE** (Instructions #3 and #4 on reverse side)

Deponent, Marilyn LaBrunda, being duly sworn according to law upon his/her oath,
(Name)
deposes and says that he/she is the Grantor in a deed dated July 1, 2019 transferring
(Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)

real property identified as Block number 8201 Lot number 22 located at
3074 Valley Road, Basking Ridge and annexed thereto.
(Street Address, Town)

(2) **CONSIDERATION** \$ 500,000.00 (Instructions #1 and #5 on reverse side) ☒ no prior mortgage to which property is subject.

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) **REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:**
(Instructions #5A and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Assessed Valuation

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) **FULL EXEMPTION FROM FEE** (Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(5) **PARTIAL EXEMPTION FROM FEE** (Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. **ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED.** Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

- A. **SENIOR CITIZEN** Grantor(s) ☒ 62 years of age or over. * (Instruction #9 on reverse side for A or B)
B. **BLIND PERSON** Grantor(s) ☐ legally blind or;
DISABLED PERSON Grantor(s) ☐ permanently and totally disabled ☐ receiving disability payments ☐ not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:

- ☒ Owned and occupied by grantor(s) at time of sale. ☒ Resident of State of New Jersey.
☒ One or two-family residential premises. ☒ Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

C. **LOW AND MODERATE INCOME HOUSING** (Instruction #9 on reverse side)

- ☐ Affordable according to H.U.D. standards. ☐ Reserved for occupancy.
☐ Meets income requirements of region. ☐ Subject to resale controls.

(6) **NEW CONSTRUCTION** (Instructions #2, #10, #12 on reverse side)

- ☐ Entirely new improvement. ☐ Not previously occupied.
☐ Not previously used for any purpose. ☐ "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) **RELATED LEGAL ENTITIES TO LEGAL ENTITIES** (Instructions #5, #12, #14 on reverse side)

- ☐ No prior mortgage assumed or to which property is subject at time of sale.
☐ No contributions to capital by either grantor or grantee legal entity.
☐ No stock or money exchanged by or between grantor or grantee legal entities.

(8) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 1st day of July, 20 19

Marilyn LaBrunda
Signature of Deponent

Marilyn LaBrunda
Grantor Name

3074 Valley Rd, Basking Ridge, NJ
Deponent Address

3074 Valley Rd Basking Ridge NJ 07920
Grantor Address at Time of Sale

XXX-XXX- 5 2 2

Last three digits in Grantor's Social Security Number

Law Office of Karen M. Spano, LLC
Name/Company of Settlement Officer

FOR OFFICIAL USE ONLY

Instrument Number _____ County Somerset
Deed Number _____ Book _____ Page _____
Deed Dated 7/1/19 Date Recorded 7/1/19

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to:

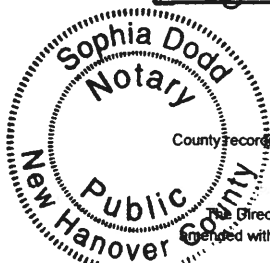
STATE OF NEW JERSEY

PO BOX 251

TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and it may not be altered or changed without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division's website at:
www.state.nj.us/treasury/taxation/lpt/localtax.shtml





State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

Marilyn LaBrunda, Individually

Current Street Address

10290 S. Olde Towne Wynd SE

City, Town, Post Office Box

Belville

State

NC

Zip Code

28451

PROPERTY INFORMATION

Block(s)

8201 (formerly 151)

Lot(s)

22 (formerly 7)

Qualifier

Street Address

3074 Valley Road

City, Town, Post Office Box

Basking Ridge

State

NJ

Zip Code

07920

Seller's Percentage of Ownership

100%

Total Consideration

\$500,000.00

Owner's Share of Consideration

\$500,000.00

Closing Date

7/18/19

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☐ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☒ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

7/1/19

Date

Marilyn LaBrunda

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

Marilyn LaBrunda a/k/a Marilyn Ann LaBrunda, Exec under the Last Will and Test of Michael LaBrunda a/k/a Michael John LaBrunda

Current Street Address

10290 S. Olde Towne Wynd SE

City, Town, Post Office Box

Belville

State

NC

Zip Code

28451

PROPERTY INFORMATION

Block(s)

8201 (formerly 151)

Lot(s)

22 (formerly 7)

Qualifier

Street Address

3074 Valley Road

City, Town, Post Office Box

Basking Ridge

State

NJ

Zip Code

07920

Seller's Percentage of Ownership

0%

Total Consideration

\$500,000.00

Owner's Share of Consideration

\$0.00

Closing Date

7/18/19

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

7/1/19

Date

Marilyn LaBrunda

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

5. Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:

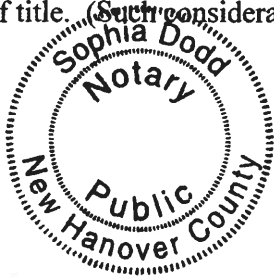
Brenda L. Cartwright
(Sign above & print name below)
Brenda L. Cartwright

Marilyn LaBrunda
Marilyn LaBrunda, a/k/a Marilyn Ann
LaBrunda, individually and as Executrix
under the Last Will and Testament
of Michael LaBrunda, a/k/a Michael
John LaBrunda, Deceased

STATE OF NORTH CAROLINA)
COUNTY OF Brunswick)

I CERTIFY that on July 1, 2019, Marilyn LaBrunda, a/k/a Marilyn Ann LaBrunda, individually and as Executrix under the Last Will and Testament of Michael LaBrunda, a/k/a Michael John LaBrunda, Deceased personally came before me and stated to my satisfaction that this person (or if more than one, each person):

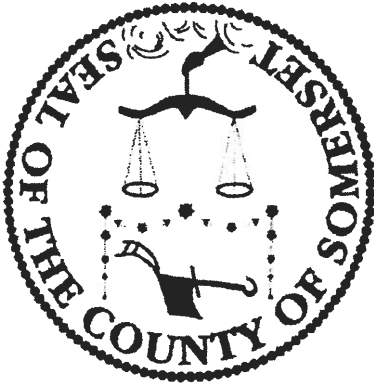
- (a) was the maker of this Deed;
- (b) executed this Deed as his or her own act; and
- (c) made this Deed for \$500,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5).



Sophia Dodd
Sophia Dodd, Notary public
(Print name and title below signature)

RECORD AND RETURN TO:

**William P. Robertson, Esq.
DiFrancesco, Bateman, Kunzman,
Davis, Lehrer & Flaum, P.C.
15 Mountain Boulevard
Warren, NJ 07059**



Steve Peter
Somerset County Clerk
20 Grove Street
P.O. Box 3000
Somerville, NJ 08876

Date Recorded:	7/26/2019	2:46:05 PM
Recorded By:	ELLMER	
Book & Page:	OPR 7137	467-476
Instrument No.:	2019026881	
Number of Pages:	10	
Document Type:	DEED	
Consideration:	\$500,000.00	
Exemption:	OA OVER 350K SENIOR/DISABLED	
NJ Realty Transfer Fee:	\$1,925.00	
Recording Fee (inc all addtl charges):	\$123.00	

DO NOT DISCARD

TOWNSHIP OF BERNARDS ZONING BOARD OF ADJUSTMENT

NOTICE OF PUBLIC HEARING ON APPLICATION

PLEASE TAKE NOTICE that Braemar Partners (the “Applicant”) has filed an application for development with the Bernards Township Zoning Board of Adjustment for preliminary and final site plan and conditional use variance from the requirements of Section _____ of the Bernards Township Zoning Ordinance so as to permit construction of a two-story 80 unit assisted living/memory care facility on property designated as Block 8201, Lots 22 & 23 on the Tax Map of the Township of Bernards (the “Property”), which is located in the R-6 Zone District where assisted living facilities are permitted as a conditional use.. The proposed facility includes 51 assisted living units and 29 memory care units.

The following variances are requested in connection with this application:

Sec. 21-12.3m.5.(b)- The lot or tract on which the assisted living facility is situated must front on the county road known as “King George Road”.

Sec. 21-12.3.m.(6b)- Minimum lot frontage and width:

Required-500 feet

Proposed-440 feet

Approval is also sought for such other variances, waivers and/or relief as the Zoning Board may deem appropriate or necessary from the requirements of the Township of Bernards Zoning Ordinance at the time of the hearing in this matter. This notice is sent to you as an owner of property in the immediate vicinity.

A public hearing has been set in this matter for _____, 2021 at 7:30 p.m. or as soon thereafter as this matter may be reached, in the Municipal Building, 1 Collyer Lane, Basking Ridge, New Jersey, and, when the case is called, you may appear either in person, or by attorney, and present any objections which you may have to granting of the relief sought in the petition.

The application and plans submitted in support thereof are on file in the office of the Secretary, Planning Offices located at 277 South Maple Avenue, Monday through Friday, 8:30 A.M. to 4:30 P.M. and are available for inspection. If possible, call to make an appointment at (908) 204-3026.

The Applicant, by order of the Board of Adjustment, sends this notice to you.

BRAEMAR PARTNERS
13140 Freemanville Road
Milton, GA 30004

c/o **Jeffrey B. Lehrer, Esq.**
(908) 757-7800, ext. 180

DATED:



SOMERSET COUNTY
DOCUMENT COVER SHEET

HON. STEVE PETER
SOMERSET COUNTY CLERK
PO BOX 3000
20 GROVE STREET
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US



INSTRUMENT # 2019028383

BOOK: 7139 PAGE: 2453-2459

(Official Use Only)

DATE OF DOCUMENT: 7/26/2019	TYPE OF DOCUMENT: Deed
FIRST PARTY (Grantor, Mortgagor, Seller or Assignor) Rica Realty Rental Group II, LLC, Donald Rica and Frank Rica, Manager	SECOND PARTY (Grantee, Mortgagee, Buyer, Assignee) Rica Rental Realty, LLC, Donald Rica and Frank Rica, Manager
ADDITIONAL PARTIES:	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
MUNICIPALITY: Bernards	MAILING ADDRESS OF GRANTEE: 151 Mt. Bethel Rd., Warren, NJ 07059
BLOCK: 8201 (f/k/a 183)	
LOT: 23 (f/k/a 36)	
CONSIDERATION: \$ 530,000.00	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE

DO NOT REMOVE THIS PAGE
THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD
RETAIN THIS PAGE FOR FUTURE REFERENCE

DEED

Prepared by:


Joseph A. Lambariello, Esq.

This Deed is made on July 26, 2019

BETWEEN RICA REALTY RENTAL GROUP II, LLC, a New Jersey Limited Liability Company, DONALD RICA AND FRANK RICA, MANAGER, whose post office address is 151 Mt. Bethel Rd., Warren, NJ 07059, referred to as the "Grantor,"

AND RICA RENTAL REALTY, L.L.C., a New Jersey Limited Liability Company, DONALD RICA AND FRANK RICA, MANAGER, whose address is about to be 151 Mt. Bethel Rd., Warren, NJ 07059, referred to as the "Grantee."

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to Grantee. This transfer is made for the sum of Five Hundred and Thirty Thousand dollars (\$530,000.00). The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Township of Bernards

Block No. 8201 (f/k/a 183) Lot No. 23 (f/k/a 36) Account No.

☐ No property tax identification number is available on the date of this deed.
(Check box if applicable)

Property. The property consists of the land and all buildings and structures on the land in the Township of Bernards, County of Somerset and State of New Jersey. The legal description is:

BEGINNING at a point in the center line of Valley Road (center line by deed), said point being distant 200.00 feet easterly from the lands now or formerly Henry Pl. Williams, Thence (1) North 25 degrees 31 minutes East 905.00 feet to a point;
Thence (2) North 84 degrees 30 minutes East 69.00 feet to a point;
Thence (3) North 35 degrees 46 minutes East 35.00 feet to a point in the Passaic River;
Thence (4) Along said river, South 88 degrees 02 minutes 09 seconds East 21.10 feet to a point;
Thence (5) South 16 degrees 07 minutes West 1010.00 feet to a point in the center line of Valley Road (center line by deed);
Thence (6) along said center line, North 61 degrees 30 minutes West 250.00 feet to the point and place of BEGINNING.

BEING commonly known as 3066 Valley Rd., Bernards, New Jersey

BEING the same premises conveyed to Rica Realty Rental Group II, LLC, by Deed from Donald J. Rica, Individually, dated August 22, 2007, and recorded on September 7, 2007, in the Somerset County Clerk's Office in Deed Book 6065 at Page 1113.



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

Rica Realty Rental Group II, LLC, Donald Rica, Manager

Current Street Address

151 Mt. Bethel Rd.

City, Town, Post Office Box

Warren

State

NJ

Zip Code

07059

PROPERTY INFORMATION

Block(s)

8201 (f/k/a 183)

Lot(s)

23 (f/k/a 36)

Qualifier

Street Address

3066 Valley Road

City, Town, Post Office Box

Bernards

State

NJ

Zip Code

07920

Seller's Percentage of Ownership

100%

Total Consideration

\$530,000.00

Owner's Share of Consideration

\$530,000.00

Closing Date

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

X 7/26/19
Date

X
Signature
(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature
(Seller) Please indicate if Power of Attorney or Attorney in Fact



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

Rica Realty Rental Group II, LLC, Frank Rica, Manager

Current Street Address

151 Mt. Bethel Rd.

City, Town, Post Office Box

Warren

State

NJ

Zip Code

07059

PROPERTY INFORMATION

Block(s)

8201 (f/k/a 183)

Lot(s)

23 (f/k/a 36)

Qualifier

Street Address

3066 Valley Road

City, Town, Post Office Box

Bernards

State

NJ

Zip Code

07920

Seller's Percentage of Ownership

100%

Total Consideration

\$530,000.00

Owner's Share of Consideration

\$530,000.00

Closing Date

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

Date

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

Signature

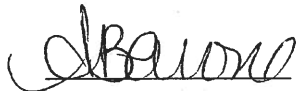
(Seller) Please indicate if Power of Attorney or Attorney in Fact

SUBJECT to covenants, conditions, easements, and restrictions of record, if any, zoning ordinances, and such state of fact as an accurate survey of the premises may disclose.

Promise by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to the grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. The Grantor signs the Deed as of the date at the top of the first page.

Witnessed by:

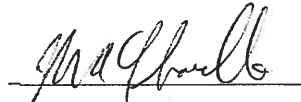

DONALD RICA, MANAGER
FRANK RICA, MANAGER

STATE OF NEW JERSEY)
)
COUNTY OF SOMERSET)

SS.:

I CERTIFY that on July 26 2019, Donald Rica and Frank Rica, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$530,000.00 as full and actual consideration paid or to be paid for the transfer of title (such consideration is defined in N.J.S.A. 46:15-5).


Attorney at Law/Notary Public
State of New Jersey

JOSEPH A. LUCAS
ATTORNEY AT LAW
STATE OF NEW JERSEY

DEED

Dated: 7/26, 2019

RICA REALTY RENTAL GROUP II, LLC,
a New Jersey Limited Liability Company

Grantor

TO

RICA RENTAL REALTY, L.L.C., a New
Jersey Limited Liability Company

Grantee

Record and return to:

JOSEPH A. LAMBARIELLO, ESQ.
LAMBARIELLO & PILATO, LLC
37 Mountain Blvd., Suite 1
Warren, NJ 07059



Steve Peter
Somerset County Clerk
20 Grove Street
P.O. Box 3000
Somerville, NJ 08876

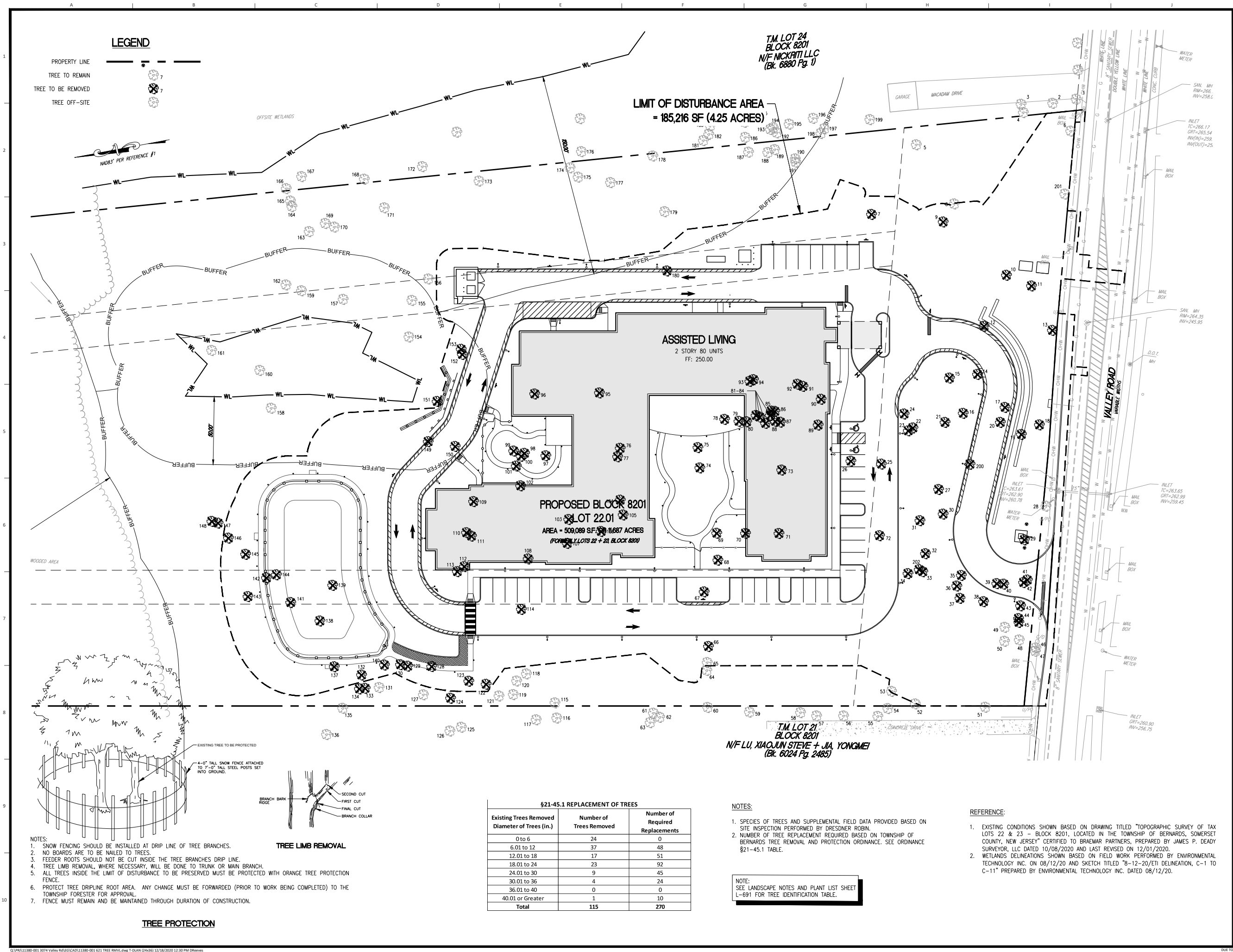
Date Recorded:	8/6/2019	9:48:55 AM
Recorded By:	GONCALVES	
Book & Page:	OPR 7139	2453-2459
Instrument No.:	2019028383	
Number of Pages:	7	
Document Type:	DEED	
Consideration:	\$530,000.00	
Exemption:	OS OVER 350K STD/NO EXEMPTION	
NJ Realty Transfer Fee:	\$4,463.00	
Recording Fee (inc all addtl charges):	\$93.00	

DO NOT DISCARD

**TOWNSHIP OF BERNARDS
APPLICATION FOR TREE REMOVAL PERMIT**

Date 01-21-2021

1. Name and address of the owner of the premises and status of legal entity (individual, partnership, corporation of this or any other state, etc.)
RICA Properties, LLC (Lot 22) and RICA Realty Rental Group II, LLC (Lot 23)
151 Mount Bethel Road
Warren, New Jersey 07059
2. Status of the applicant with respect to land (owner, lessee, tenant, purchaser, under contract, etc.)
Under contract
3. Name and address of the applicant for the permit if other than the owner (attach owner's written consent)
BPS Basking Ridge Project GP, LP
13140 Freemanville Road
Milton, Georgia 30004
4. Description of the premises where tree removal is to take place, including lot and block numbers and street address
Tree removal within limit of disturbance, as shown on
L-621 of proposed assisted living facility located within Block 8201, Lots 22 and 23;
3066 and 3074 Valley Road in the Township of Bernards, Somerset County, NJ.
5. A list of all trees to be removed with a DBH equal to or greater than six inches identified by size and species, including total number of each species to be removed (attach separate sheet if necessary)
See Tree Removals Plan/Tree Identification, sheet L-621 and
Landscape Notes and Plant List, sheet L-691.
6. Purpose for tree removal (construction, street or roadway, driveway, utility easement, recreation areas, patio, parking lot, etc.)
Construction of 2 story 80 unit assisted living
facility with associated site improvements, landscaping, lighting, utilities, and
parking lot.
7. Proof that there are no delinquent property taxes or assessments due on the property for which the application is submitted (attach certification from tax collector)
8. Trees that had been removed within the past two years
0



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION: 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

OWNER (LOT 22):
RICA PROPERTIES, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):
RICA REALTY RENTAL GROUP II, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:
BRAEMAR PARTNERS
13140 FREEMANVILLE ROAD
MILTON, GA 30004

TREE REMOVALS PLAN/ TREE IDENTIFICATION

ARBOR TERRACE BASKING RIDGE

LOCATION:
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

MARK A. VIZZINI
LICENSED LANDSCAPE ARCHITECT
NJ LICENSE NUMBER 21A5000852

SCALE: 1"=30'

30 15 0 30

SCALE: 1"=30'

DRAWN BY: WHL
CHECKED BY: MV
DATE: 12-11-2020
DRAWING NUMBER: L-621
JOB NO: 11380-001
SHEET 09 OF 23

1
2
3
4
5
6
7
8
9
10

TREES

KEY	QT
AD	16

KEY	QTY	BOT
IOK	1	Illo

IOK	1
IOJP	17

KEY	
AGK	

CAR	33
-----	----

KEY	QTY
ANA	60

ANA	80
HSD	39

KEY	QTY	BUTANIC
CKE	136	Calamag

PV	68
----	----

KEY
Seeded Lawn

Native Grass

1 TOPSON

- EQUIPME

- BE REMOVED FROM BASKET

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

REVISIONS:
OWNER (LOT 22):

OWNER (LOT 22):

151 MOUNT BETHEL ROAD

OWNER (LOT 23):

RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059**DRAEMAR PARTNERS**

13140 FREEMANVILLE ROAD

1. *Journal of the American Medical Association*, 1997; 277: 1039-1043.

1. *Journal of the American Medical Association*, 1997; 277: 1039-1043.

1. *Journal of Management Studies*, 1990, 27, 1, 1-13.

1. *Journal of the American Medical Association*, 2000; 284: 2689-2695.

1. *Journal of the American Medical Association*, 2000; 284: 2689-2695.

3066-3074 VALLEY ROAD

TOWNSHIP OF BERNARDS
SOMERSET COUNTY

~~11/14/...~~ 12/11/2020

MARK A. VIZZINI

TX LICENSE NUMBER 21A3000852

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

DRAWN BY:	CHECKED BY:	DRAWING NUMBER:
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SCALE: NTS	DATE: 12-11-2020	L-051
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INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING

2020 FINAL/2021 PRELIMINARY TAX BILL

BERNARDS TOWNSHIP



BLOCK NUMBER		LOT NUMBER		QUALIFICATION		EXPLANATION OF TAXES		
8201		23						
Property	3066 VALLEY RD					DESCRIPTION	RATE PER \$100	AMOUNT OF TAX
Building	1S-F-R-2AG					COUNTY TAX	0.330	1509.42
Additional	FP					COUNTY OPEN SPACE TAX	0.032	146.37
Land Dimens.	3.40AC					DISTRICT SCHOOL TAX	1.389	6353.29
Bank	00660	Mortgage		Tax Acct	9239	LOCAL MUNICIPAL TAX	0.308	1408.79
ASSESSED VALUATION INFORMATION						MUNICIPAL LIBRARY TAX	0.035	160.09
LAND: 323400		IMPROVEMENTS: 134000		TOTAL: 457400				
EXEMPTIONS:		NET TAXABLE VALUE:		457400				



RICA RENTAL REALTY LLC
151 MOUNT BETHEL RD
WARREN NJ 07059

2020 TOTAL TAX	2.094	9577.96
2020 NET TAX		9577.96
LESS 2020 PREV. BILLED		4744.31
BALANCE OF 2020 TAX		4833.65

2020 3RD QTR DUE AUG 1, 2020	2,453.42	2020 4TH QTR DUE NOV 1, 2020	2,380.23	2021 1ST QTR DUE FEB 1, 2021	2,394.49	2021 2ND QTR DUE MAY 1, 2021	2,394.49
INFORMATION FOR TAX PAYERS				2021 PRELIMINARY TAX			
MAKE CHECK PAYABLE TO:				PRELIMINARY TAX IS EQUAL TO ONE HALF OF 2020 TOTAL NET TAX			
MAIL TO:				4,788.98			
				DISTRIBUTION OF TAXES BEFORE REAP			

STATE AID USED TO OFFSET LOCAL PROPERTY TAXES: The budgets of government agencies funded by this tax bill include State aid used to reduce property taxes. State aid offset information for the current year municipal tax bills will start becoming available at the end of July. Access the Division of Local Government Service' website at http://www.nj.gov/dca/divisions/dlgs/resources/property_tax.html to find (based on assessed value of this parcel) the amount of State aid used to offset property taxes on this parcel.

BERNARDS TOWNSHIP				2021-2	BERNARDS TOWNSHIP				2021-1
TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2021 2ND QUARTER TAX DUE MAY 1, 2021					TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2021 1ST QUARTER TAX DUE FEBRUARY 1, 2021				
BLOCK NUMBER 8201	LOT NUMBER 23	QUALIFICATION	BANK CODE 00660		BLOCK NUMBER 8201	LOT NUMBER 23	QUALIFICATION	BANK CODE 00660	
TAX ACCOUNT NUMBER 00009239	TAX BILL NUMBER	TAX AMOUNT DUE	DUE MAY 1, 2021		TAX ACCOUNT NUMBER 00009239	TAX BILL NUMBER	TAX AMOUNT DUE	DUE FEBRUARY 1, 2021	
			2394.49					2394.49	
			INTEREST					INTEREST	
			CASH					CASH	
			CHECK					CHECK	
			TOTAL					TOTAL	
RICA RENTAL REALTY LLC 3066 VALLEY RD					RICA RENTAL REALTY LLC 3066 VALLEY RD				
									

BERNARDS TOWNSHIP				2020-4	BERNARDS TOWNSHIP				2020-3
TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2020 4TH QUARTER TAX DUE NOVEMBER 1, 2020					TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2020 3RD QUARTER TAX DUE AUGUST 1, 2020				
BLOCK NUMBER 8201	LOT NUMBER 23	QUALIFICATION	BANK CODE 00660		BLOCK NUMBER 8201	LOT NUMBER 23	QUALIFICATION	BANK CODE 00660	
TAX ACCOUNT NUMBER 00009239	TAX BILL NUMBER	TAX AMOUNT DUE	DUE NOVEMBER 1, 2020		TAX ACCOUNT NUMBER 00009239	TAX BILL NUMBER	TAX AMOUNT DUE	DUE AUGUST 1, 2020	
			2380.23					2453.42	
CREDIT:			2380.23-		CREDIT:			2453.42-	
AMT DUE:			0.00		AMT DUE:			0.00	
			INTEREST					INTEREST	
			CASH					CASH	
			CHECK					CHECK	
			TOTAL					TOTAL	
RICA RENTAL REALTY LLC 3066 VALLEY RD					RICA RENTAL REALTY LLC 3066 VALLEY RD				
									

2020 FINAL/2021 PRELIMINARY TAX BILL

BERNARDS TOWNSHIP



BLOCK NUMBER		LOT NUMBER		QUALIFICATION		EXPLANATION OF TAXES		
8201		22						
Property	3074 VALLEY RD					DESCRIPTION	RATE PER \$100	AMOUNT OF TAX
Building	2S-F-L					COUNTY TAX	0.330	1729.86
Additional	FP					COUNTY OPEN SPACE TAX	0.032	167.74
Land Dimens.	7.82AC					DISTRICT SCHOOL TAX	1.389	7281.14
Bank	Mortgage		Tax Acct	9238		LOCAL MUNICIPAL TAX	0.308	1614.54
ASSESSED VALUATION INFORMATION						MUNICIPAL LIBRARY TAX	0.035	183.47
LAND: 416200		IMPROVEMENTS: 108000		TOTAL: 524200				
EXEMPTIONS:		NET TAXABLE VALUE:		524200				



RICA PROPERTIES LLC
151 MT BETHEL RD
WARREN NJ 07059

2020 TOTAL TAX	2.094	10976.75
2020 NET TAX		10976.75
LESS 2020 PREV. BILLED		5874.38
BALANCE OF 2020 TAX		5102.37

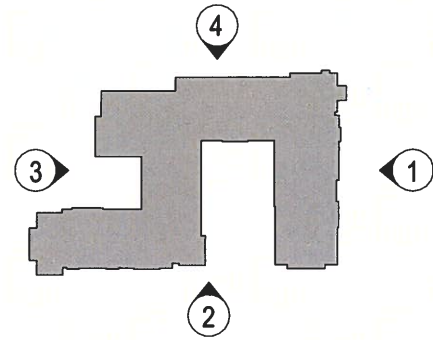
2020 3RD QTR DUE AUG 1, 2020	2,593.12	2020 4TH QTR DUE NOV 1, 2020	2,509.25	2021 1ST QTR DUE FEB 1, 2021	2,744.19	2021 2ND QTR DUE MAY 1, 2021	2,744.19
INFORMATION FOR TAX PAYERS				2021 PRELIMINARY TAX			
MAKE CHECK PAYABLE TO:				PRELIMINARY TAX IS EQUAL TO ONE HALF OF 2020 TOTAL NET TAX			
MAIL TO:				5,488.38			
				DISTRIBUTION OF TAXES BEFORE REAP			

STATE AID USED TO OFFSET LOCAL PROPERTY TAXES: The budgets of government agencies funded by this tax bill include State aid used to reduce property taxes. State aid offset information for the current year municipal tax bills will start becoming available at the end of July. Access the Division of Local Government Service' website at http://www.nj.gov/dca/divisions/dlgs/resources/property_tax.html to find (based on assessed value of this parcel) the amount of State aid used to offset property taxes on this parcel.

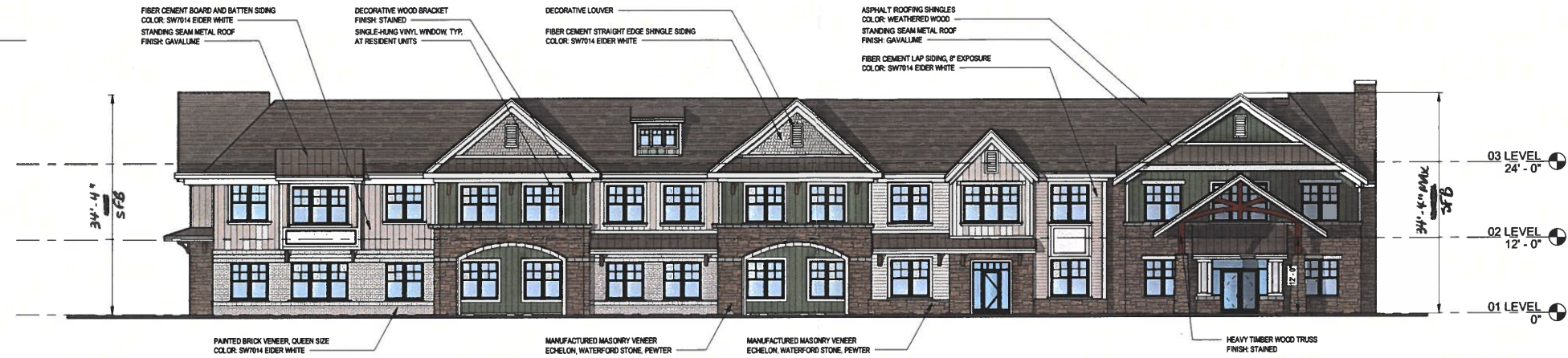
BERNARDS TOWNSHIP				2021-2	BERNARDS TOWNSHIP				2021-1
TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2021 2ND QUARTER TAX DUE MAY 1, 2021					TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2021 1ST QUARTER TAX DUE FEBRUARY 1, 2021				
BLOCK NUMBER 8201	LOT NUMBER 22	QUALIFICATION	BANK CODE		BLOCK NUMBER 8201	LOT NUMBER 22	QUALIFICATION	BANK CODE	
TAX ACCOUNT NUMBER 00009238	TAX BILL NUMBER	TAX AMOUNT DUE	DUE MAY 1, 2021		TAX ACCOUNT NUMBER 00009238	TAX BILL NUMBER	TAX AMOUNT DUE	DUE FEBRUARY 1, 2021	
			2744.19					2744.19	
								CREDIT:	27.75-
								AMT DUE:	2716.44
			INTEREST					INTEREST	
			CASH					CASH	
			CHECK					CHECK	
			TOTAL					TOTAL	
RICA PROPERTIES LLC 3074 VALLEY RD					RICA PROPERTIES LLC 3074 VALLEY RD				
									

BERNARDS TOWNSHIP				2020-4	BERNARDS TOWNSHIP				2020-3
TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2020 4TH QUARTER TAX DUE NOVEMBER 1, 2020					TAX COLLECTOR'S STUB - DETACH AND RETURN WITH YOUR CHECK 2020 3RD QUARTER TAX DUE AUGUST 1, 2020				
BLOCK NUMBER 8201	LOT NUMBER 22	QUALIFICATION	BANK CODE		BLOCK NUMBER 8201	LOT NUMBER 22	QUALIFICATION	BANK CODE	
TAX ACCOUNT NUMBER 00009238	TAX BILL NUMBER	TAX AMOUNT DUE	DUE NOVEMBER 1, 2020		TAX ACCOUNT NUMBER 00009238	TAX BILL NUMBER	TAX AMOUNT DUE	DUE AUGUST 1, 2020	
			2509.25					2593.12	
			CREDIT:	2509.25-				CREDIT:	2593.12-
			AMT DUE:	0.00				AMT DUE:	0.00
			INTEREST					INTEREST	
			CASH					CASH	
			CHECK					CHECK	
			TOTAL					TOTAL	
RICA PROPERTIES LLC 3074 VALLEY RD					RICA PROPERTIES LLC 3074 VALLEY RD				
									

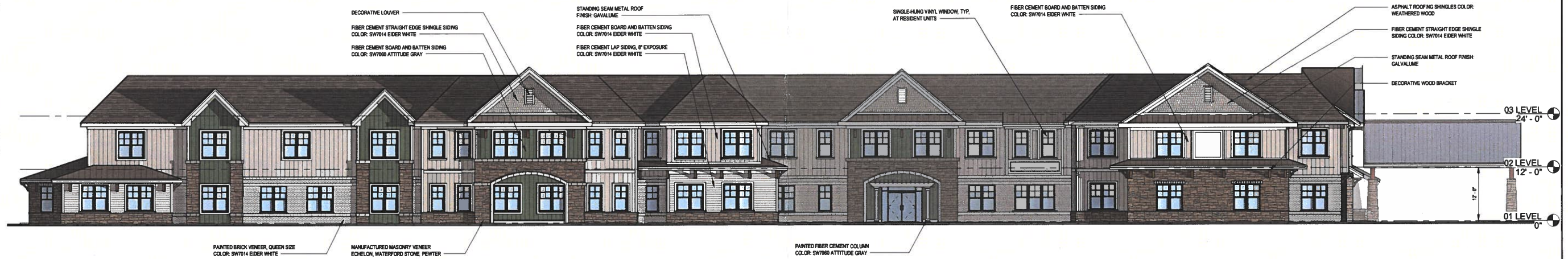




ELEVATION LEGEND
1" = 80'-0"



1 EAST BUILDING ELEVATION
FS0.05 3/32" = 1'-0"



2 SOUTH BUILDING ELEVATION
FS0.05 3/32" = 1'-0"

EXTERIOR BUILDING ELEVATIONS

12/11/20

BRAEMAR PARTNERS
BASKING RIDGE N.J.
VALLEY ROAD

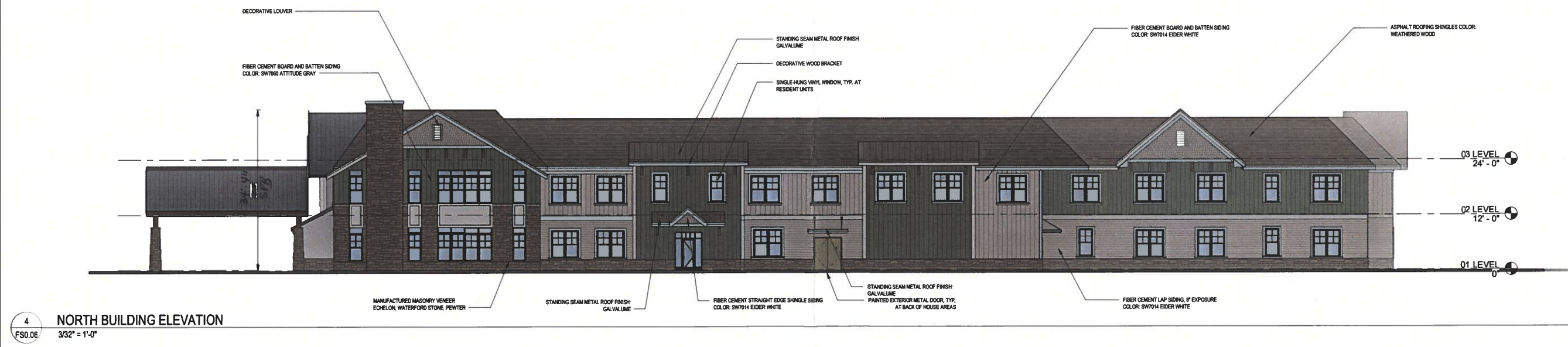
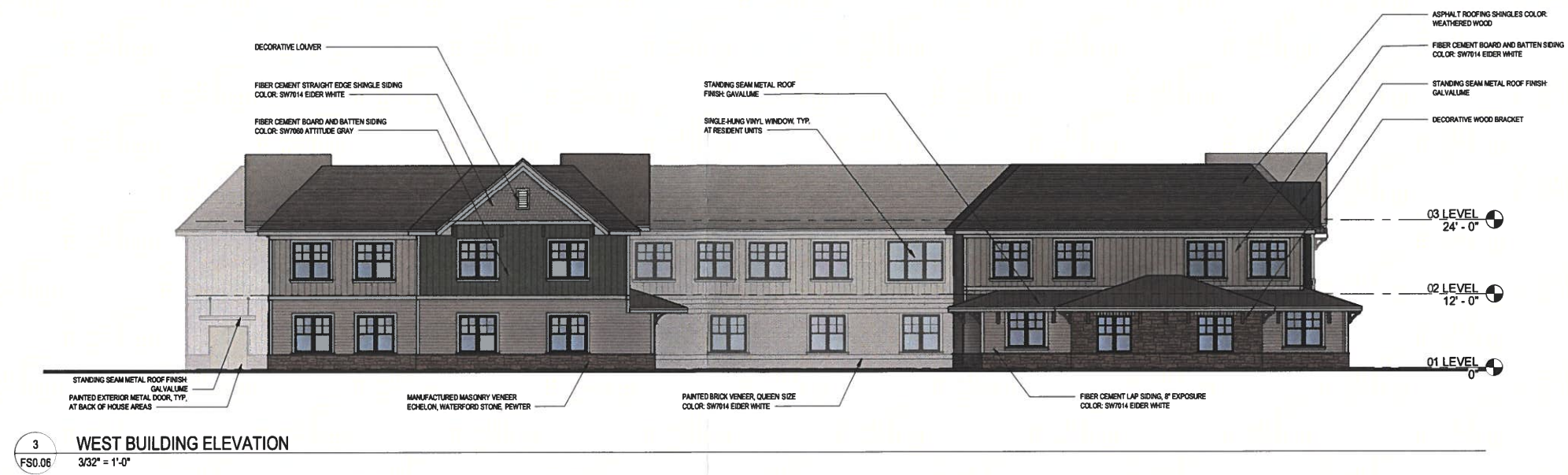
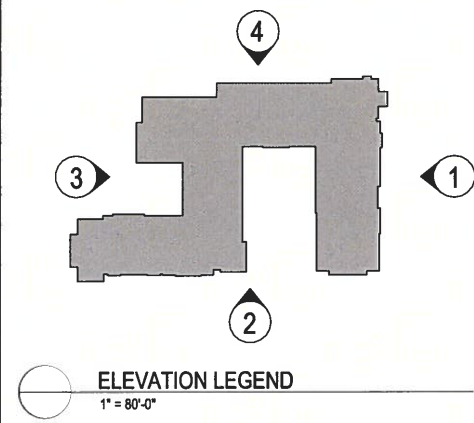


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VOICE • 610.649.8500 FAX • 610.649.8509
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Handwritten signature/initials in blue ink.

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EXTERIOR BUILDING ELEVATIONS

12/11/20

BRAEMAR PARTNERS
BASKING RIDGE N.J.
VALLEY ROAD



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TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- ☐ Bulk or Dimensional ("c") Variance
☐ Use ("d") Variance
☐ Conditional Use ("d") Variance
☐ Floor Area Ratio, Density, or Height ("d") Variance
☐ Site Plan - Preliminary / Final

- ☐ Appeal of Zoning Officer's Decision
☐ Interpretation of Zoning Ordinance
☐ Minor Subdivision
☐ Major Subdivision - Preliminary / Final
☐ Other (specify):

1. APPLICANT: Braemar Partners

Address: 13140 Freemanville Road, Milton, Ga. 30004

Phone: (home) _____ (work) _____ (mobile) 404-402-9489

Email (will be used for official notifications): cstanfield@braemarpartners.com

2. OWNER (if different from applicant): Rica Properties LLC (Lot 22) & Rica Realty Rental Group LLC (Lot 23)

Address: 151 Mt. Bethel Rd., Warren, N.J. 07059

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: Jeffrey Lehrer, Esq.

Address: 15 Mountain Blvd, Warren, N.J. 07059

Phone: 908-757-7800 ext. 180 Email (will be used for official notifications): jlehrer@newjerseylaw.net

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary): See attached

Name: _____ Profession: _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

5. PROPERTY INFORMATION: Block(s): 8201 Lot(s): 22 & 23 Zone: _____

Street Address: 3066-3074 Valley Road Total Area (square feet/acres): 509,089 S.F. / 11.69 ac.

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☐ No ☐ Yes (if yes, explain) Zoning information provided is for the lots as consolidated, and in accordance with the conditional use standards.

OTHER PROFESSIONALS

Engineer: Grant Lewis, P.E.
Dresdner Robin
55 Lane Road
Suite 220
Fairfield, New Jersey 07004
Phone: 973-696-2600

Architect: Meyer Design Inc.
227 East Lancaster Ave.
Ardmore Design 19003
Phone: 610-649-8500

Traffic Engineer: Atlantic Traffic and Design
30 Independence Boulevard
Warren, New Jersey 07059

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?
[X] No [] Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____
See attached

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):
See attached

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____
See attached

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

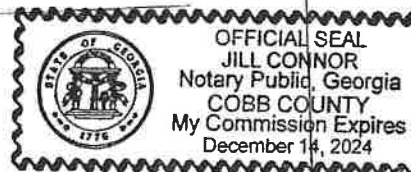
I/we, Robert Stanfield and _____ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): _____ and _____

Sworn and subscribed before me, this 15th day of December, 2020

Notary

Jill Connor



OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

DESCRIPTION OF THE PROPERTY AND PROPOSED PROJECT

Applicant is proposing to construct an 80 unit, 87 bed assisted living facility on property designated as Block 8201, Lots 22 & 23 on the Tax Map of the Township of Bernards. (the "Property"), more commonly known as 3066 Valley Road (Lot 22) and 3074 Valley Road (Lot 23). The Property currently includes two single-family homes, one on each existing lot.

Applicant proposes to remove the two existing homes, consolidate the two lots and construct a two-story 80 unit, 87 bed assisted living facility (the "Facility") including units for memory care and assisted living. The units will be studio, one-bedroom and two-bedroom units. The Facility will also include, among other things, dining rooms, activity rooms, library, theater and outdoor court yard areas. Forty-two parking spaces are also proposed, where only 40 are required. More specific information is provided in the Statement of Building Use attached, and will be presented through testimony at the public hearing.

Statement of Building Use:

The Applicant proposes to construct a two-story 80 unit assisted living/memory care facility. The proposed facility includes 51 assisted living units and 29 memory care units.

The proposed facility will promote aging in place in a homelike setting for frail elderly and disabled persons, including persons who require formal long-term care. The facility will assure that residents receive supportive health and social services as they are needed to enable them to maintain their independence, individuality, privacy and dignity in an apartment-style living unit. The assisted living environment promotes resident self-direction and personal decision-making while protecting residents' health and safety. The proposed facility will be for senior citizens who are able to live independently in apartment-style units but require some assistance with the activities of daily living. The facility will offer a suitable living arrangement for persons with a range of capabilities, disabilities, frailties and strengths.

At minimum, the facility will provide:

- (a) Indoor and outdoor recreational facilities.
- (b) Physical therapy facilities.
- (c) Entertainment facilities.
- (d) Libraries.
- (e) Dining facilities and food preparation facilities.
- (f) Housekeeping and laundry services.
- (g) Emergency medical services and private emergency transportation facilities.
- (h) Twenty-four-hour staffed reception area, including a security person available at all times to respond to and handle emergency situations and inquiries.

Minimum basic services at the community shall include:

- (a) Assistance with eating, bathing and dressing.
- (b) Assistance with arranging transportation.
- (c) Assistance with personal and household chores.
- (d) Housekeeping and linen service.
- (e) Availability of three meals a day in a congregate setting.
- (f) Organized social and recreational activities.
- (g) Medication reminders and supervision.
- (h) Monitoring of nutrition and health.

(i) Protective supervision.

(j) Twenty-four-hour response to emergency needs of the residents.

(k) Services coordination and management.

Residents in facility ALF shall be restricted to persons 55 years of age or older except that residents within the facility also may include the following persons:

(a) A spouse under 55 years of age married to and living with an occupant who is over that age;

(b) Persons over 21 years of age who are related to, employed by or on the basis of friendship desire to live with an occupant who is 55 years of age or older; or

(c) A person under 55 years of age who is admitted to the special needs unit of the ALF with Alzheimer's disease or a similar affliction or handicap

The proposed facility will provide units affordable to low- and moderate-income persons as defined by the State of New Jersey Council on Affordable Housing (COAH) at a rate of at least ten (10%) percent of the number of units to be developed and in accordance with Bernards Township Land Development Ordinance Sec. 21-12.3.m.9.

DESCRIPTION OF VARIANCES AND EXCEPTIONS

The following variances are requested in connection with this application:

Sec. 21-12.3m.5.(b)- The lot or tract on which the assisted living facility is situated.

Sec. 21-12.3.m.(6b)- Minimum lot frontage and width:

Required-500 feet

Proposed-440 feet

The following exceptions are requested in connection with this application:

Sec. 21-41.3-Maximum footcandle for the average maintained horizontal illumination of vehicular roadways for residential use.

Permitted: 0.4 f.c.

Proposed: 1.4 f.c.

Sec. 21-41.3- Maximum footcandle for the average maintained horizontal illumination of sidewalks for residential use.

Permitted: 0.2 f.c.

Proposed: 1.0 f.c.

ARGUMENTS IN SUPPORT OF APPLICATION

This application (the "Application") proposes the development of an 80 unit assisted living facility on Block 8201, Lots 22 & 23 as designated on the Tax Map of the Township of Bernards (the "Property"). The Property is located in the R-6 Residential Zone district where assisted living facilities are a conditional use. One of the conditions of such use is that the assisted living facility front on the county road known as King George Road. The Property is located on Valley Road (CR 512) at a point before its designation changes to King George Road (CR 651). For all intents and purposes, Valley Road at this location is the same as King George Road, and is often referred to as such. Thus, the site is an appropriate location for this use despite the designation of the adjacent roadway as Valley Road. Furthermore, the variance can be granted without substantial detriment to the public good, and it will not substantially impair the intent and purpose of the zone plan or zoning ordinance.

The only other variance is a lot frontage and width variance where 500 feet is required but only 440 feet is proposed. This is a pre-existing condition. The Application meets all other area and setback requirements.

Further testimony will be provided at the public hearing on this Application.

CONSENT OF OWNER

I, Donald Rica, am the Managing Member of Rica Properties, LLC, the owner of Block 8201, Lot 22 as shown on the Tax Map of the Township of Bernards, and also the Managing Member of Rica Realty Rental Group II, the owner of Block 8201, Lot 23 as shown on the Tax Map of the Township of Bernards, both lots of which are the subject of this application. As such, I hereby authorize Braemar Partners to act as our agent for purposes of making and prosecuting this application, and I hereby consent to the variance relief granted and all conditions of approval thereof.

Signature: _____

Sworn to and subscribed before me this 14th day of December, 2020.

Barbara W. Lemley

BARBARA W. LEMLEY
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Jan. 31, 2024

TOWNSHIP OF BERNARDS
PLANNING BOARD/BOARD OF ADJUSTMENT

SITE INSPECTION CONSENT FORM

Applicant: Braemar Partners

Block: 8201 Lots: 22 & 23

Street Address: 3066-3074 Valley Road

I, Donald Rica, am the Managing Member of of Rica Properties, LLC, the owner of Block 8201, Lot 22 as shown on the Tax Map of the Township of Bernards, and also the Managing Member of Rica Realty Rental Group II, the owner of Block 8201, Lot 23 as shown on the Tax Map of the Township of Bernards. I hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter uponj the property at the time of the site inspection for the purpose of evaluating the application.

Signature: _____

Date: _____




SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	9.0 acres	11.69 acres	11.69 acres
LOT WIDTH	500 ft.	440 ft.	440 ft.
FRONTAGE	500 ft.	400 ft.	400 ft.
FRONT YARD SETBACK (bldg.)	125 ft.	67.2 ft.	
REAR YARD SETBACK (bldg.)	125 ft.	735.7 ft.	
COMBINED SIDE YARD (bldg.)	100 ft.	29.1 ft.	
SIDE YARD			
COVERAGE	26%		
HEIGHT	35' / 2.5 sty.	< 35' / 2 sty.	35.0 / 2 sty.
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO	15%	20%	14%
IF REQUIRED, IMPROVABLE LOT AREA			

APPENDIX B, ARTICLE III

Checklist

Application for Preliminary Approval of a Major Subdivision or Site Plan (See Article VII for Details)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist(s). If the application involves a wireless telecommunications tower and/or antennas, all items listed on the Wireless Telecommunications Facilities Checklist must be also be submitted.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	Title block indicating:	X		
	a. Name of development and street location.	X		
	b. Name and address of applicant, owner and authorized agent, if any.	X		
	c. Name and address of professional(s) preparing plans including signature, date, license number and seal.	X		
	d. Tax map block and lot numbers.	X		
	e. Date of plan preparation and revision box with date of each revision.	X		
	f. Development application number.	X		
	g. Written and graphic scale.	X		
6	Signature of applicant and, if applicant is not owner, signed consent of the owner.	X		
7	Name and address of the attorney representing parties, if any, and the name of each client represented.	X		
8	Signature blocks as required by the Map Filing Law.	X		
9	North arrow giving reference meridian.	X		
10	Copies of any protective covenants or deed restrictions applying to the subject property, including a statement as to whether such covenants or deeds are of record. A copy or abstract of the deed or deeds or other instruments by which title is derived with the names of all owners must also be provided.	X		
11	A key map showing the entire tract and its relation to the surrounding areas, including all roads, zone boundaries and municipal boundaries within one-half (1/2) mile of the subject property at a scale of one (1) inch equals not more than two thousand (2,000) feet.	X		
12	A zoning schedule indicating the zone(s) within which the property is located and required, existing & proposed conditions relative to lot area, width, frontage, yard setbacks, lot coverage, height, floor area, floor area ratio, density, open space, parking, loading, signs, etc.	X		
13	A list of required and obtained regulatory approvals and permits.	X		
14	A list of requested variances and exceptions.	X		
15	The location and dimensions of existing & proposed property lines, existing streets, streets shown on the Township's official map or master plan, structures (indicating the use of each structure and whether existing structures will remain or be removed), building setbacks, rights-of-way, easements, parking & loading areas, driveways, railroads, bridges, culverts, drain pipes, gas transmission lines, overhead utilities, historic sites/structures, wooded areas, watercourses, flood plains, wetlands or other environmentally sensitive areas on and within 200' of the subject property.	X		
16	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to § 21-14.1.a.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
17	Plans & profiles of proposed utility layouts, including water supply, sewage disposal, stormwater drainage, gas, telephone and electricity, showing feasible connections to existing or proposed systems. Plans for individual on-site water supply and/or sewage disposal systems shall be accompanied by the necessary local, county and/or state agency approvals. If service will be provided by an existing utility company, a letter from that company stating that service will be available before occupancy is required.			<i>partial</i>
18	The locations of percolation tests on each existing/proposed lot and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if sewage disposal is to be handled by individual septic system(s). For each lot, the applicant shall submit test locations and written approvals from the Health Department for both a primary and secondary septic disposal field. The applicant must show on the development plan the locations and dimensions of both septic disposal fields.	X		
19	All means of vehicular and pedestrian access to the site from public streets, including locations and dimensions of driveways and curbcuts and any traffic signs, signals, channelization, acceleration and deceleration lanes or other traffic control devices.	X		
20	Site identification sign and street sign locations and details.	X		
21	Existing & proposed topographic contour intervals based on U.S.C. & G.S. datum on and within 200' of the subject property as follows: - up to 3% grade = 1' intervals - over 3% grade = 2' intervals	X		
22	A steep slope map in accordance with § 21-14.2.b, if the property contains any existing slopes of 15% or greater.	X		
23	Spot and finished elevations at all property corners.		X	
24	A landscaping plan showing shade trees, screening, buffering, existing vegetation and limits of clearing, a planting schedule, details of plantings, landscape treatments and other amenities, etc. (see § 21-54.4 for detailed requirements).	X		
25	A tree identification plan and an application for tree removal permit including the following (see § 21-45.3 for detailed requirements):	X		
	a. Location of existing tree canopy and labeling of the canopy areas to be removed and to be preserved.	X		
	b. Location of individual trees with a DBH equal to or greater than six inches identified by size and species within the limit of disturbance and 30 feet beyond the limit of disturbance, labeled to be removed or to be preserved.	X		
	c. Location of individual trees with a DBH equal to or greater than ten inches identified by size and species within the property boundaries, labeled to be removed or to be preserved.	X		
	d. Tree protection details.	X		
	e. A list of all trees to be removed and, if replacement trees are required, a schedule in accordance with the table in § 21-45.1 indicating the number of replacement trees required and the number of replacement trees proposed.	X		
26	A lighting plan in accordance with Section 21-41, including the location, type, height, graphic details and specifications of all existing & proposed lighting. The plan shall show the proposed illumination in footcandle values throughout the site and shall identify the average maintained horizontal illumination in vehicular areas and in sidewalk areas.	X		
27	A soil erosion and sediment control plan, if required pursuant to Section 21-27.	X		
28	A solid waste management plan and a recycling plan, including locations and details of outdoor refuse and recycling storage areas and means of screening, in accordance with Sections 21-40 and 21-40A.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
29	Plans and profiles of proposed driveways.			<i>partial</i>
30	Plans, typical cross-sections, centerline profiles, tentative grades, curb radii and details of all streets on the site or off the site which are proposed to be improved, including curbing, sidewalks and drainage structures.	X		
31	Construction details in accordance with Township standards.	X		
32	Existing & proposed easements or land reserved for or dedicated to public use, utility use or for the common use of property owners in the development, including a statement of the limits and purpose of the easement rights or dedicated land.	X		
33	Existing & proposed sight triangles.	X		
34	Development staging plans.	X		
35	Existing & proposed block and lot numbers.	X		
36	The area in square feet and to the nearest tenth of an acre of all existing and proposed lots.	X		
37	A sketch of the proposed or possible layout or disposition of remaining lands, if any.	X		
38	General soil information including soil logs.	X		
39	Source and date of the current property survey and a copy of the survey showing all existing tract boundary or lot lines with lengths of courses to hundredths of a foot and bearings to half minutes, the error of closure not to exceed one (1) to ten thousand (10,000). The tract boundary or lot lines shall be clearly delineated. All bearings shall be in the New Jersey Plane Coordinate System, with coordinates shown on at least three (3) corners.	X		
40	Appropriate certification blocks as required by the Map Filing Law	X		
41	Monumentation as specified by the Map Filing Law.	X		
42	Metes and bounds description showing dimensions, bearings, curve data, length of tangents, radii, arcs, chords and central angles for all centerlines and rights-of-way and centerline curves on streets.	X		
43	Plans and computations for any storm drainage systems, including locations, details and specifications of all storm sewer lines, catch basins, inlets, manholes, culverts, headwalls, dry wells, ground water recharge basins, detention basins, etc. and existing and proposed drainage area maps.	X		
44	When a stream is proposed for alteration, improvement or relocation or when a drainage structure or fill is proposed over, under, in or along a running stream, intermittent stream, swale or drainageway, evidence of approval or of the request for approval, required modifications or lack of jurisdiction over the improvement by the New Jersey Department of Environmental Protection shall accompany the application (see § 21-54.4 for additional required details).	X		
45	When ditches, streams or watercourses are to be altered, improved or relocated, the method of stabilizing slopes and measures to control erosion and siltation, as well as typical ditch sections and profiles, shall be shown.	X		
46	For a site plan, preliminary elevations and plans of all buildings and structures, showing windows, doors, architectural treatment, roof treatment, roof appurtenances and screening, floor elevations and proposed methods of energy conservation and the locations, dimension and legend(s) of all proposed signs. For a subdivision, the approximate basement and first floor elevation for each house.	X		
47	A list of names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class or at least 10% of the interest in the partnership, as the case may be.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
48	A Project Report, which may be submitted separately or as part of the Environmental Impact Assessment, including the following (see § 21-54.6 for details). Where individual maps or exhibits are submitted separately to satisfy other checklist requirements, they may be referenced in the Project Report.	X		
	a. Project Description and Statistics Report.	X		
	b. Land Classification Map and Report.	X		
	c. Natural Features Report.	X		
	d. Open Space Plan and Report.	X		
	e. Land Coverage and Drainage Plan and Report.	X		
	f. Soil Erosion and Sedimentation Control Plan and Report.	X		
	g. Sewer and Water Plan and Report.	X		
	h. Circulation Plan and Traffic Report.	X		
	i. Utilities Plan and Report.	X		
	j. Development Schedule Plan.	X		
	k. Variances and Exceptions Report.	X		
	l. Easements and Covenants Report.	X		
49	An Environmental Impact Assessment, including the following (see § 21-54.6.m for details).	X		
	a. Plan and description of the development plan.	X		
	b. Inventory of existing natural resources.	X		
	c. Assessment of environmental impacts.	X		
	d. Unavoidable adverse environmental impacts.	X		
	e. Steps to minimize environmental damage.	X		
	f. Alternatives.	X		
	g. Details and matters to be evaluated:	X		
	(1) Sewerage facilities.	X		
	(2) Water supply.	X		
	(3) Storm water.	X		
	(4) Stream encroachments.	X		
	(5) Floodplains.	X		
	(6) Solid waste disposal.	X		
	(7) Air pollution.	X		
	(8) Traffic.	X		
	(9) Social/economic factors.	X		
	(10) Aesthetics.	X		
	(11) Licenses, permits, etc.	X		
	(12) A copy of the development plan and application form.	X		
50	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.	X		
51	Contribution Disclosure Statement, if required pursuant to Section 21-7A.	X		
52	A plan showing all the details required in the procedures of Table 401-A, entitled Maximum Permitted Lot Yield & Minimum Improvable Lot Area Standards, Residential Development, R-1 Through R-7 Zones.	X		
53	For each proposed dwelling, cross sections shall be provided from the center of the road to the rear of the house in existing and proposed conditions; cross sections shall be provided perpendicular to the road through the center of the dwelling to a point 50' to the rear of the dwelling; the cross section shall be provided at a scale of 1" = 10' horizontal and 1" = 10' vertical.		X	
54	A fire service plan, showing on a separate plan sheet(s) information relating to fire safety and emergency response, including: existing and proposed water lines, fire department connections, hydrants and cisterns; widths and turning radii of streets, driveways, parking aisles, emergency access roads and fire lanes; public building entrances; parking spaces; and stormwater drainage basins.	X		

APPENDIX C, ARTICLE III

Checklist

Application for Final Approval of a Major Subdivision or Site Plan

(See Article VII for Details)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	All items required for preliminary approval as set forth in § 21-54.4, unless previously waived by the Board.	X		
2	All additional items required by the Board as a condition of preliminary approval.		X	
3	A certificate from the tax collector indicating that taxes are paid.	X		
4	All required application and escrow deposit fees.	X		
5	Final detailed architectural renderings of each building and sign, including front, side and rear elevations.	X		
6	Final cross-sections, profiles and established grades of all streets, aisles, lanes and driveways and construction documents for all public improvements.	X		
7	Final plans and profiles of all storm sewers.			partial
8	Final plans and profiles of all sanitary sewers.			partial
9	Final plans and profiles of all water mains.			partial
10	All dimensions of the exterior boundaries of any subdivision, balanced and closed to a precision of one to 10,000, and the dimensions of all lot lines to within one to 20,000. All dimensions, angles and bearings must be tied to at least two permanent monuments not less than 300 feet apart and all information shall be indicated on the plat. At least one corner of the subdivision shall be tied to U.S.C. and G.S. benchmarks with data on the plat as to how the bearings were determined.	X		
11	Proposed street names.	X		
12	A Final Application Comparison Report, including:	X		
	a. The number and type of dwelling units.	X		
	b. The amount of nonresidential floor space.	X		
	c. The type of community facilities and/or structures.	X		
	d. The amount of open space to be preserved.	X		
	e. The nature and cost of public improvements.	X		
	f. The anticipated value of residential and nonresidential construction.	X		
	g. Finalized landscaping and tree removal information pursuant to Sections 21-43 through 21-45.	X		
	h. A comparison to the preliminary development approval, indicating the nature and reasons for any changes to the preliminary approval.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
13	Organization documents, including:			
	a. Articles of incorporation, by-laws and membership rules/regulations for any homeowner's association, condominium association or other organization to maintain the common open space or community facilities.	X		
	b. A copy of the master deed detailing the rights and privileges of individual owners of common property.	X		
	c. A copy of all materials submitted to the Department of Community Affairs as required by the New Jersey Planned Real Estate Development Full Disclosure Act Regulations and evidence of the status of acceptance of and/or approval by the Department of Community Affairs.	X		
	d. Covenants or easements restricting the use of the common open space or elements.	X		
	e. Covenants or agreements requiring homeowners or residents to pay the organization for the maintenance of the common open space and/or community facilities. This shall include a proposed schedule of membership fees for at least the first three years of operation.	X		
14	All easements or covenants affecting any land in the development.	X		
15	All maintenance agreements under which private roads and other facilities will be maintained, refuse collected and other supplementary services provided, if there is to be no homeowners' association, condominium association, open space organization or similar arrangement.	X		
16	An offer of dedication including all legal requirements for valid dedication to the Township or, where appropriate, to another governmental body of roads or other improvements intended for public ownership.	X		



ENVIRONMENTAL
TECHNOLOGY
INC.

Environmental Consultants



January 14, 2021

Mr. David Schley
Township Planner
Township of Bernards
277 South Maple Avenue
Basking Ridge, NJ 07920

Re: Site Plan Application
Braemar Partners
30-66-3074 Valley Road
Block 8201; Lots 22 & 23
Township of Bernards

Dear Mr. Schley:

This letter is to confirm that our office delineated the wetlands on the referenced site pursuant to the accepted New Jersey Department of Environmental Protection (NJDEP) methodology regulating same. These wetlands have been surveyed and depicted on the plans prepared by Dresdner Robin, entitled "Freshwater Wetlands LOI Plan and Freshwater Wetlands Transition Area Averaging Waiver Plan, Arbor Terrace, Basking Ridge," consisting of two separate sheets, both dated December 30, 2020. In addition, the proposed activities within the 150 foot and 50 foot transition area are consistent with the NJDEP Freshwater Wetlands Protection Act Rules pursuant to a Transition Area Waiver-Averaging Plan. The application for the letter of interpretation and transition area waiver were submitted to NJDEP on January 13, 2021.

Please feel free to contact our office should you have any questions.

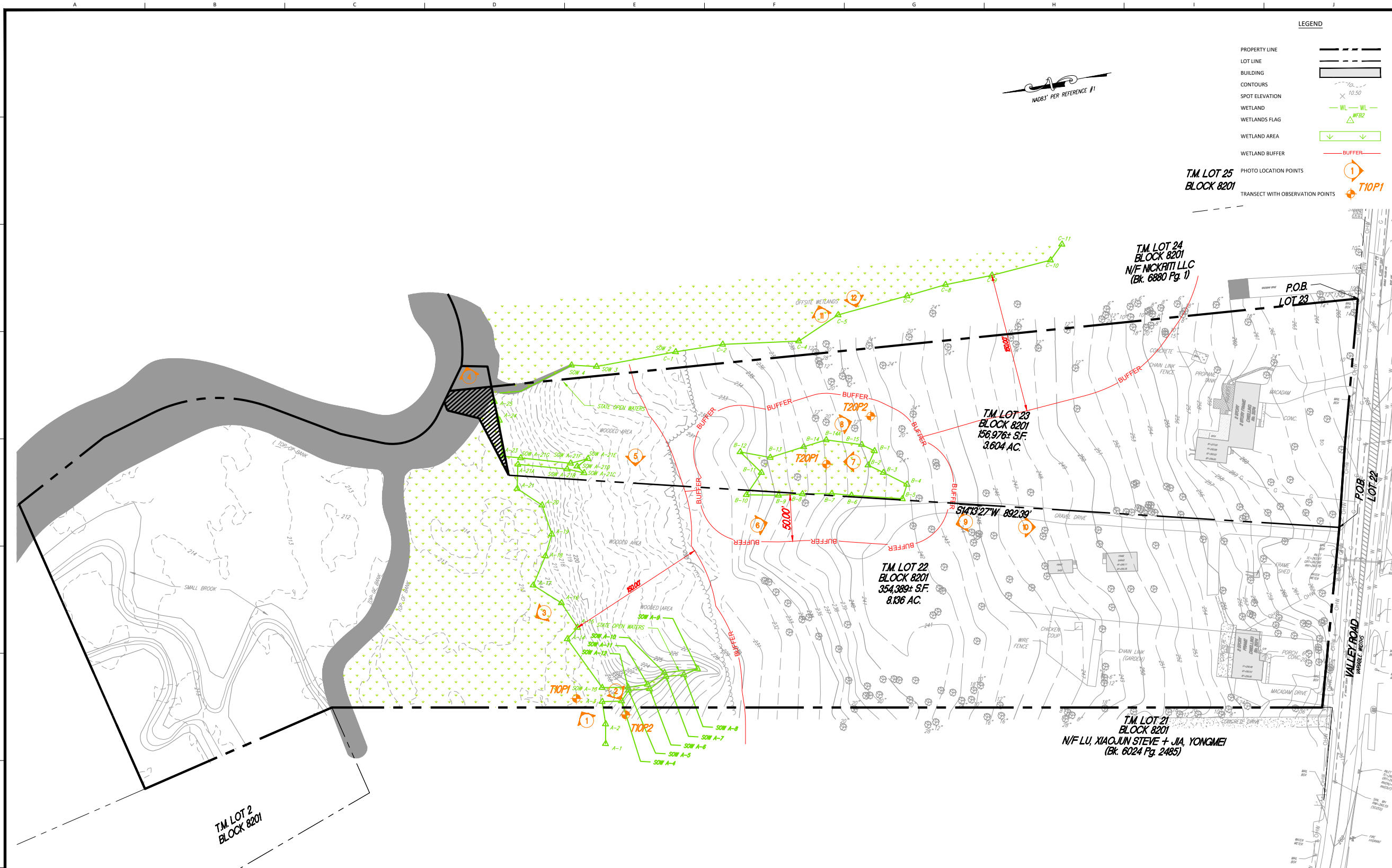


Very truly,

ENVIRONMENTAL TECHNOLOGY INC.

David C. Krueger, President
Professional Wetland Scientist 000662
Certified Wetland Delineator WDCP94MD03101146B

cc: Braemar Partners - via email
Dresdner Robin - via email



LEGEND

- PROPERTY LINE
- LOT LINE
- BUILDING
- CONTOURS
- SPOT ELEVATION
- WETLAND
- WETLANDS FLAG
- WETLAND AREA
- WETLAND BUFFER
- PHOTO LOCATION POINTS
- TRANSECT WITH OBSERVATION POINTS

T.M. LOT 25
BLOCK 8201

T.M. LOT 24
BLOCK 8201
N/F NICKATTI, LLC
(Bk. 6880 Pg. 1)

T.M. LOT 23
BLOCK 8201
158,976± S.F.
3.604 AC.

T.M. LOT 22
BLOCK 8201
354,389± S.F.
8.136 AC.

T.M. LOT 21
BLOCK 8201
N/F LU, XIAOJUN STEVE + JIA, YONGMEI
(Bk. 6024 Pg. 2485)

NOTES:

1. THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES OF FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONSULT WWW.NJ.GOV/DEP/LANDUSE OR CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ONSITE.
2. THIS PLAN IS FOR REVIEW OF WETLAND RELATED PERMITS. FOR OTHER SITE RELATED INFORMATION SEE OTHER SITE PLAN DRAWINGS.

REFERENCES:

1. EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
2. WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
3. SUPPLEMENTAL CONTOURS SHOWN BASED ON "2008 NJ STATEWIDE LIDAR: SOMERSET COUNTY" BY USGS/NUDEP.
4. PER REFERENCE #1 ELEVATIONS AREA REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD88).

DRESDNER
ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO.	DATE	DESCRIPTION	BY
-----	------	-------------	----

REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

**RICA REALTY
RENTAL GROUP II, LLC**
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS
13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

**FRESHWATER
WETLANDS LOI PLAN**

PROJECT:

**ARBOR TERRACE
BASKING RIDGE**

LOCATION:

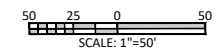
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis

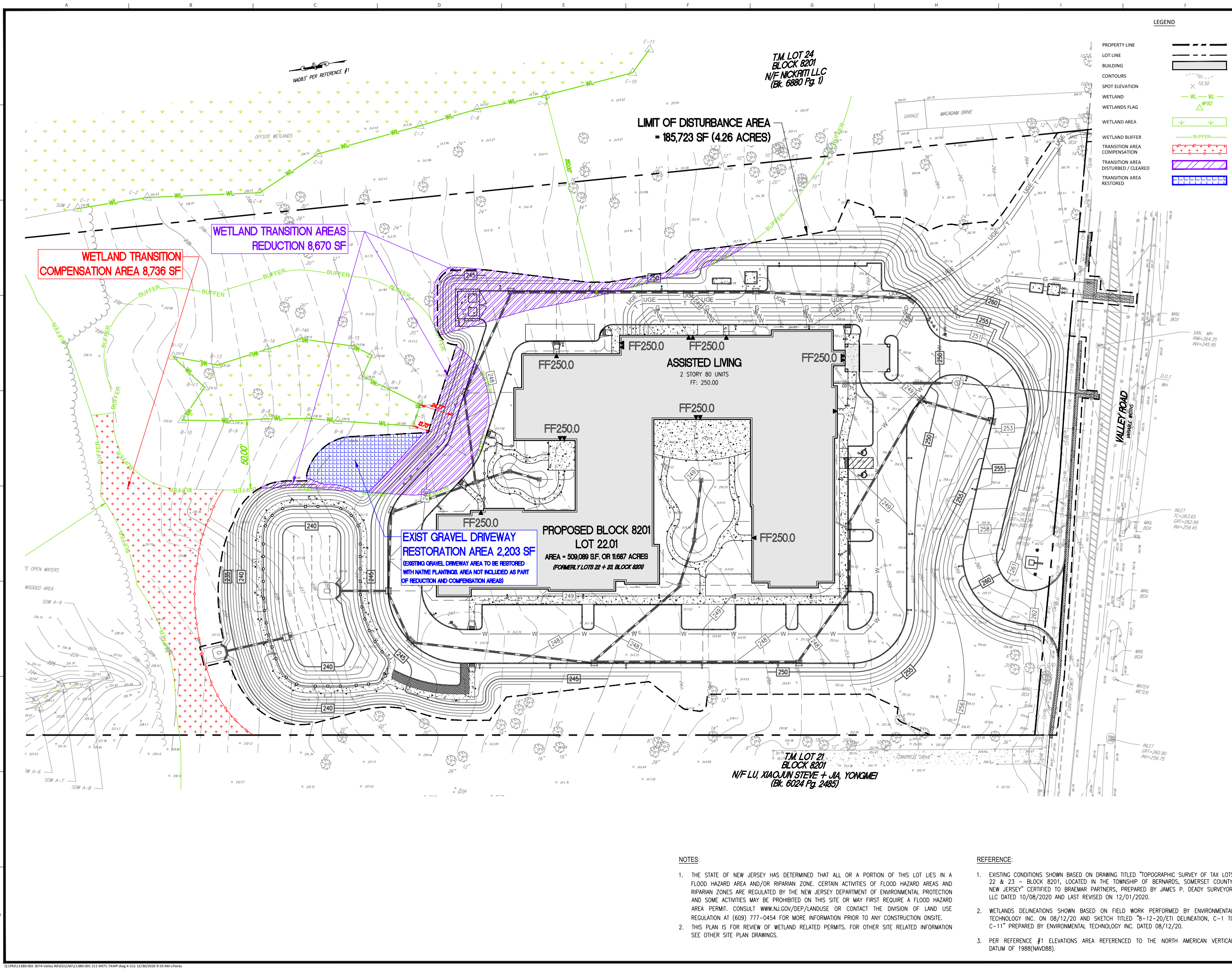
12/30/2020

GRANT B. LEWIS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GED4809200

SCALE:



DRAWN BY: LMF	CHECKED BY: GBL	DRAWING NUMBER: X-201
SCALE: 1"=50'	DATE: 12-30-2020	
JOB NO: 11380-001	SHEET 01 OF 01	



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION: 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO.	DATE	DESCRIPTION	BY
REVISIONS:			
OWNER (LOT 22):			
RICA PROPERTIES, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
OWNER (LOT 23):			
RICA REALTY RENTAL GROUP II, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
APPLICANT:			
BRAEMAR PARTNERS 13140 FREEMANVILLE ROAD MILTON, GA 30004			
DRAWING TITLE:			
FRESHWATER WETLANDS TRANSITION AREA AVERAGING WAIVER PLAN			
PROJECT:			
ARBOR TERRACE BASKING RIDGE			
LOCATION:			
3066-3074 VALLEY ROAD LOTS 22 & 23, BLOCK 8201 TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY, 07920			
 GRANT B. LEWIS PROFESSIONAL ENGINEER NJ LICENSE NUMBER 24GED4809200			
SCALE:			
			
DRAWN BY: DGR LMF		CHECKED BY: GBL	DRAWING NUMBER: X-211
SCALE: 1"=30'		DATE: 12-30-2020	JOB NO: 11380-001
			SHEET 01 OF 01

NOTES:

- THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES OF FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONSULT WWW.NJ.GOV/DEP/LANDUSE OR CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ONSITE.
- THIS PLAN IS FOR REVIEW OF WETLAND RELATED PERMITS. FOR OTHER SITE RELATED INFORMATION SEE OTHER SITE PLAN DRAWINGS.

REFERENCE:

- EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
- WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
- PER REFERENCE #1 ELEVATIONS AREA REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

DRESDNER ROBIN

ENVIRONMENTAL IMPACT ASSESSMENT AND PROJECT REPORT

PROPOSED ASSISTED LIVING FACILITY

3066-3074 VALLEY ROAD; BLOCK 8201, LOTS 22 and 23

BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

DRESDNER ROBIN PROJECT NO.: 11380-001

PREPARED FOR
Braemar Partners
13140 Freemanville Road
Milton, GA 30004

PREPARED BY
Dresdner Robin
One Evertrust Plaza, Suite 901
Jersey City, NJ 07302

DATE
December 18, 2020



Charles Heydt, PP, AICP
Professional Planner
NJ Lic. # 33LI00621100

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1.0 INTRODUCTION

This Environmental Impact Assessment (EIA) and Project Report has been prepared pursuant to the Township's Requirements for environmental impact assessments (§21-54.6) for the proposed development of an assisted living facility project located at 3066-3074 Valley Road (Block 8201, Lots 22 and 23) in the Bernards Township, Somerset County, New Jersey. This EIA assesses the existing conditions of the project site, identifies potential impacts of the project, analyzes measures to mitigate for unavoidable impacts, and summarizes the net environmental effects of the project. Qualifications of the preparers of this EIA have been provided in Appendix A.

2.0 PROJECT SITE & SURROUNDING AREA

The project site (Block 8201, Lots 22 and 23) is 11.69 acres, with 440 feet of frontage on Somerset County Route 512, known as Valley Road. See Figure 1, Project Site Location Map and Figure 2, Tax Map. The site is in the Lyons section of the Township, just north of the intersection of Valley Road and King George Road. The Passaic River forms the northwest boundary of the site.

Lot 22 (3066 Valley Road) is improved with a 2-story single family dwelling and two garage/shed structures at the rear of the property. There are two curb cuts providing access to the property, the western access to a driveway around the side of the house and the eastern access to a gravel drive that dead-ends in the rear of the property. Lot 23 (3074 Valley Road) is improved with a 2-story single-family dwelling. A single curb cut provides access to the property.

Generally, the southern portion of the site is improved with the homes, driveways and maintained landscaped areas. The northern portion of the site is a heavily wooded wetland crossed by an unnamed tributary of the Passaic River.

The site fronts on a north-south corridor that is locally identified as King George Road from Route I-78 to the south of the site, before becoming a small stretch of Valley Road, and then Stonehouse Road to the north of the site into Lyons. Valley Road is an east-west corridor between Millington and Liberty Corner. There is a mixture of uses along King George Road/Valley Road, including: the Dewy Meadow Village shopping center which has a grocery store, restaurants and other retail and service shops; an assisted living facility; the farmstead Arts Center; the Millington Baptist Church; the Chabad of Greater Somerset County and Zimmer Preschool; a garden center and residential uses.

Photographs of the project site and surrounding area are provided in Appendix B.

3.0 PROJECT DESCRIPTION

The project includes the consolidation of the project site and the construction of a 2-story, 80-unit assisted living facility. Access to the site will be from a single curb cut with a total of 42 parking spaces around the building proposed. The project proposes to limit the area to be disturbed to an

approximately 4½-acre area on the southern portion of the site, closest to the road, with the balance of the site (approximately 7 acres) to be left in its current state.

4.0 INVENTORY OF EXISTING NATURAL RESOURCES

The following sections provide an inventory of on-site natural resource conditions and an assessment of the probable impact of the development upon them. Findings are based on a variety of references including, but not limited to, site visits, data from New Jersey Department of Environmental Protection (NJDEP), technical reports, and professional drawings.

4.1 Hydrology

Based on available NJDEP mapping, the project site is adjacent to the Passaic River, with a tributary (Passaic River UNT) crossing through the northern portion of the Site. Additionally, the northern portions of the site are identified as a Deciduous Wooded Wetland. (See Figure 3, NJDEP Surface Water Quality and Wetlands Map)

As delineated by Environmental Technology Incorporated (ETI) and depicted on the survey by James P. Deady Surveyor, LLC, there are mapped freshwater on the northern portion of the project site, as well as to the east of the site on the adjacent property. The portion of the property to be disturbed for the project is well outside the 150-foot buffer and will not impact these wetland areas. See Sheet C-401 Grading Plan.

A smaller wetland area has also been delineated adjacent to the existing gravel drive and turn around along the shared lot line between Lots 22 and 23. The proposed access drive and infiltration basin will encroach the 50-foot wetland transition area buffer. A NJDEP Freshwater Wetlands Letter of Interpretation (LOI), and Wetlands Averaging Transition Waiver will be required, and a NJDEP Freshwater Wetlands General Permit 11 may also be required.

4.2 Geologic Character

Based upon the Geotechnical Engineering Report, prepared by Geo-Technology Associates, Inc., the project site is situated within the Piedmont physiographic province of New Jersey, which is characterized by low rolling plan divided by a series of higher ridges, and mainly underlain by slightly folded and faulted sedimentary rocks. The site is underlain by the Towaco Formation of the Lower Jurassic Period of the Mesozoic Era, as shown on the *Bedrock Geologic Map of the Bernardsville Quadrangle, Somerset and Morris Counties, New Jersey (GMS 12-2, 2012)* published by the New Jersey Geological Survey. The surface geology of the site, as shown on the *Surficial Geology of the Bernardsville Quadrangle, Somerset and Morris Counties, New Jersey (OFM 74, 2008)* published by the New Jersey Geological Survey, consists of weathered shale residual soils.

4.3 Soil Characteristics

Based on the United States Department of Agriculture (USDA) Web Soil Survey Report included with the Stormwater Management Report prepared by Dresdner Robin, soils on site include BoyAt – Bowmansville silt loam, 0-2% slopes which is frequently flooded, PbpAt – Parsippany silt loam, 0-3% slopes which is frequently flooded, and PeoB – Penn channery silt loam, 2-6% slopes. (See Figure 4, Soil Survey Map)

Based upon the Geotechnical Engineering Report, prepared by Geo-Technology Associates, Inc., the subsurface exploration program consisted of 13 test pits adjacent to the proposed building site, 2 test pits within the proposed stormwater basin area and an additional 4 test pits in the norther portion of the site. In general, an approximately 6- to 16-inch thick layer of topsoil was encountered at the ground surface in all the test pits performed for this study, averaging about 11 inches. Beneath the topsoil, existing fill materials were encountered in 10 of the test pits, which extended to depths ranging about 2 to 5 feet below the ground surface. The fill materials generally consisted of sandy silt soils with varying types and amounts of debris, which included brick and concrete fragments, glass, asphalt, wood, mulch, pipe, plastic tarp and burlap. Of the 10 test pits where fill was encountered, five (5) were located within the proposed building area and the remaining five (5) were located within or near the proposed stormwater management basin location. Natural residual soils were encountered below the fill or below the natural surficial topsoil layer and appeared consistent with the geologic mapping. The general subsurface profile consisted of residual lean clay soils with sand, overlying clayey gravel, which graded into highly-weathered sedimentary bedrock.

Recommendations for site preparation and grading, as well as foundation design were provided in the Geotechnical Engineering Report.

4.4 Environmentally Restricted Areas

Per Article II of the Township's code, "environmentally restricted" lands are defined as lands within a floodway or with slopes in excess of 25%; and "restricted" lands are classified as lands within a special flood hazard area as delineated on flood maps, lands defined as R-5 lowlands, or lands with slopes in excess of 15% but not exceeding 25%.

The project site generally slopes down from Valley Road to the Passaic River (south to north direction). Slopes on the site are less than 15% as calculated per the Township's Steep Slopes ordinance §21-14.2 and shown on the Steep Slopes and Minimum Improvable Lot Area Plan (Sheet C-811). The proposed project will result in a re-grading of a portion of the site within the limit of disturbance. See Sheet C-401 Grading Plan. A soil erosion and sediment control plan (Sheet C-801 and details Sheet C-802) has been prepared to be submitted for approval by the Somerset-Union County Soil Conservation District (SUSCD) prior to the commencement of any construction activities.

As shown on the FEMA National Flood Hazard Map (Figure 5), the northern portion of the site is in classified within a special flood hazard area and regulatory floodway along the Passaic

River. The portion of the property to be disturbed for the project will be separated from the flood hazard areas by at least 100 feet and an elevation change of at least 10 feet. A NJDEP Flood Hazard Area FHA verification will be sought before construction activities commence.

4.5 Vegetation

Per §21-54.6.b.6, this EIA evaluates the impacts of the proposed project on the existing vegetation and special features of the site, including woodlands, individual trees in excess of six inches DBH, and significant tree masses. As shown on the Survey prepared by James P. Deady Surveyor, LLC, the project site is currently developed with two single family homes and out-buildings clustered on the southern edge of the site, surrounded by lawns studded with a few trees. The northern portion of the site is heavily wooded.

The project proposes to limit the area to be disturbed to approximately 4½ acres on the southern portion of the site, closest to the road, as shown as the Limit of Disturbance Area on the Soil Erosion and Sediment Control Plan, Sheet C-801.

As shown on the Tree Removal Plan/Tree Identification Plan (Sheet L-621), a total of 91 trees with a minimum diameter of 6-inches are identified to be removed from the site. Existing trees in the side yards and front yards outside the area of disturbance are generally proposed to remain.

A total of 270 replacement trees are proposed in accordance with the Township's tree replacement requirements (§21-45). Tree planting is proposed primarily along the side yards to provide additional screening of the proposed facility from the adjacent single-family homes. Trees and landscaping are also proposed within the parking areas in accordance with §21-39.3 of the Town Code, as well as street trees along Valley Road in accordance with §21-43. Additionally, the project will exceed the required minimum preservation of existing canopy coverage per code (§21-45). See Sheet L-601.

4.6 Wildlife

Based on review of the NJDEP Landscape Project mapping (Figure 6), the project site is within the Skylands Landscape Project and is identified as having Rank 5, Rank 3, and Rank 1 landscape designations. Rank 5 is assigned to species-specific habitat patches containing one or more occurrences of wildlife listed as endangered and threatened pursuant to the Federal Endangered Species Act of 1973. Rank 3 is assigned to species-specific patches containing one or more occurrences of State threatened species. Rank 1 is assigned to species-specific habitat patches that meet habitat-specific suitability requirements such as minimum size or core area criteria for endangered, threatened or special concern wildlife species, but that do not intersect with any confirmed occurrences of such species.

The northern portion of the project site identified as Rank 5 includes the Indiana Bat (*myotis sodalis*) maternity colony and roost site last observed in 2007 and the Rank 3 state threatened Wood Turtle (*glyptemys insculpta*) occupied habitat, last observed in 2004. The portion of the

project site identified as Rank 1 includes the Riparian Corridor and deciduous wetlands, last observed in 2012.

The proposed access drive and infiltration basin will encroach the 50-foot wetland transition area buffer. >:/ A NJDEP Freshwater Wetlands Letter of Interpretation (LOI), and Wetlands Averaging Transition Waiver will be required, and a NJDEP Freshwater Wetlands General Permit 11 may also be required.

The remainder of the northern portion of the site will not be developed, as such, no impact to habitat nor wildlife in that area is anticipated.

4.7 Air Quality

The Federal Clean Air Act requires the United States Environmental Protection Agency (USEPA) to set National Ambient Air Quality Standards (NAAQS) for six common air pollutants. These commonly found air pollutants also known as "criteria pollutants" are particle pollution or particulate matter (PM), ground-level ozone, carbon monoxide (CO), sulfur dioxide (SO₂), nitrogen dioxide (NO₂), and lead. The USEPA calls these pollutants "criteria" air pollutants because it regulates them by developing human health-based and/or environmentally-based criteria (science-based guidelines) for setting permissible levels. When a NAAQS is established or revised, the USEPA goes through a formal process to designate all areas of the country as either in attainment or in nonattainment.

- On January 15, 2015, USEPA designated New Jersey as unclassifiable/attainment for the 2012 annual 12 ug/m³ PM_{2.5} NAAQS.
- On May 21, 2012, the USEPA designated the entire state of New Jersey as nonattainment for the 0.075 ppm 8-hour ozone NAAQS.
- In June of 2015, New Jersey submitted its second and final CO NAAQS maintenance plan for the 1971 standards.
- On December 20, 2017, the USEPA designated the entire state of New Jersey as unclassifiable/attainment for the 2010 1-hour standard for SO₂.
- On February 12, 2012, New Jersey was designated by the USEPA as unclassifiable/attainment for the 1-hour NO₂ standard.
- On November 22, 2011, New Jersey was designated by the USEPA as unclassifiable/attainment for the 0.15 ug/m³ standard.

The air quality in and around the project site is typical of a suburban environment with various residential, commercial and institutional uses within the vicinity. Vehicular traffic and congestion on the surrounding roadways and nearby Interstate Highway I-78 generate air emissions including carbon monoxide (CO), nitrogen oxides (NO_x), and volatile organic compounds (VOCs). Additional air emissions are generated by the various operations in the vicinity of the project site. The proposed project does not involve incinerating devices or any processing of materials that would produce visible smoke or deleterious chemical changes. Typical heating, ventilation, exhaust and air conditioning (HVAC) devices will be installed to

provide adequate indoor climate and temperatures, which are typical of non-residential uses. It is anticipated that there will be no potential impact related to air quality from devices installed at the proposed project or processes associated with the project.

4.8 Water Quality

In New Jersey, water quality is evaluated with respect to Surface Water Quality Standards (SWQS), which establish water quality goals and policies underlying the management of the State's water quality. The Passaic River is classified as a FW2- Non-Trout (NT). FW2 is the general surface water classification applied to fresh waters that are not designated as FW1 (to be maintained in their natural state) or Pinelands Waters. Additionally, water bodies are classified as either C1 (waters designated for additional protection) or C2. Under the New Jersey Stormwater Management Rules (N.J.A.C. 7:8), Category 1 waters are afforded a designated special waters resource protection area (SWRPA), which requires a 300-foot buffer of the top of each bank of C1 waters. The Passaic River is classified as a C2 river and no C1 resources are located within 300 feet of the project site.

See Section 4.1.1 and Figure 3, NJDEP Surface Water Quality and Wetlands Map for further discussion. Impacts to water quality related to stormwater runoff are provided in Section 6.3 of this report.

4.9 Drainage

A Stormwater Management Report has been prepared by Dresdner Robin, see also Drainage Plan on Sheet C-411. As the project will disturb more than 1 acre (4.25 acres) and create more than a quarter of an acre (1.54 acres) of new impervious surface. Therefore, the project is classified as a "Major Development" and must comply with the stormwater management rules located at N.J.A.C. 7:8.

Under existing conditions, the site is divided into two drainage areas. Drainage Area 1 (EDA-1, 4.22 acres) contains the portions of the site that will be disturbed for the construction of the proposed building and site improvements. Drainage Area 2 (EDA-2, 7.56 acres) is the remaining wooded portion of the site and encumbered in wetlands, that will remain undisturbed and generally flows towards the Passaic River.

Under proposed conditions the property is divided into three drainage areas. Drainage Area 1 (PDA-1, 3.56 acres) represents the portion of the site which contains most of the improvements including the building and parking areas that will be routed to the above ground sand filter basin. Drainage Area 2 (PDA-2, 0.47 acres) represents a portion of the site downstream of where the proposed improvements have disturbed the site and will bypass the proposed detention basin. Drainage Area 3 (PDA-3, 7.74) represents the remaining portion of the site that remain mostly undisturbed and bypass of the basin north of the improvements. PDA-3 consists of runoff from the northern woods and generally flows towards the Passaic River.

5.0 COMMUNITY RESOURCES

5.1 Sewer and Water

Sanitary sewer and water lines exist along Valley Road (County Route 512). See Utility Plan, Sheet C-501.

The project site is within Bernards Township Sewerage Authority sewer service area as per letter from the Sewerage Authority dated November 11, 2020, provided in Appendix D. The Harrison Brook Treatment Plan is the receiving facility that treats sanitary sewage for this portion of the Township; Bernards Township Sewerage Authority noted that the Authority will treat the sanitary discharge for the proposed project based on the treatment plant's available capacity at the time when land use board approval is obtained, after which another formal request for service would be needed.

New Jersey American Water (NJAW) is the water service provider for this area as per will serve letter from NJAW dated November 14, 2020, provided in Appendix D.

Existing 8-inch PVC – Class SDR-35 sewer main and 8-inch and 16-inch water utility mains exist along Valley Road (County Route 512). The project will connect the existing sewer and 8-inch water lines as shown on the Utility Plan, Sheet C-501.

5.2 Utilities

Other utilities including overhead electric and gas exist along Valley Road (County Route 512). See Utility Plan, Sheet C-501.

Overhead electric service exists along subject property frontage of Valley Road (County Route 512). Electric service will be made available in accordance with Jersey Central Power and Light (JCP&L) as per will serve letter from JCP&L dated November 18, 2020, provided in Appendix D. See Sheet C-501 Utility Plan.

A gas line exists along the project site property frontage of Valley Road (County Route 512). Gas service will be made available in accordance with PSE&G "Standard Terms & Condition" per the will serve letter provided in Appendix D.

Other telecommunications services can be supplied by Verizon, per the will serve letter in Appendix D.

5.3 Circulation and Traffic

A Traffic Impact Analysis prepared by Atlantic Traffic & Design Engineering, LLC evaluates potential traffic impacts associated with the proposed assisted living facility, as well as a review of existing roadway and traffic conditions in the vicinity of the site including geometrics and traffic volumes, projection of the volume of traffic expected to be generated by the proposed facility, an analysis of future roadway and site driveway operations, an evaluation of the site plan focusing on access and parking supply, and recommendations and conclusions.

The project has frontage along northbound Valley Road (County Road 512). King George Road (County Road 651)/Valley Road (County Road 512) is classified as an urban minor arterial under Somerset County jurisdiction. The project proposes to replace the three (3) existing curb cuts along Valley Road with a single curb cut consisting of one (1) full-movement driveway.

The results of the traffic counts indicate the weekday morning peak hour to occur between 7:45 am and 8:45 am and the weekday evening peak hour to occur between 4:00 pm and 5:00 pm. See Figure 2 in Appendix A of the Traffic Impact Analysis for the traffic volumes summary and Appendix B for manual turning movement count summaries.

The Institute of Traffic Engineers (ITE) defines a significant increase in traffic as 100 or more peak hour vehicular trips. ITE Trip Generation (Table 1) of the Traffic Impact Analysis shows that the traffic generation projected for the proposed assisted living facility falls well below the significant threshold anticipating a total of 15 trips during the weekday morning peak hour and a total of 21 trips during the weekday evening peak hour.

The project has been designed to provide safe and convenient system of drives, walkways, access areas and parking facilities for employees, doctors, management, visitors, ambulances, delivery vehicles and fire, police, and other emergency vehicles. The proposed site design has furthermore provided an adequate driveway for unobstructed access to the facility by emergency services (including fire trucks and ambulances). The driveway will permit emergency services to enter and leave the premises without danger of being blocked by other traffic or parked vehicles and with sufficient room for turning, loading, and unloading ambulances. The proposed site access is expected to adequately serve the assisted living facility and the proposed parking supply and circulation design exceeds the Township requirements and is therefore deemed sufficient to serve the anticipated needs of the proposed development, per Traffic Impact Analysis prepared by Atlantic Traffic & Design Engineering. See also Fire Service Plan on Sheet C-311, prepared by Dresdner Robin.

5.4 History and Archeology

The project site is not listed under the New Jersey and National Registers of Historic Places nor identified in the State Historic Preservation Office (SHPO) mapping (Appendix J). Also, the project site is not listed under the Bernards Township Master Plan of Historic Preservation Plan Element (dated April 2010, adopted August 7, 2019). The nearest historic property, Kennedy-Martin-Stelle Farmstead property which is listed on the New Jersey and the National Register of Historic Places, is approximately 0.4 mile southeast of the project site, at 450 King George Road (Block 8401, Lot 23). There are no identified historic districts within the area. (See Figure 7, NJDEP Historic Preservation Map).

Based on NJDEP mapping, the project site is not located within or near a NJDEP Archaeological site Grid of New Jersey. Archaeological Sites are locations of prehistoric occupation or activity possessing archaeological value.

No historic impact is anticipated since neither the project site nor adjacent properties are listed under the New Jersey and National Registers of Historic Places, nor identified as historically

significant within the SHPO mapping, nor listed under the Bernards Township Historic Preservation Plan Element.

6.0 LAND USE, ZONING & MASTER PLAN

As described in section 2.0, generally, the southern portion of the site is improved with the homes, driveways and maintained landscaped areas. The northern portion of the site is a heavily wooded wetland crossed by an unnamed tributary of the Passaic River.

The site fronts on a north-south corridor that is locally identified as King George Road from Route I-78 to the south of the site, before becoming a small stretch of Valley Road, and then Stonehouse Road to the north of the site into Lyons. Valley Road is an east-west corridor between Millington and Liberty Corner. There is a mixture of uses along King George Road/Valley Road, including: the Dewy Meadow Village shopping center which has a grocery store, restaurants and other retail and service shops; an assisted living facility; the farmstead Arts Center; the Millington Baptist Church; the Chabad of Greater Somerset County and Zimmer Preschool; a garden center and residential uses.

The project site is located within the R-6 Residential zone, which permits Assisted Living Facilities as a Conditional Use in accordance with §21-12. Assisted Living Facilities are intended to promote “aging in place in a homelike setting for frail elderly and disabled persons”.

Section §21-12.3.m of the Code enumerates the specific requirements for an Assisted Living Facility including requirements of documentation for submission with the application, location along a county roadway, bulk standards and site design requirements. The proposed project meets the requirements for the Conditional Use, with the exceptions as discussed in Section 5.1 below. See Sheet C-301 for the Zoning Table addressing the following requirements:

- *Bulk requirements per §21-12.3.m.6*
- *Parking requirements per §21-12.3.m.7*
- *Buffering and screening requirements per §21-12.3.m.11*
- *Design standards for other structures per §21-12.3.m.12*
- *Lighting standards per §21-12.3.m.13*
- *Signage standards per §21-12.3.m.14, and*
- *Building height per §21-12.3.m.16.*

The proposed project is consistent with and promotes the Township’s Master Plan and the State Master Plan. The 2019 Reexamination Report of the 2010 Master Plan identified a number of major problems and objectives relating to land development, including:

- *Protecting environmentally fragile lands present on the dwindling number of remaining developmental parcels in the Township.*

The proposed project limits development on the site to areas that are currently improved with single-family homes, protecting and preserving the more environmentally sensitive areas on the northern portion of the site. The project is consistent with the various local environmental ordinances include:

- Wetland Protection Ordinance per §21-14.1
- Steep Slopes Ordinance per §21-14.2
- Flood Damage Prevention per §21-14.3, and
- Stream Buffer Conservation Ordinance per §21-14.4.
- *Addressing the municipal affordable housing obligation through the New Jersey Council on Affordable Housing Substantive Certification Process.*

The project will provide 8 affordable units (10%) as required per §21-12.3.m.

New Jersey State Development and Redevelopment Plan: The New Jersey State Development and Redevelopment Plan (SDRP), adopted in 2001, provides a vision for the future that will preserve and enhance the quality of life for all residents of New Jersey. The SDRP identifies the project site in the Suburban (PA-2) Planning Area and the Environmentally Sensitive (PA-5) Planning Area. The proposed project is consistent with the policies and objectives of the PA-2 as the project promotes to revitalize existing cities and towns. The proposed project furthers the SDRP PA-2 policy objectives related to land use by promoting growth in center-based developments, protecting the character of existing stable communities, and protecting natural resources.

6.1 REQUIRED VARIANCES

The proposed project requires variances and waivers from several of the specific zoning requirements under §21-12.3.m:

	Requirement	Proposed	Relief Sought
§21-12.3.m.5.b	Frontage on the County Road (651) known as "King George Road"	Frontage on County Road (512) known as "Valley Road"	D(3) conditional use variance
§21-12.3.m.6	Min. Lot Frontage 500 feet	440 Feet	D(3) conditional use variance
§21-41.3	Max. Footcandles for the Average Maintained Horizontal Illumination of Residential Uses: 0.4 for roadways 0.2 for sidewalks	0.5	c bulk variance

Zoning Board of Adjustment has the jurisdiction to grant a "d(3)" conditional use variance pursuant to the Municipal Land Use Law (NJSA 40:55D-70(d)(3)). Under relevant case law *Coventry Square v Westwood Zoning Bd. Of Adjustment*, 138 N.J. 285, 297 (1994) that

conditional uses, even when they do not comport with the requisite conditions, are nonetheless essentially compatible uses in the zone. Rather the proofs necessary to support the conditional use variance are lesser than that for a d(1) use variance and need to demonstrate that the property can accommodate the associated impacts stemming from the project even though the proposal does not comply with the conditions the ordinance established to address those problems.

The project seeks variances from two of the conditions established in §21-12 for Assisted Living Facilities, [1] the location on King George Road and [2] the minimum lot frontage.

Per §21-12.3.m.5.b, Assisted Living Facilities must have frontage on the County Road (651) know as "King George Road". The proposed project site is located on County Road (512) approximately 275 feet northwest of the intersection where Route 651 (King George Road) becomes Route 512 (Valley Road).

The proposed project site can accommodate the problems associated with the proposed Assisted Living Use despite not being located on the County Road known as King George Road. The proposed project is located on Valley Road, which also is a county road (Route 512) and, furthermore, is functionally the same arterial roadway leading from Lyons to the Interstate 78 (I-78) and into Warren. This roadway is locally known as Stonehouse Road, Valley Road and King George Road along portions of its length. Additionally, the proposed use is compatible with other non-residential uses located around the intersection of King George Road and Valley Road. This intersection is a node along Valley Road and the end of King George Road with a number of non-residential uses in proximity to this intersection including: Back to Nature Home and Garden Center (a commercial use on Valley Road at the intersection); the Chabad of Greater Somerset County/Zimmer Preschool (a school use on Valley Road approximately 100 feet from the intersection); and Millington Baptist Church/Little Foot Pre-School (a religious and school use on King George Road at the intersection).

Additionally, per §21-12.3.m.6, Assisted Living Facilities require a minimum lot frontage of 500 feet, where the proposed site has 440 feet of frontage. The proposed project site can accommodate the problems associated with the proposed Assisted Living Use despite not having the required frontage. As shown on the site plan Sheet C-301 and Sheet C-311 Fire Service Plan, the proposed 440 of frontage allows for adequate ingress and egress for cars as well as emergency vehicles including fire trucks and ambulances. Furthermore, the project site provides compliant side yard setbacks and buffers to the adjacent residential properties per the Conditional Use requirements in §21-12.3.m.

The project also requires a bulk variance from §21-41.3, where the maximum footcandles for the average maintained horizontal illumination of 0.4 for roadways and 0.2 for sidewalks is inconsistent with industry safe lighting standards for the proposed assisted living facility use. Proposed lighting meets industry standards for safe lighting of the access drives, parking areas and sidewalks. Additional landscaping along the side yards will shield the additional lighting from the adjacent residential uses.

The granting of the variances would not result in a substantial detriment to public good. The proposed project will not damage the character of the neighborhood. The project site is consistent with the other non-residential uses in the vicinity of the King George Road/Valley Road intersection. The project provides the required yard setbacks and buffers to the adjacent residential properties. Additionally, adequate frontage is provided to accommodate necessary circulation for emergency vehicles.

The granting of the variances will also not result in a substantial impairment to the intent and purpose of the zone plan and zoning ordinance. The proposed project site is located on County Road 512 within approximately 275 feet of the intersection of King George Road and Valley Road. The proposed project is consistent with the other non-residential uses in the vicinity of the King George Road/Valley Road intersection.

As such, the application can be granted in that the property is well suited to accommodate the proposed assisted living facility without substantial detriment to the surrounding area or the intent and purpose of the zone plan.

7.0 ASSESSMENT OF ENVIRONMENTAL IMPACT

7.1 WATER USE AND DEPLETION

The proposed project will connect to the existing water main in Valley Road. No on-site well is proposed. See Section 4.1 and Sheet C-501 for description of the proposed connections.

A water demand and sanitary sewer calculation for a Non-Residential Demand as per N.J.A.C. 7:10-12.6 for a Health Care Institution has been prepared by Dresdner Robin, see Appendix C. Additionally, it anticipated that select areas of the proposed landscaping will be irrigated.

The proposed project is not anticipated to have any significant adverse impact on the Town's water supply.

7.2 SURFACE AND GROUND WATER QUALITY

The proposed project will connect to the existing sewer main in Valley Road. No on-site wastewater treatment is proposed.

Since the project site qualifies as a major development, it must comply with the NJDEP N.J.A.C. 7:8 Storm Water Regulations water quality standards, and as such, provides the required 80% TSS removal. The project location is divided by the Suburban Planning Area (PA2) and the Environmentally Sensitive Planning Areas (PA5) with improvements situated in PA2, and therefore the project also meets NJDEP Ground Water Recharge requirements. See the Stormwater Management Report prepared by Dresdner Robin for further details and calculations.

7.3 DRAINAGE & STORMWATER

The existing and proposed on-site storm sewer collection system has been designed to collect runoff from the existing and proposed parking areas. Flow from the system is conveyed to the above ground basin and will be discharged through an outlet control structure to the northern portion of the property. Since the project site qualifies as a major development, it must comply with the NJDEP N.J.A.C. 7:8 Storm Water Regulations for quantity reduction. The project provides 50%, 75%, and 80% reductions in stormwater runoff from the disturbed areas of the 2, 10, and 100 years storm events. See the Stormwater Management Report prepared by Dresdner Robin for further details and calculations.

7.4 AIR QUALITY & NOISE

No impacts to air quality or noise are anticipated from the operation of the proposed assisted living facility. Construction activities on the project site would have a potential temporary impact on the local air and noise quality. During construction dust will be generated as a result of vehicle movement on unpaved areas and disturbance of surface soils during excavation for building and parking lots. Mitigation measures to avoid impact on air quality during construction will include the use of water spraying to reduce dust impacts, both on and off-site. The majority of soil dust emissions are expected to settle within a few feet of the area of disturbance. See Sections 4.4.1 for further discussion on air quality.

Noise impacts? Will construction be conducted during hours as permitted by ordinance? Operationally, this is a residential use which will have typical noise levels.

7.5 ACCESS, TRANSPORTATION PATTERNS, TRAFFIC VOLUME

No significant or major impact to access, transportation patterns, and traffic volume as a result of the proposed assisted living facility. The ITE defines a significant increase in traffic as 100 or more peak hour vehicular trips. ITE Trip Generation (Table 1) of the Traffic Impact Analysis, prepared by Atlantic Traffic & Design Engineering, LLC shows that the traffic generation projected for the proposed assisted living facility falls well below the significant threshold anticipating a total of 15 trips during the weekday morning peak hour and a total of 21 trips during the weekday evening peak hour. The additional traffic associated with the proposed development translates to less than 1% of the peak hour traffic volumes at the intersection of Valley Road and King George Road.

The proposed site access is expected to adequately serve the assisted living facility and the proposed parking supply and circulation design exceeds the Township requirements and is therefore deemed sufficient to serve the anticipated needs of the proposed development, per the Traffic Impact Analysis prepared by Atlantic Traffic & Design Engineering. See Fire Service Plan on Sheet C-311, prepared by Dresdner Robin. For further discussion and analysis of the potential traffic impacts refer to the Traffic Impact Analysis.

7.6 DAMAGE AND DESTRUCTION OF SIGNIFICANT PLANT AND WILDLIFE SYSTEMS

The project limits the disturbance on the property to the southern portions which are already improved and preserves the heavily wooded areas on the northern portion of the site adjacent to the Passaic River. The loss of 115 trees on the southern portion of the site will be mitigated by landscaping and tree replacement program that is proposed as part of the project. As such, there are no substantial impacts to existing vegetation on the project site or with proximity to the project site. A NJDEP Freshwater Wetlands Letter of Interpretation (LOI), and Wetlands Averaging Transition Waiver will be required, and a NJDEP Freshwater Wetlands General Permit 11 may also be required. See sections 3.5 and 3.6 of this EIA for further discussion.

7.7 OPEN SPACE

The proposed project is consistent with the policies in the Township's Conservation and Open Space Plan (Chapter VIII of the Master Plan). The project takes into consideration the location of sensitive environmental features (including the Passaic River, wetlands, and forested areas) in the siting of the proposed assisted living facility. The project limits the disturbance on the site, conserving and protecting the majority of the sensitive areas on the northern portion of the site, including the greenway along the Passaic River.

See Sections 7.2 and 7.3 for discussion of consistency with NJDEP Stormwater Regulations and Ground Water Recharge requirements.

7.8 SOCIAL AND ECONOMIC EFFECTS

The project proposes an 80-unit assisted living facility. In accordance with the Conditional Use resident eligibility requirements (§21-12.3.m.8), residents of the facility will be restricted to persons 55 years of age or older except that residents within the facility may include: spouses under 55 years of age married to and living with the occupant who is over that age; persons over 21 years of age who are related to, employed by or on the basis of friendship desire to live with an occupant who is 55 years of age or older; or a person under 55 years of age who is admitted to the special needs unit of the facility with Alzheimer's disease or a similar affliction or handicap.

It is anticipated that many of the facilities residents will be current residents of the Township seeking more supportive living situation while continuing to reside within the community that they are familiar with.

7.8.1 Schools

Within Bernards Township there are six (6) schools; one (1) high school, Ridge Highschool, one (1) middle school, William Annin Middle School, and four (4) elementary schools, Cedar Hill Elementary School, Liberty Corner Elementary School, Mount Prospect Elementary School, and Oak Street Elementary School. A nursery/pre-school is located approximately 400 feet east of the project site, at 3048 Valley Road (Block 8201, Lot 25), Zimmer Preschool at Chabad Somerset. The proposed assisted living facility is not anticipated to have any

direct impacts to the school district, as it is anticipated that future tenants will not generate any school aged children.

7.8.2 Police, Fire and Emergency Services

The Bernards Township Police Department serves the entire Township. The Police and Administration Building is at 1 Collyer Lane, Basking Ridge, New Jersey. The Bernards Township Police is comprised of approximately 37 personnel including Chief, Captain, Lieutenants, Sergeants, Detectives, and Officers. The Town has a ratio of 0.001 police officers per person, based on the 2019 population of 27,082 persons. The addition of 80 units of assisted living is not anticipated to require the addition of an additional officer based on this ratio. The proposed project is not anticipated to have any significant adverse impacts on police services in Bernards Township, as the project proposes an assisted living facility.

Fire and Rescue is comprised of Basking Ridge Fire and EMS, Liberty Corner Fire Company, and Liberty Corner First Aid. The Liberty Corner Fire Company is comprised of over 65 volunteers responsible for providing fire and rescue services to the Liberty Corner section (southern portion) of Bernards Township. Within the Liberty Corner section of the Bernards Township, the fire and rescue service area is comprised of approximately 18 square miles (of the 26 square miles in Bernards Township) and over 6,500 residences and businesses.

The project will contract with a private ambulance company to reduce impact to the local volunteer EMS teams. The proposed project is not anticipated to have any adverse impacts on fire protection or emergency services in Bernards Township. The proposed structures will meet all applicable fire and building codes.

7.8.3 Waste Removal

Solid waste will be collected and stored in a dumpster enclosure. See Site Layout Plan Sheet C-301, prepared by Dresdner Robin. A private hauler will be contracted for waste pick-up twice a week.

7.8.4 Employment

Based on 2019 data from the Department of Labor and Workforce Development, the labor force in Bernards Township was 12,791. It is anticipated that the proposed assisted living facility will generate approximately 61 full time equivalent jobs.

7.8.5 Fiscal Impacts

Based on Township tax record, the 2020 property assessment identified a land valuation of \$730,000 and an improvement value of \$242,000, with a total tax revenue of \$20,554 per year. A tax assessment will be undertaken upon completion of the project to determine

future taxes for the proposed development. It is anticipated that the project will have a net benefit on taxes for the property.

Property	Taxes 2020	Land Valuation	Improvements Valuation
3074 Valley Road (Lot 22)	\$10,976.75	\$416,200	\$108,000
3066 Valley Road (Lot 23)	\$9,577.96	\$323,400	\$134,000
	\$20,554.71	\$739,600.00	\$242,000.00

Source: Bernards Township Tax Records, 2020

It is anticipated that the proposed 80-unit assisted living facility will have a minimal demand for additional municipal services.

7.9 Aesthetics

A change in the visual nature of the site is an inevitable impact and characteristic of development. The purpose of conducting an evaluation of visual resources is to objectively demonstrate the current visibility of the site from specific nodes in the surrounding environment and to apply the visual impacts of the proposed project to the existing situation. The following criteria were used to determine visual key receptors which may be impacted when the project is undertaken:

- A requirement that the viewpoint have good visibility of the development. This criterion is based on topography and sensitive geographic location with respect to the project site.
- A requirement that the viewpoint have a reasonably high frequency of viewers and/or a long view duration by a viewer at the viewpoint.
- A requirement that the viewer at each viewpoint potentially benefits from existing visual quality from the viewpoint.

The project site is located along Valley Road (County Route 512), just north of the intersection with King George Road (County Route 651) which is visually dominated several large institutional and commercial properties. The properties directly to the east and west of the project site on Valley Road are occupied by single-family homes.

Current views of the project site from the east and west are screened from the adjacent residential uses by vegetation along the property lines. These vegetated buffers will be increased by the project as the proposed building will be sited in the center of the combined properties.

Across the street are three single-family homes. The view of Valley Road and the project site are screened from view by the thick evergreen trees on the 3065 Valley Road property. The other two property also have landscaping which screens the view of Valley Road and the project site. (Appendix D).

The proposed project has been designed to be consistent with the residential character of the neighborhood. See Architectural Plans for building elevations and design. Additionally, the proposed facility will be set back further from the roadway than the existing homes on the properties, which will help to diminish the impact of the proposed structure.

8.0 LIST OF LICENSE, PERMITS, AND OTHER APPROVALS

- Municipality:
- Preliminary & Final Site Plan Approval
 - Bernards Township Sewage Authority
 - Bernards Township Water Department
 - Bernards Township Fire Department
 - Bernards Township Police Department
- County:
- Somerset County Planning Board Approval
 - Somerset-Union Soil Conservation District Certification
 - Somerset County Clerk's Office Approval (for lot consolidation)
- State:
- NJDEP Freshwater Wetlands General Permit 11 (possible)
 - NJDEP Freshwater Wetlands LOI Permit
 - NJDEP Wetlands Averaging Transition Waiver
 - NJDEP General Permit for Construction activity (5G-3)

In addition to the above site and land use permits approvals required, the below may also be sought

- Municipality:
- Tree Removal Permit
 - Building Department Approval
 - Soil Importation or Exportation Permit
- County:
- County Road Opening Permit
- State:
- NJDCA Approval for Assisted Living Facility

9.0 UNAVOIDABLE ADVERSE ENVIRONMENTAL IMPACTS

- A change in the visual nature of the site is an inevitable impact and characteristic of development. The proposed project will replace two existing single-family homes with an 80-unit assisted living facility.
- The proposed access drive and infiltration basin will encroach the 50-foot wetland transition area buffer. A NJDEP Freshwater Wetlands Letter of Interpretation (LOI), and Wetlands Averaging Transition Waiver will be required, and a NJDEP Freshwater Wetlands General Permit 11 may also be required.

- The increase in traffic generation projected for the proposed assisted living facility compared with existing single-family use translates to less than 1% of the peak hour traffic volumes at the intersection of Valley Road and King George Road.
- The short-term unavoidable adverse impacts resulting from construction activities include the presence of construction and delivery vehicles on the site.
- It is anticipated that nearby properties would experience temporary elevated noise levels at occasional periods during construction. This is a temporary, construction related, unavoidable impact.

10.0 STEPS TO MINIMIZE ENVIRONMENTAL DAMAGE

Environmental protective measures that can minimize or eliminate environmental impacts are summarized below. The proposed development will be accomplished in accordance with measures incorporated Local and County Approvals and NJDEP permits. They will also be incorporated into the project plans and/or will be implemented during the construction phases of the project. All prevailing rules and regulations governing residential development in the State will be adhered to in the projects design and construction.

- Sediment filter fences will be erected around and/or downslope of disturbed areas to prevent sediment from being transported into adjacent areas and local storm water collection facilities.
- Subsequent to final grading, all disturbed areas will receive a final seeding and mulching in accordance with the Soil Erosion and Sediment Control Plan.
- Soil erosion and sediment control measures will be kept in place until construction is complete and/or the disturbed area is stabilized.
- Construction vehicles will be operated with the prevailing State and Federal regulations.
- Any wastes generated from the project will be properly disposed of.
- Exhaust and emission control systems on all construction machinery will be maintained in good operating condition.
- Operation of construction machinery will be limited to daytime hours.
- Subsequent to building construction and final site grading, a landscaping plan will be implemented to offset the removal of vegetation.
- Operations of the proposed facility will meet all state and federal requirements for assisted living facilities. The facility operator will contract with a private ambulance company to reduce impact to the local volunteer EMS teams.

11.0 ALTERNATIVES

Several design alternatives were considered including:

- No build alternative. Which would result in no new assisted living units being constructed in town and no jobs created.
- The project team considered alternative building floorplate layouts, settling upon the current configuration as it limited the disturbance within the wetland buffer for site circulation.
- Alternatives for site grading were considered to increase the finished floor elevation (FFE) of the structure to allow for a gravity sewer line, which would have required an increased amount of fill to be brought to the site. However, it was determined that a lower FFE, which would require a pump for wastewater, would allow for a more balanced site grading and require less fill be trucked into the site.

12.0 CONCLUSION

The proposed project consists of the demolition of the two (2) existing structures on the project site and consolidation of the project site (Block 8201, Lots 22 and 23) and the construction of a 2-story, 80-unit assisted living facility. The project proposes to limit the area to be disturbed to approximately 4½ acres on the southern portion of the site, closest to the road. This allows the environmentally sensitive areas on the northern portion of the site to be preserved. The project will utilize existing utilities on Valley Road, and no adverse impacts to local services (schools, police, fire and emergency) are anticipated. Furthermore, the proposed project is consistent with the Township's master plan, no undesirable land use patterns, disruption of desirable community and regional growth or adverse impacts to aesthetic values are anticipated.

While the project will result in the demolition of the existing residential structures on the project site; the project will create 61 full time equivalent jobs and is anticipated to result in a net positive tax benefit. Ultimately, approval and construction of the project will not negatively affect the health and safety of the public.

13.0 REFERENCES

- Land Development Ordinance – Chapter 21. Bernards Township. <https://ecode360.com/11919889>
- Bernards Township Master Plan. 2010. Banisch Associates, Inc., April 2010.
<https://bernards.org/government/documents/departments/planning-zoning-department/planning-zoning-department/1100-2010-master-plan-1/file>
- 2010 United States Census. <https://factfinder.census.gov/faces/nav/jsf/pages/index.xhtml>
- New Jersey State Development and Redevelopment Plan. 2001. New Jersey State Planning Commission, March 1, 2001.
- Somerset County Tourism – Kennedy-Martin-Stelle Farmstead <https://visitsomersetnj.org/fun-somerset-nj/kennedy-martin-stelle-farmstead/>

APPENDIX A

QUALIFICATIONS OF PREPARERS

PROFESSIONAL REGISTRATIONS

- NJ Professional Planner (2012) [License No. 33LI00621100]
- American Institute of Certified Planners (2012)
- LEED Accredited Professional (2017)
- Real Professionals Network Mastermind Group
– New York and New Jersey Chapters (2017)
- American Planning Association Member (2010)

EDUCATION

Bachelor of Science in Economics
– The College of New Jersey
Master of City and Regional Planning
– Rutgers University

PROFESSIONAL AFFILIATIONS

American Planning Association
– NJ Chapter Executive Committee
United States Green Buildings Council
Real Professionals Network

SUMMARY OF QUALIFICATIONS

Mr. Heydt, a licensed New Jersey Professional Planner (PP) and certified member of the American Institute of Certified Planners (AICP) with over 10 years of experience on land development projects throughout New Jersey, New York and Pennsylvania. His diverse planning experience includes land use, redevelopment, sustainability/resiliency and environmental/natural resources for a variety of developments including industrial, commercial, educational and residential projects. Mr. Heydt has been involved with the preparation of municipal master plans, redevelopment plans, and sustainability plans. He is also experienced in obtaining NEPA, EO215 (NJ), SEQR (NY) and CEQR (NYC) compliance, including environmental assessments and environmental impact statements. Mr. Heydt is also experienced in the permitting process for freshwater wetlands and flood hazard area permits under USACE, NYSDEC and NJDEP. Mr. Heydt has been qualified as an expert professional planner and has provided planning testimony in over 100 local land use boards.

KEY PROJECTS

Downtown/Waterfront (Re)Development Projects, Jersey City, NJ – Provided planning and zoning support for approximately 25 redevelopment and development projects in the Jersey Downtown area and along the Waterfront including projects along the Newark Avenue mixed-use corridor, the Exchange Place waterfront neighborhood, and surrounding neighborhoods including the Paulus Hook Historic District and the Van Vorst Park Historic District.

Journal Square Redevelopment Projects, Jersey City, NJ – Provided redevelopment planning services for approximately 35 redevelopment projects throughout the Journal Square 2060 Redevelopment Plan area including redevelopment planning assistance and zoning conformance analysis.

Silver Lake Mixed-use Development, Belleville, NJ – Provided redevelopment planning services for a transit-oriented, mixed-use project located approximately 500 feet from the Silver Lake Light Rail Station in Belleville New Jersey. Direct role involved the completion of a redevelopment plan including specific land use and bulk requirements to accommodate the redevelopment vision. Complete Dresdner Robin services included redevelopment planning, civil design and landscape architect design.

Lincoln Park Equities Redevelopment Plan, Piscataway, NJ – Prepared a redevelopment plan for the former Dow Chemical facility which involved remediation concerns, wetlands preservation and mitigation and proposed new light industrial uses in Piscataway, NJ.

Repauno Redevelopment Project, Greenwich, NJ – Prepared an environmental impact statement to address municipal requirements for development projects and prepared an NJDEP Water Quality Management Plan Amendment application to amend the water quality management plan area to include the developable portion of the project site.

Toll Port Imperial, West New York, NJ – Provided planning and zoning support for two mixed-use residential buildings along the Hudson Waterfront within the Port Imperial Redevelopment Plan area of West New York.

Colgate-Palmolive Mennen Site Redevelopment Plan, Morris, NJ – Prepared a redevelopment concept plan and planning scenario approach for a 55-acre parcel to accommodate a mixed-use residential development with approximately 260 residential units, retail uses, restaurants, a hotel and other commercial uses.

John Guest Head Quarters, Parsippany, NJ – Provided planning and zoning support for the retrofit of a vacant 60,000-square-

foot industrial-office building for the location of the world-wide headquarters of John Guest Inc. Specific responsibilities included a zoning compliance review and proposed signed package. Provided testimony in support of improvements and requested signage.

Multi-family, Mixed-use Redevelopment, Newark, NJ – Provided land use planning services in support of a 115-unit multi-family project. The property is located in a redevelopment zone that required complex design and planning to meet local and state housing requirement. Provided testimony in support of overall redevelopment project.

Riverview Residential Redevelopment Project, Paterson, NJ – Prepared an Environmental Assessment to address compliance with US Department of Housing and Urban Development (HUD) regulations for a proposed multi-family residential project in the City of Paterson, NJ.

South Avenue Redevelopment Plan, Marlton, NJ – Prepared a redevelopment plan for proposed residential development consisting of townhouses and apartment units in Marlton, NJ.

KIPP Lanning Square Renaissance School, Camden, NJ – Prepared an Environmental Impact Assessment for a proposed K-12 school, which plans to reactivate of the existing Whittier School in the Lanning Square area of Camden. The assessment evaluated comprehensive impacts of the proposed redevelopment on the project site and in the surrounding neighborhood.

Camden Prep Renaissance School, Camden, NJ – Prepared a Community Impact Assessment for a proposed K-8 school along Haddon Avenue, which evaluated impacts to municipal services and local tax revenues.

The College of New Jersey Campus Improvements, Ewing, NJ – Prepared multiple reports for various projects throughout the college campus to comply with NJDEP land use regulations, including the student center expansion and renovation project, the STEM Building expansion project and a stormwater improvement project.

Morristown Municipal Airport Hangar 18 Tarmac Expansion Project, Hanover, NJ – Prepared a Federal Aviation Administration (FAA) Short Environmental Assessment form to comply with NEPA requirements associated with a proposed tarmac expansion at the Hangar 18 facility at the Morristown Municipal Airport.

Cranbury Brick Yard State Plan Amendment Request, Cranbury, NJ – Prepared a report requesting a state plan amendment for a former industrial site in order to support the redevelopment for light industrial warehouse facility in Cranbury, NJ.

Landmark Aviation Expansion Project, Teterboro, NJ – Prepared a Federal Aviation Authority Short Environmental Assessment form to construct two hangars and associated tarmac area at the existing Landmark Aviation Hangar facility at Teterboro Airport.

Goethals Bridge, Staten Island, NY – Prepared of various permit and approvals for all applicable regulatory agencies of the City of New York, including NYC Department of Environmental Protection, NYC Department of Transportation, NYC Department of Parks and Recreation.

Atlanta Falcons New Stadium Project, Atlanta, GA – Prepared an Environmental Effect Report in connection with the proposed relocation of the Georgia Dome in Atlanta, Georgia. A total of 21 parcels were evaluated based on approximately 20 environmental criteria. The new stadium is design to reduce environmental impacts in effort to achieve LEED certification.

PROFESSIONAL REGISTRATIONS

- NJ Professional Planner (2020) [Lic. #33LI00645000]
- American Institute of Certified Planners (2019)

EDUCATION

- Master of City and Regional Planning, 2012
– Rutgers University
- Bachelor of Arts, Chemistry & Art History, 2008
– George Washington University

PROFESSIONAL AFFILIATIONS

- American Planning Association
- New York & New Jersey Chapters

SUMMARY OF QUALIFICATIONS

Ms. Worstell is a licensed New Jersey Professional Planner (PP) and certified member of the American Institute of Certified Planners (AICP) with over 5 years' experience in land use, zoning and comprehensive planning throughout New Jersey and New York. She has experience in preparing planning reports in support of variance applications, new zoning districts and zoning ordinance amendments, urban renewal plans, and master plans. Ms. Worstell has extensive experience with environmental reviews implementing the National Environmental Protection Act (NEPA), including the New York State Environmental Quality Review Act (SEQRA). She has experience articulating planning concepts and processes such as annexation, spot zoning and variances for legal counsel in the preparation of expert testimony on land use cases. Ms. Worstell has been qualified as an expert professional planner and has provided planning testimony before planning boards, zoning boards of adjustment and historic preservation commissions.

Ms. Worstell has valuable experience working with architects, landscape architects, engineers, and various regulatory agencies, and in order to ensure timely and accurate project completion.

PROJECT EXPERIENCE

Environmental Impact Statements/Environmental Assessments, New Jersey and New York

I have been involved in the preparation of numerous Environmental Impact Statements and Environmental Assessments in New Jersey pursuant to local requirements and in New York pursuant to the New York State Environmental Quality Review Act (SEQRA) including full environmental assessment (FEAF) forms, draft and final generic environmental impact study (DGEIS and FGEIS) reports.

- Franklin Township, NJ – Environmental Assessment report for a self-storage facility.
- East Orange, NJ – Environmental Impact Statement for a multi-family residential development.

Land use, zoning & comprehensive planning

Downtown/Waterfront (Re)Development Projects, Jersey City, NJ – Provided planning and zoning support for numerous redevelopment and development projects in the Jersey Downtown area and along the Waterfront including projects along the Newark Avenue mixed-use corridor, the Exchange Place waterfront neighborhood, and surrounding neighborhoods including the Paulus Hook Historic District and the Van Vorst Park Historic District.

Journal Square Redevelopment Projects, Jersey City, NJ – Provided redevelopment planning services for approximately 35 redevelopment projects throughout the Journal Square 2060 Redevelopment Plan area including redevelopment planning assistance and zoning conformance analysis.

Port Imperial, West New York, NJ

The project is part of the Toll Port Imperial (an entity of Toll Brothers) redevelopment located on the waterfront of West New York, NJ and consists of an Amended Final Site Plan for two new residential buildings, including increasing the heights from five to seven stories and the unit count from 61 to 83 units for Building F. Responsibilities included the research on the consistency of the proposed changes to the West New York Waterfront Redevelopment Plan and Controlled Waterfront

Development (CWD) district zoning regulations, and assistance in preparation of zoning variance testimony.

414-416 Jefferson Street, Hoboken, NJ

This project is the redevelopment of two lots in the City's R-2 District, with a five-story (4 residential floors over parking) 7-unit residential building. The project replaces three non-conforming structures, with a modern building containing 5 parking spaces, bicycle storage, electric car charging stations, seven generous 3-bedroom dwelling units and 2,000 square feet of landscaped open space. Responsibilities included preparation of a planning report to support "c2" bulk variances for lot coverage (62% proposed, 60% maximum permitted) and building height (43'-11" over DFE proposed, 40' above DFE maximum permitted) and review of Hoboken Master Plan for compliance.

Housing & Community Development, New York - Per HUD's requirements for entitlement funding (including CDBG, HOME, ESG, etc. funds), I have worked on 5-Year Consolidated Plans and Annual Action Plans for the City of Mount Vernon, NY, City of Yonkers, NY and Rockland County, NY. The Plans include a demographic analysis, needs assessment, market analysis, strategic plan and action plan components. In coordination with municipal staff, I led outreach activities including stakeholder outreach meetings, public surveys (in English and Spanish) and public hearings on the Plans in accordance with municipal public participation plans.

Ms. Worstell also has experience in the preparation of Assessment of Fair Housing (AFH) and market studies for affordable housing projects seeking low income housing tax credits (LIHTC).

APPENDIX B

SITE AND AREA PHOTOGRAPHS



Figure 1: View of the subject property at 3066 Valley Road (Block 8201, Lot 23), from Valley Road viewing north



Figure 2: Rear view of the subject property at 3066 Valley Road (Block 8201, Lot 23), viewing south



Figure 3: View of the subject property at 3074 Valley Road (Block 8201, Lot 22), from Valley Road viewing north



Figure 4: View of the property at 3080 Valley Road (Block 8201, Lot 21) adjacent to the west of 3074 Valley Road, from Valley road viewing north



Figure 5: View of the property at 3077 (Block 8602, Lot 75) across Valley Road to the south project site, from Valley Road viewing south



Figure 6: View of the property at 3055 Valley Road (Block 8602, Lot 78) across Valley Road to the southeast of the project site, from Valley Road viewing southeast

APPENDIX C

SANITARY SEWER AND WATER DEMAND

DRESDNER ROBIN

DRESDNER ROBIN
55 LANE ROAD, SUITE 220
FAIRFIELD, NJ 07004
973.696.2600
WWW.DRESDNERROBIN.COM

Tom Timko, Sewerage Authority Director
Township of Bernards Sewerage Authority
277 South Maple Avenue
Basking Ridge, NJ 07920
via email: ttimko@bernards.org

DR. Project No.: 11380-001
November 10, 2020

**Re: Will Serve Request Letter
3074 Valley Road
Township of Bernards, NJ
Block 8201; Lots 22 & 23**

Dear Mr. Timko,

We respectfully request a "will serve" letter for sanitary sewer service regarding the property located on Block 8201 Lots 22 & 23 along Valley Road in the Township of Bernards, New Jersey. The subject property is currently developed with residential single-family dwellings and associated pavement, frame sheds, and gravel drives. The Project proposes to construct a 2-story assisted living facility consisting of 80 units and 114 beds along with associated site improvements with an estimated sewer demand of 11,400 gpd.

We kindly request any available subsurface utility mapping surrounding the subject site. Additionally, we have also enclosed a copy of a survey provided by the client prepared by James P. Deady Surveyor, LLC dated October 8, 2020 and last revised on November 6, 2020 for your reference. Please feel free to mark-up/show your facilities onto this survey and kindly return it to my attention. This information will be used for design purposes only and the drawings will caution all parties that an accurate utility mark-out will be required prior to any construction.

Thank you for your cooperation in this matter and we look forward to receiving your response. If you have any questions or require additional information, please give me a call at 973-559-7421.

Very Truly Yours



Grant B. Lewis, PE, PP, CME
Senior Project Manager

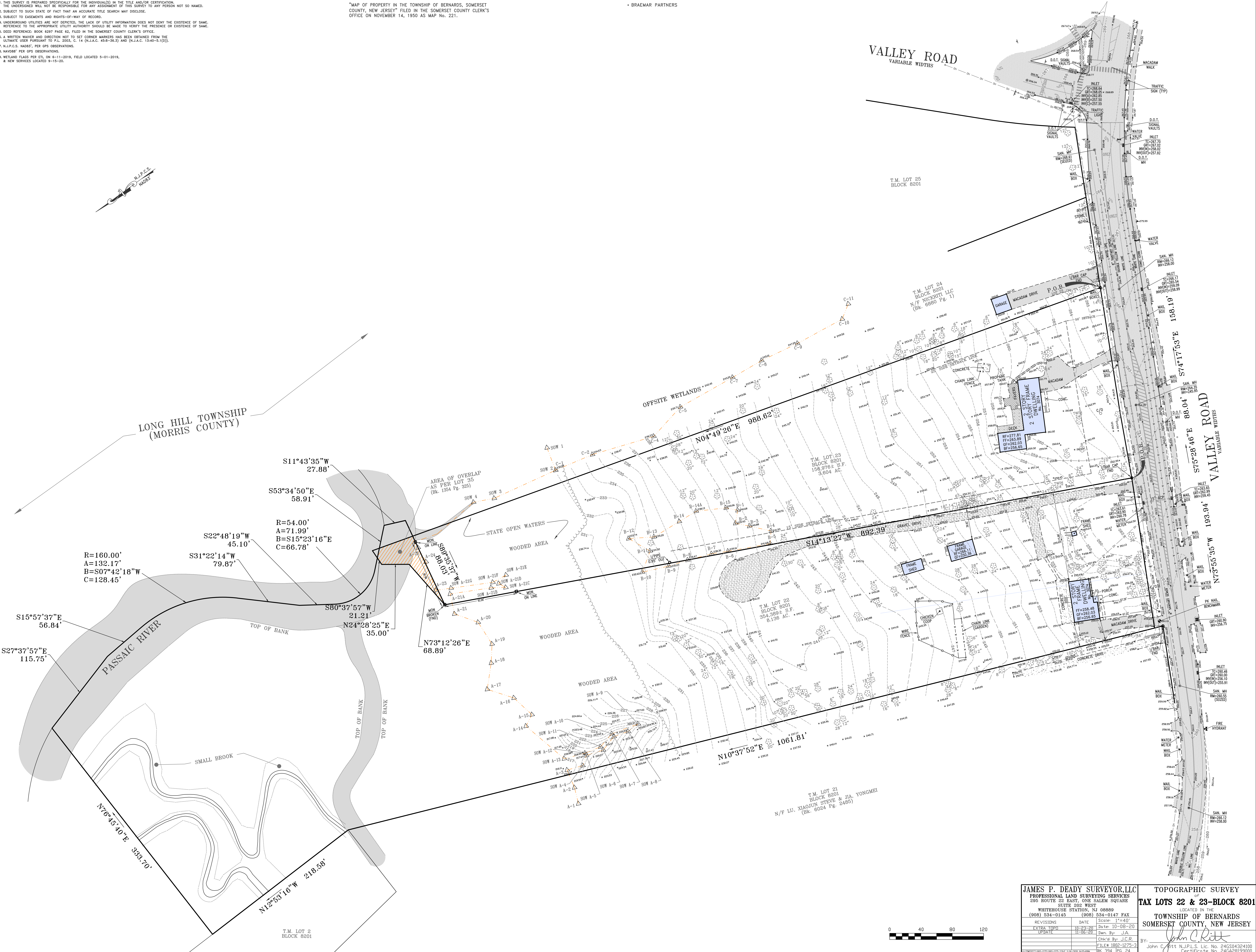
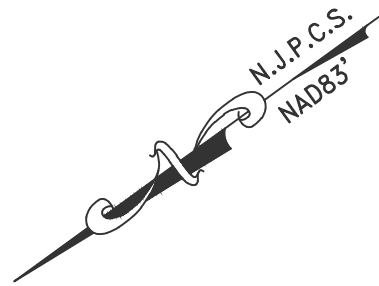
Attached: Survey; Sewer Demand Estimate

File: q:\prj\11380-001 3074 valley rd\eg\correspondence\will serve request letters\sewer - will serve request letter.docx

NOTES:
1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION.
2. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
3. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
4. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
5. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME.
6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2005, C. 14 (N.J.A.C. 45:18-36.3) AND (N.J.A.C. 13:40-5.10).
7. N.J.P.C.S. NAD83, PER GPS OBSERVATIONS.
8. NAVD83 PER GPS OBSERVATIONS.
9. WETLAND FLAGS PER ETL ON 8-11-2019, FIELD LOCATED 5-01-2019,
10. NEW SERVICES LOCATED 9-15-20.

MAP REFERENCE:
"MAP OF PROPERTY IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON NOVEMBER 14, 1950 AS MAP No. 221.

CERTIFIED TO:
• BRAEMAR PARTNERS



JAMES P. DEADY SURVEYOR, L.C. PROFESSIONAL LAND SURVEYING SERVICES 295 ROUTE 22 EAST, ONE SALEM SQUARE SUITE 202 WEST WHITEHOUSE STATION, NJ 08889 (908) 534-0145		TOPOGRAPHIC SURVEY TAX LOTS 22 & 23-BLOCK 8201 LOCATED IN THE TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY	
REVISIONS	DATE	Scale: 1"=40'	DATE: 10-08-20
EXTRA TYPED	10-23-20	Drawn By: J.A.	
UPDATE	11-08-20	Check'd By: J.C.R.	
		FILE# 1802-1275-3	
		BK 394 PG 24	

SANITARY SEWER CALCULATIONS

BLOCK 8201, LOT 22 & 23
TOWNSHIP OF BERNARDS, NEW JERSEY
DR PROJECT NO. 11380-001

Type of Establishment	Measurement	# Units	GPD/Unit	GPD
Assisted Living Facility	Bed	114	100	11,400
<i>Projected Estimates per N.J.A.C. 7:14A-23.3</i>			Flow Received	100%
			Total Flow (GPD) ($Q_{\text{projected}}$)	11,400
			Total Flow (CFS) ($Q_{\text{projected}}$)	0.018

APPENDIX D

UTILITY WILL SERVE LETTERS

DRESDNER ROBIN

DRESDNER ROBIN
55 LANE ROAD, SUITE 220
FAIRFIELD, NJ 07004
973.696.2600
WWW.DRESDNERROBIN.COM

Kia Solomon
New Jersey American Water
via email: Kia.Solomon@amwater.com

DR. Project No.: 11380-001
November 10, 2020

**Re: Will Serve Request Letter
3074 Valley Road
Township of Bernards, NJ
Block 8201; Lots 22 & 23**

Dear Kia,

We respectfully request a "will serve" letter for water service regarding the property located on Block 8201 Lots 22 & 23 along Valley Road in the Township of Bernards, New Jersey. The subject property is currently developed with residential single-family dwellings and associated pavement, frame sheds, and gravel drives. The Project proposes to construct a 2-story assisted living facility consisting of 80 units and 114 beds along with associated site improvements with an estimated daily water demand of 34,200 gpd.

We kindly request any available subsurface utility mapping surrounding the subject site. Additionally, we have also enclosed a copy of a survey provided by the client prepared by James P. Deady Surveyor, LLC dated October 8, 2020 and last revised on November 6, 2020 for your reference. Please feel free to mark-up/show your facilities onto this survey and kindly return it to my attention. This information will be used for design purposes only and the drawings will caution all parties that an accurate utility mark-out will be required prior to any construction.

Thank you for your cooperation in this matter and we look forward to receiving your response. If you have any questions or require additional information, please give me a call at 973-559-7421.

Very Truly Yours



Grant B. Lewis, PE, PP, CME
Senior Project Manager

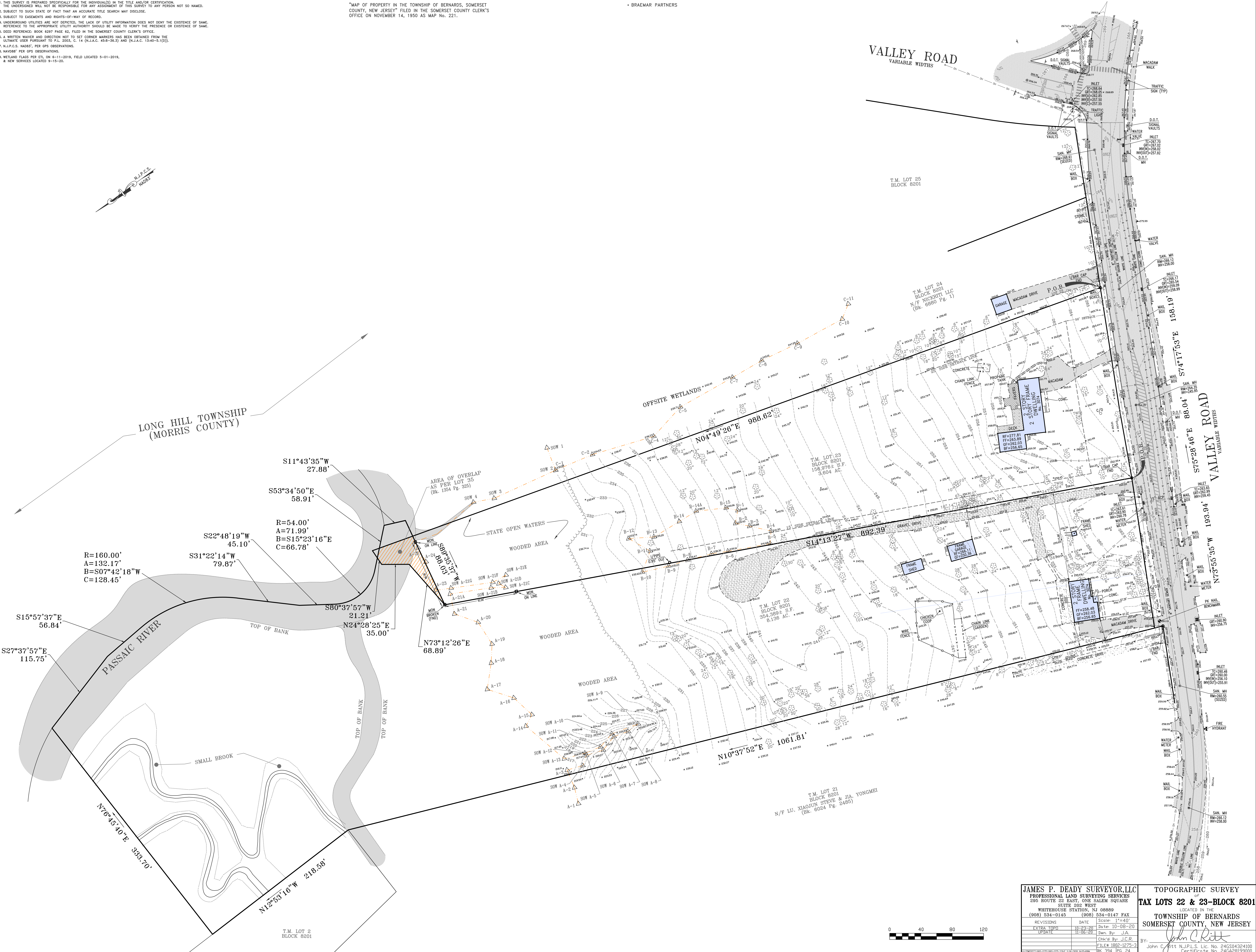
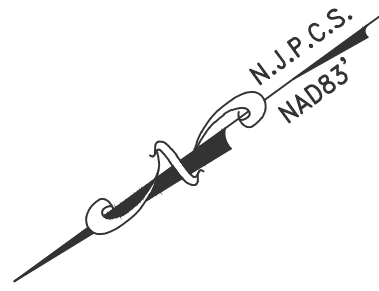
Attached: Survey; Water Demand Estimate

File: q:\prj\11380-001 3074 valley rd\eg\correspondence\will serve request letters\water - will serve request letter.docx

NOTES:
1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION.
2. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
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7. N.J.P.C.S. NAD83, PER GPS OBSERVATIONS.
8. NAVD83 PER GPS OBSERVATIONS.
9. WETLAND FLAGS PER ETL ON 8-11-2019, FIELD LOCATED 5-01-2019,
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CERTIFIED TO:
• BRAEMAR PARTNERS



JAMES P. DEADY SURVEYOR, L.C. PROFESSIONAL LAND SURVEYING SERVICES 295 ROUTE 22 EAST, ONE SALEM SQUARE SUITE 202 WEST WHITEHOUSE STATION, NJ 08889 (908) 534-0145		TOPOGRAPHIC SURVEY TAX LOTS 22 & 23-BLOCK 8201 LOCATED IN THE TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY	
REVISIONS	DATE	Scale: 1"=40'	DATE: 10-08-20
EXTRA TYPED	10-23-20	Drawn By: J.A.	
UPDATE	11-08-20	Check'd By: J.C.R.	
		FILE# 1802-1275-3	
		BK 394 PG 24	

WATER DEMAND CALCULATIONS

BLOCK 8201, LOT 22 & 23
TOWNSHIP OF BERNARDS, NEW JERSEY
DR PROJECT NO. 11380-001

Non-Residential Demand ¹								
Type of Establishment	Unit	# of Units (Beds)	GPD/Unit	Daily Demand (GPD)	Daily Demand (MGD)	Peaking Factor	Peak Daily Demand (GPD)	Peak Daily Demand (MGD)
Health Care Institution ²	Gallons/Person	114	100	11,400	0.011	3	34,200	0.034
Total Water Demand				11,400	0.011		34,200	0.034

Notes:

¹ Non-Residential demand as per N.J.A.C. 7:10-12.6 (Table 1)

² Proposed development is for an Assisted Living Facility.

TO: CLIFF STANFIELD (BRAEMAR PARTNERS)
CHRISTOPHER WADE (BRAEMAR PARTNERS)

FROM: GRANT B. LEWIS, PE, PP, CME, (DRESDNER ROBIN)
LIBORIO FLORES (DRESDNER ROBIN)
WILLIAM LIN (DRESDNER ROBIN)

CC: **DATE:** November 19, 2020

RE: UTILITIES DUE DILIGENCE MEMO **PROJECT No.:** 11380-001
BLOCK 8201, LOTS 22 & 23
3074 & 3066 VALLEY ROAD, BERNARDS, NJ

File Path: Q:\PRJ\11380-001 3074 Valley Rd\EG\Design\Site - Civil\Utilities\Utilities Due Diligence Memo\2020-11-19 Utilities Due Diligence Memo.docx

Dresdner Robin has prepared this Utility Due Diligence Memo outlining information collected for each utility service, including contact information and utility mapping. Below is a bulleted summary of each utility service provider along the subject property frontage. Information received from utility providers is included in the Appendices at the end of this Memo.

SEWER:

- The subject property is within Bernards Township Sewerage Authority sewer service area as per letter from the Sewerage Authority dated November 11, 2020, provided in Appendix A.
- Harrison Brook Treatment Plant is the receiving facility that treats sanitary sewage for this portion of the Township;
- Bernards Township Sewerage Authority noted that the Authority will treat the sanitary discharge for the proposed project based on the treatment plant's available capacity at the time when land use board approval is obtained, after which another formal request for service would be needed. See letter in the enclosed appendices provided by Bernards Township Sewerage Authority;
- 8" PVC – Class SDR-35 sewer main exists along the subject property frontage of Valley Road (County Route 512) as shown on survey titled "Topographic Survey of Tax Lots 22 & 23 – Block 8201", certified to Braemar Partners, prepared by James P. Deady Surveyor, LLC, dated October 8, 2020 and last revised on November 6, 2020. See utility mapping provided by the Township Engineer included in Appendix A.

WATER:

- New Jersey American Water (NJAW) is the water service provider for this area as per will serve letter from NJAW dated November 14, 2020, provided in Appendix B;
- Per correspondence with Kia Solomon of NJAW on November 12 and 13, 2020 and NJAW will serve letter:
 - NJAW noted 8-inch diameter and 16-inch water mains exist along the subject property frontage of Valley Road (County Route 512). Service connection anticipated to be made to 8-inch water main and not the 16-inch water main used for transmission. The 16-inch main is positioned closer

to subject property, and the 8-inch main is positioned on the far side of Valley Road as shown on survey titled "Topographic Survey of Tax Lots 22 & 23 – Block 8201", certified to Braemar Partners, prepared by James P. Deady Surveyor, LLC, dated October 8, 2020 and last revised on November 6, 2020.

- For water service laterals extending 100 feet or more off the curb to the building, everything to be housed within a hot box enclosure or have water meter separated in a below ground vault. NJAW requires backflow close to meter. Placement of water equipment in a hot box enclosure or additional with water meter pit is up to the owner/applicant. If hot box enclosure and water meter pit is proposed, they shall be situated as close to the right-of-way as practicable;
- There are no standard requirements on hot box enclosure and water meter pit sizes. Hot box enclosure to have access on both sides and have adequate interior separation from water equipment;
- 2-inch, 4-inch, and 6-inch service can be provided (3" service not allowed);
- Flow test request can be made through Nancy Hudak of NJAW and will process to appropriate NJAW personnel;
- No connection fees for sites utilizing existing water service location and sites that are undeveloped. NJAW will provide a fee for relocating proposed water service lateral from existing water service lateral as the existing water service lateral will have to be abandoned. Said fee can range from \$3,700 to \$5,000, however this depends on amount of lateral being abandoned;
- Master permit for subject area to be determined by NJAW engineer at the time when new service application is submitted. Based on proposed water flows from facility, a Simplified Water Main Extension Permit is not anticipated in the event that a Master Permit between NJAW and NJDEP does not exist.

ELECTRIC:

- Electric service will be made available in accordance with Jersey Central Power and Light (JCP&L) as per will serve letter from JCP&L dated November 18, 2020, provided in Appendix C;
- Overhead service exists along subject property frontage of Valley Road (County Route 512).

GAS:

- Gas service will be made available in accordance with (PSE&G) "Standard Terms & Conditions". See will serve letter from PSE&G dated November 6, 2020, provided in Appendix D;
- Gas line exists along the subject property frontage of Valley Road (County Route 512) as shown on survey titled "Topographic Survey of Tax Lots 22 & 23 – Block 8201", certified to Braemar Partners, prepared by James P. Deady Surveyor, LLC, dated October 8, 2020 and last revised on November 6, 2020.

TELECOMMUNICATIONS:

- Verizon can supply necessary communication service for the subject property as per will serve letter from Verizon dated November 5, 2020, provided in Appendix E;
- Communication service connection anticipated to be made within subject property frontage right-of-way. See utility mapping provided by Verizon included in Appendix E.

UTILITY AGENCIES CONTACT INFORMATION

SANITARY SEWER:

Bernards Township Sewerage Authority
Thomas Timko, PE, CME, Director BTSA, Township Engineer
277 South Maple Avenue
Basking Ridge, New Jersey 07920
Phone: (908) 204-3020
E-mail: ttimko@bernards.org

WATER:

New Jersey American Water
Kia Solomon and Driss Najah
167 JFK Parkway
Short Hills, New Jersey 07078
Phone: (973) 564-5738
E-Mail: Kia.Solomon@amwater.com

ELECTRIC:

Jersey Central Power & Light (JCP&L)
Northern Region Engineering Services
Victoria L. Boxler, Engineering Supervisor
300 Madison Avenue
Morristown, NJ 09760
Phone: (973) 401-8482
E-mail: vboxler@firstenergycorp.com

GAS

Public Service Enterprise Group Inc. (PSE&G)
Manager-Corporate Properties
PSE&G Construction Inquiry Department
80 Park Plaza T68
Newark, New Jersey 07102
Phone: (800) 832-0076
E-mail: ConstructionNorth@pseg.com

TELECOMMUNICATIONS:

Verizon Communications
Steven Kallert, Contingent OSP Engineer
999 West Main Street
Freehold, New Jersey 07728
Phone: (252) 201-0217
E-mail: Steve.kallert@verizon.com

WILL SERVE LETTERS

APPENDICES:

- APPENDIX A: SANITARY SEWER LETTER AND MAPPING
- APPENDIX B: WATER WILL SERVE LETTER
- APPENDIX C: ELECTRIC WILL SERVE LETTER
- APPENDIX D: GAS WILL SERVE LETTER
- APPENDIX E: TELECOMMUNICATIONS WILL SERVE LETTER AND MAPPING
- APPENDIX F: BOUNDARY AND TOPOGRAPHIC SURVEY

RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

DATE: November 19, 2020

APPENDIX A: SANITARY SEWER LETTER AND MAPPING



Bernards Township Sewerage Authority

Office:
277 South Maple Avenue,
Basking Ridge, NJ 07920
908-204-3020 (Ph)
908-204-3089 (Fax)

Plant:
726 Martinsville Road
P.O. Box 247
Liberty Corner, NJ 07938
908-647-2460 (Ph)
908-647-4416 (Fax)

Billing:
908-204-3078 (Ph)
908-766-1941 (Fax)

November 11, 2020

Mr. Grant Lewis
Dresdner Robin
55 Lane Road, Suite 220
Fairfield, NJ 07004

Re: Proposed 80 unit, 114 bed Assisted Living Facility
Block 8201 Lots 22 & 23
3074 & 3066 Valley Road

Dear Mr. Lewis:

I am in receipt of your letter dated November 10, 2020 requesting a commitment of service for the above project.

The above referenced block and lots are within the Authority's sewer service area and will be served by the Authority based upon available capacity at the treatment plant at such time as land use board approval has been obtained. At that time, a formal request for service is submitted by the applicant and a review of available capacity is conducted by the Authority's consultant. An allocation agreement is then entered into by the applicant with the Authority. The current connection fee per equivalent dwelling unit, 250 gpd, is \$7,226.00 and the annual user fee per EDU is \$500.

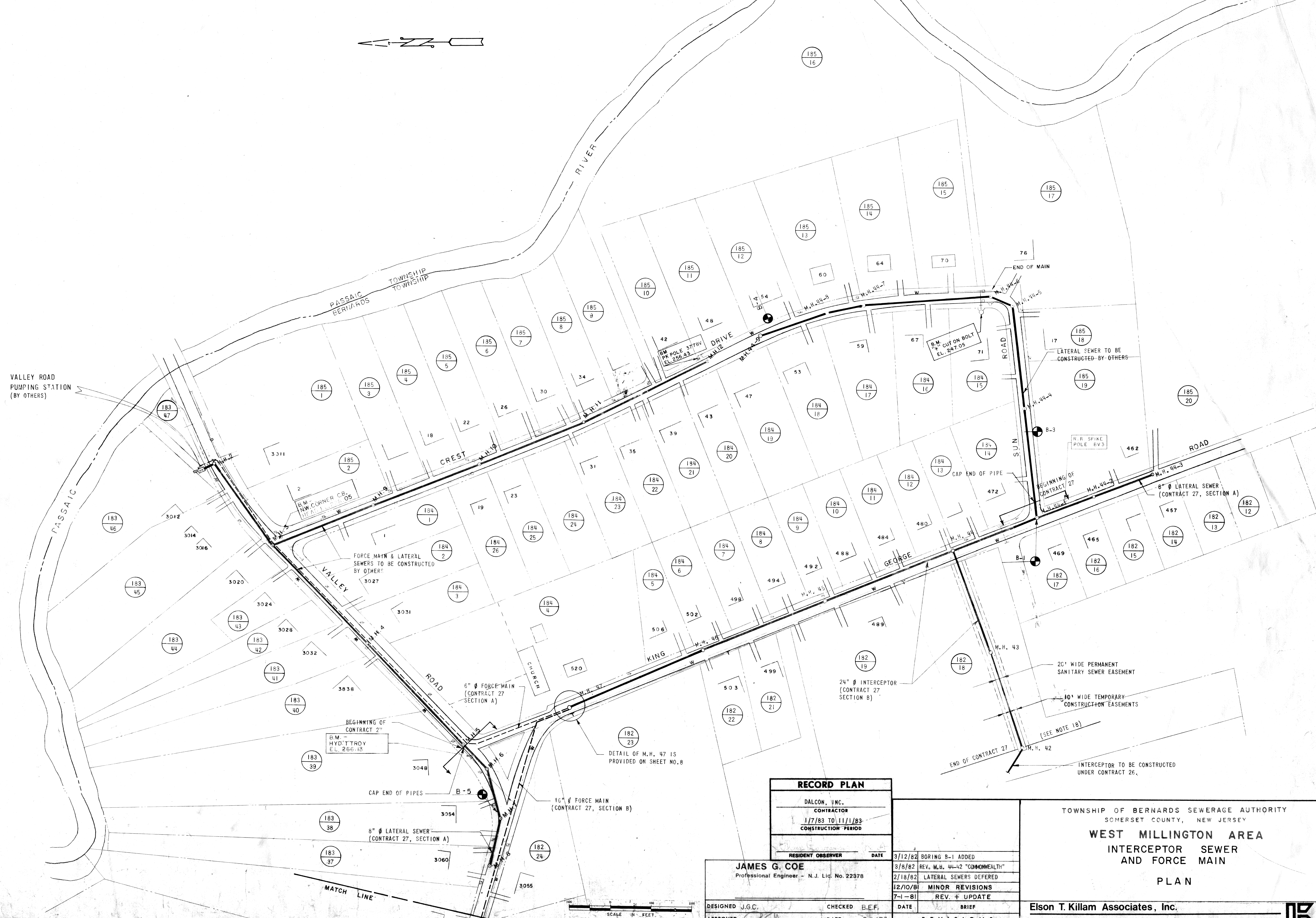
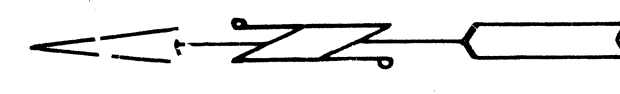
Please note that a breakdown on the number of units and flow per unit is required once land use board approval is obtained.

If you have any questions or need any additional information please feel free to contact me at 908 204-3020 or ttimko@bernards.org.

Sincerely,

Thomas Timko, P.E., C.M.E.
Director BTSA
Township Engineer

CC: David Schley, Township Planner



RECORD PLAN

DALCON, INC.
CONTRACTOR
1/7/83 TO 11/1/83
CONSTRUCTION PERIOD

RESIDENT OBSERVER
DATE

JAMES G. COE
Professional Engineer - N.J. Lic. No. 22378

DESIGNED J.G.C.
APPROVED *[Signature]*

DATE 3/12/82
BORING B-1 ADDED

DATE 3/8/82
REV. M.H. 44-12 "COMMONWEALTH"

DATE 2/18/82
LATERAL SEWERS DEFERRED

DATE 12/10/81
MINOR REVISIONS

DATE 7-1-81
REV. + UPDATE

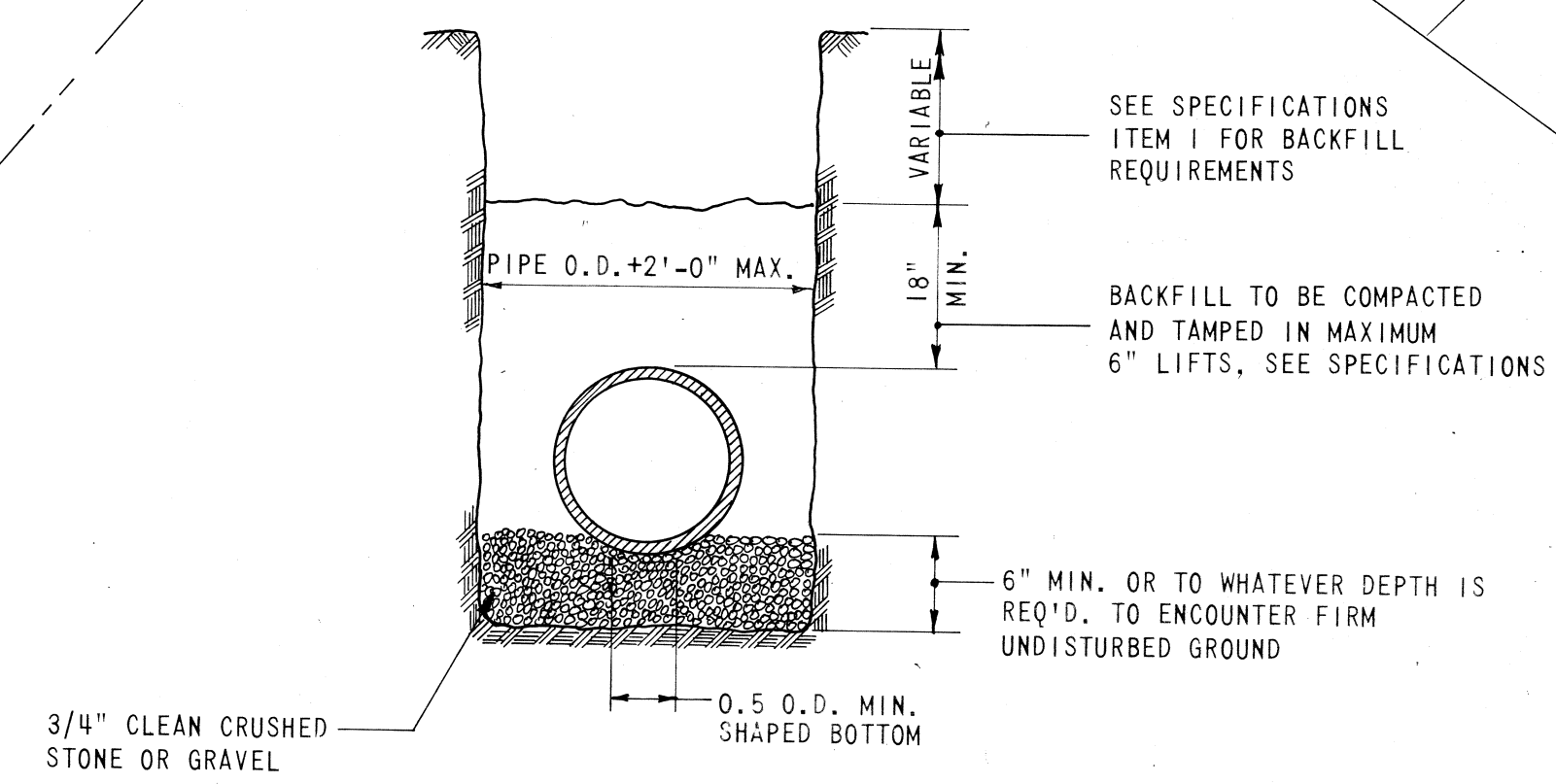
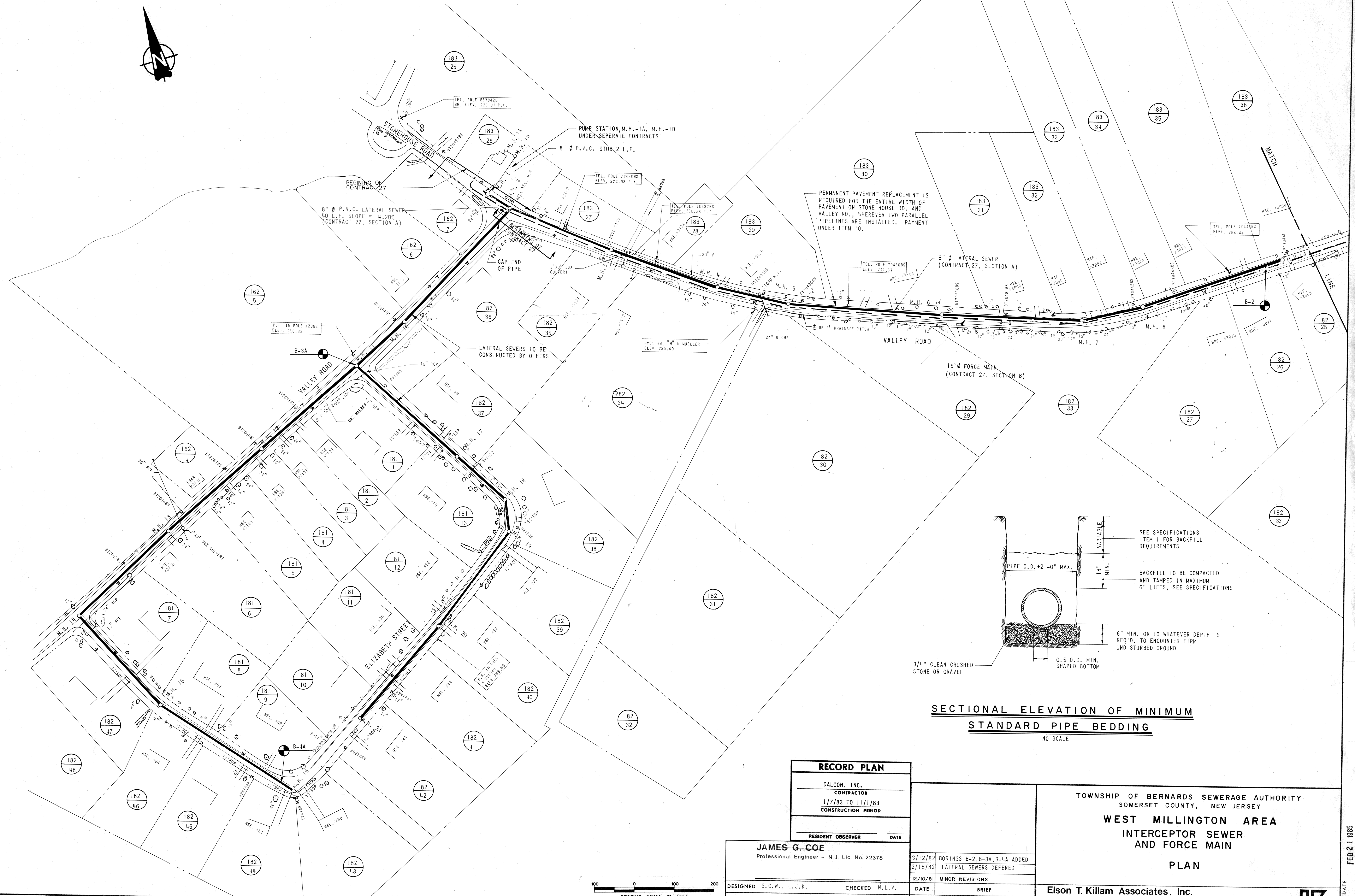
DATE 6/1/73
REVISIONS

TOWNSHIP OF BERNARDS SEWERAGE AUTHORITY
SOMERSET COUNTY, NEW JERSEY
WEST MILLINGTON AREA
INTERCEPTOR SEWER
AND FORCE MAIN
PLAN

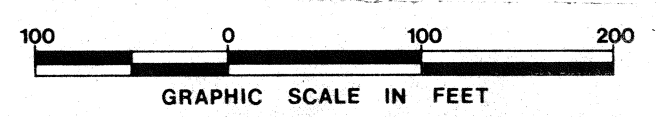
Elson T. Killam Associates, Inc.
Environmental and Hydraulic Engineers
27 Bleeker Street Millburn, New Jersey 07041

CONTRACT NO. 27 SECTION A&B
SHEET 3 OF 10
JOB 475-I

PRINT DATE
FEB 21 1985



**SECTIONAL ELEVATION OF MINIMUM
STANDARD PIPE BEDDING**
NO SCALE

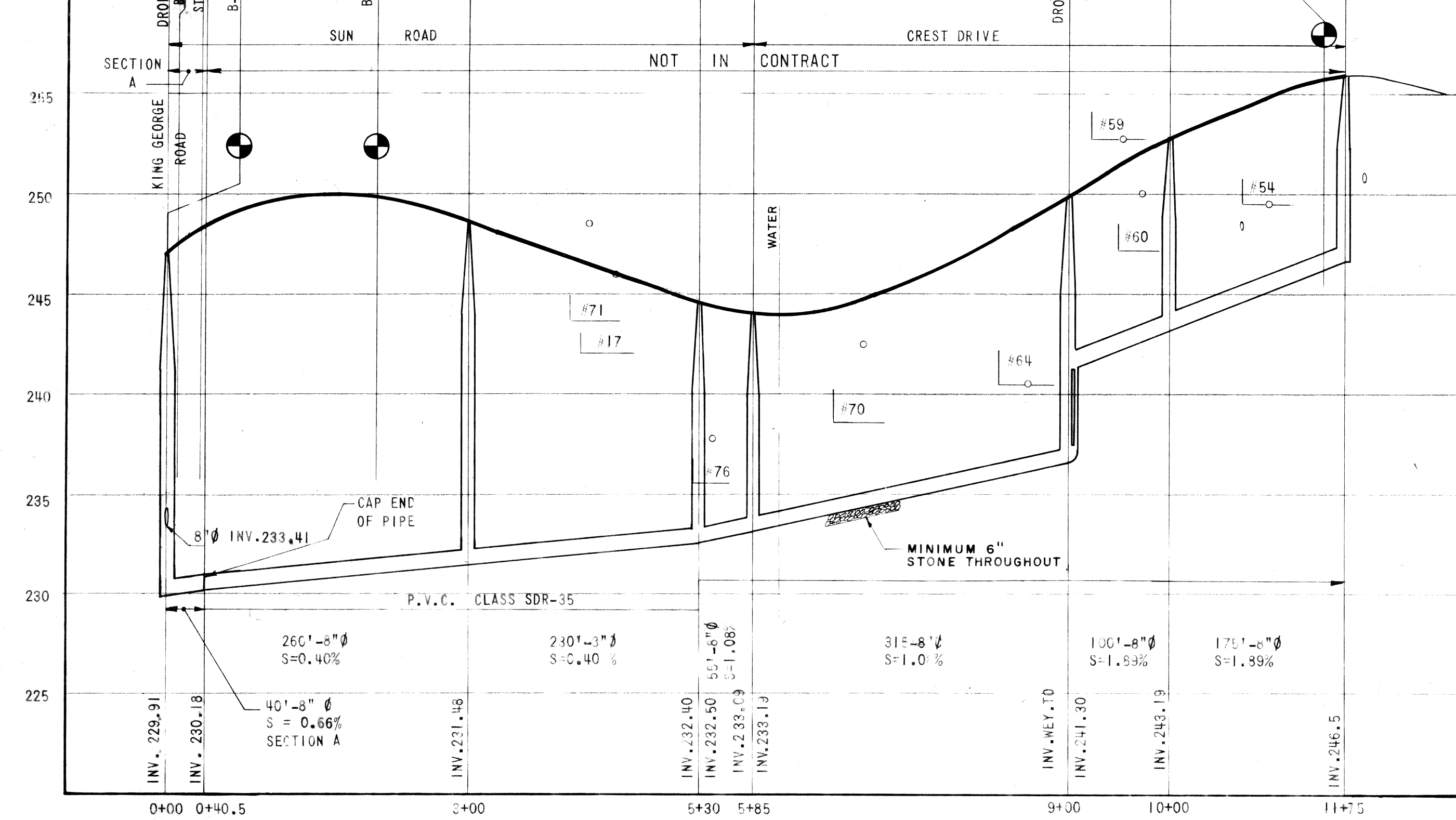


RECORD PLAN	
DALCON, INC. CONTRACTOR	
1/7/83 TO 11/1/83 CONSTRUCTION PERIOD	
RESIDENT OBSERVER	DATE
JAMES G. COE Professional Engineer - N.J. Lic. No. 22378	
DESIGNED S.C.W., L.J.K.	CHECKED N.L.V.
APPROVED J.G.C.	DATE 7-1-81

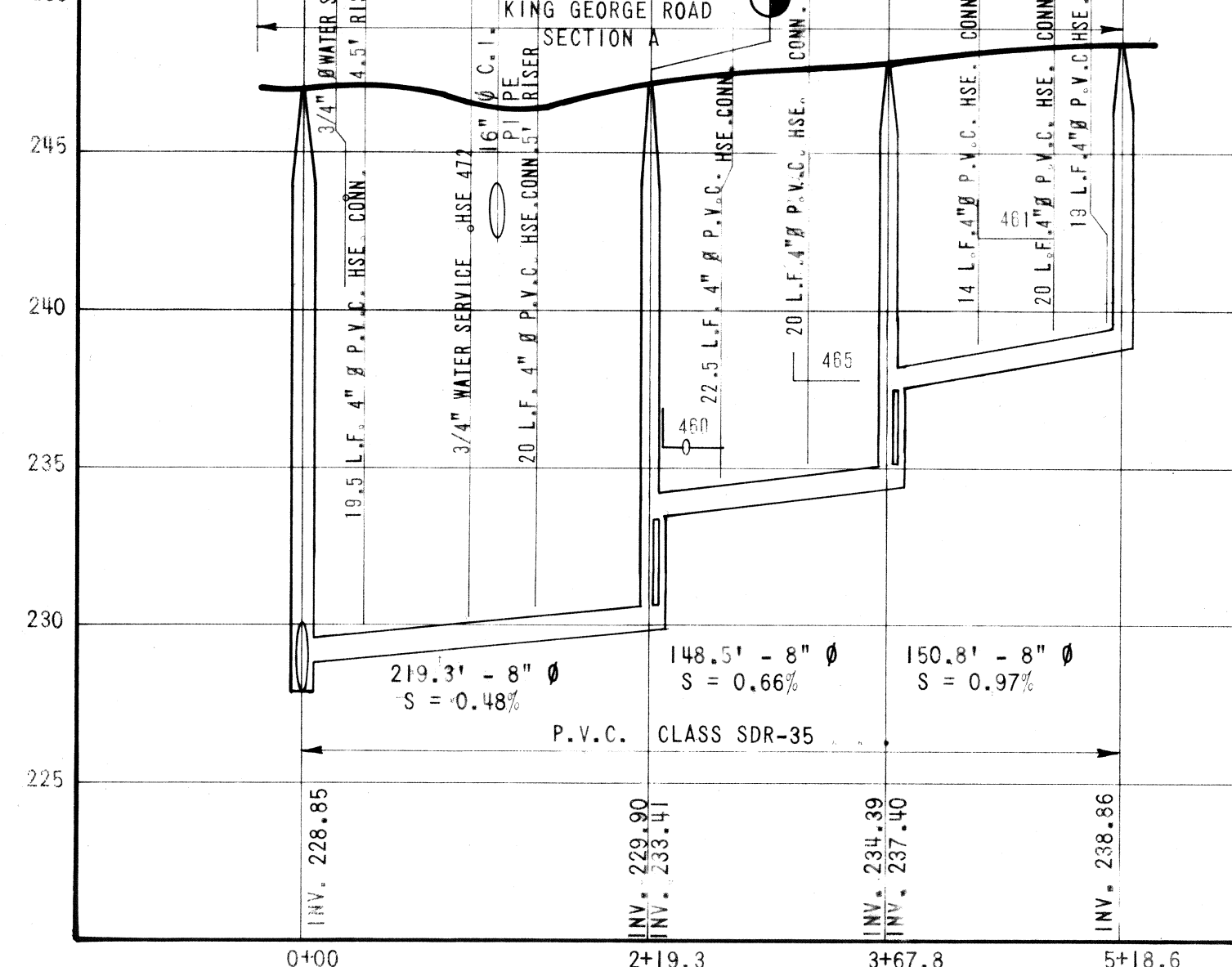
DATE	BRIEF
3/12/82	BORINGS B-2, B-3A, B-4A ADDED
2/18/82	LATERAL SEWERS DEFERED
12/10/81	MINOR REVISIONS

TOWNSHIP OF BERNARDS SEWERAGE AUTHORITY SOMERSET COUNTY, NEW JERSEY	
WEST MILLINGTON AREA INTERCEPTOR SEWER AND FORCE MAIN	
PLAN	
Elson T. Killam Associates, Inc. Environmental and Hydraulic Engineers 27 Bleeker Street Millburn, New Jersey 07041	
CONTRACT NO. 27 SECTION A&B	B/O 4 OF 10
SHEET 4	JOB 475-I

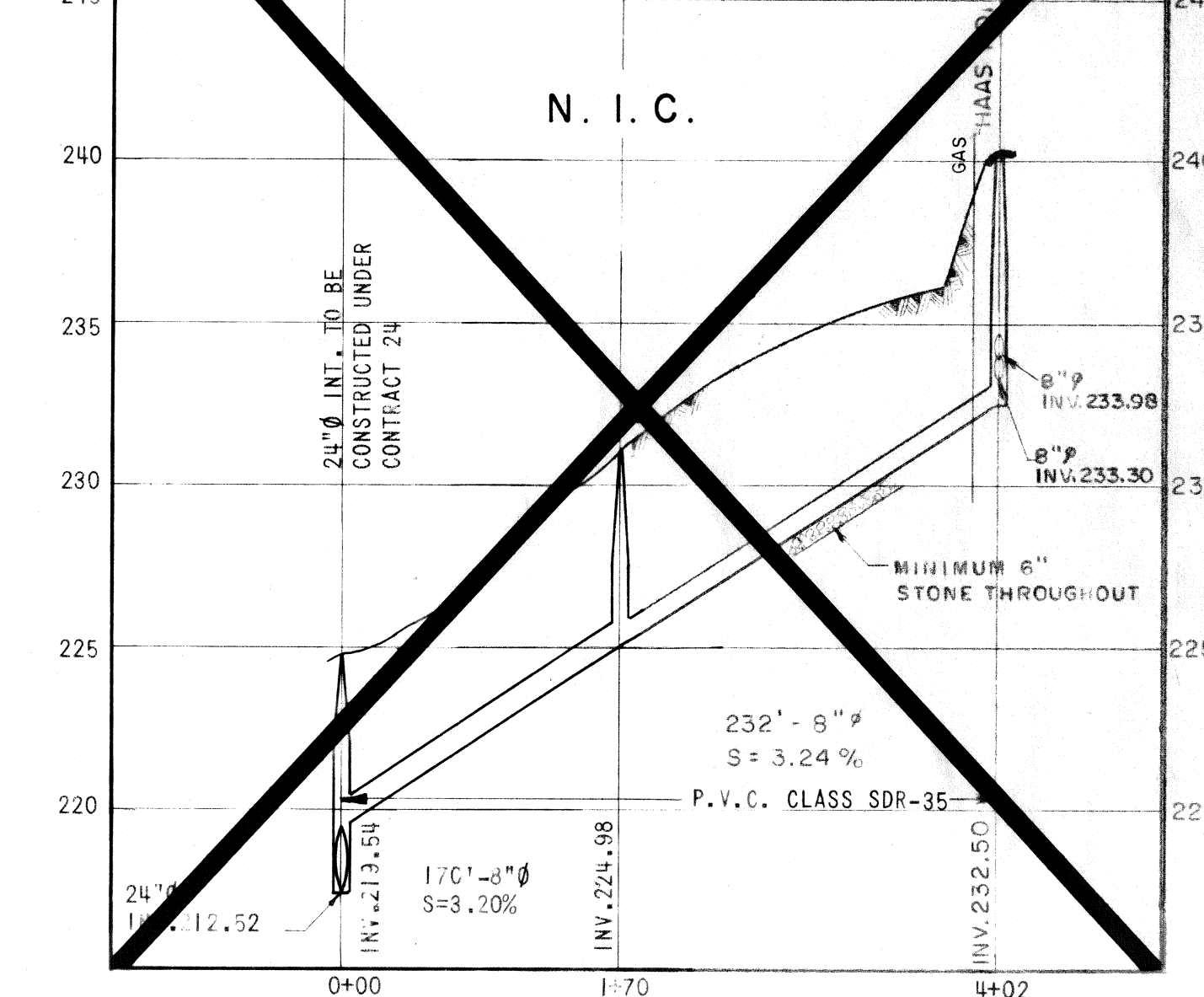
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FEB 21 1985



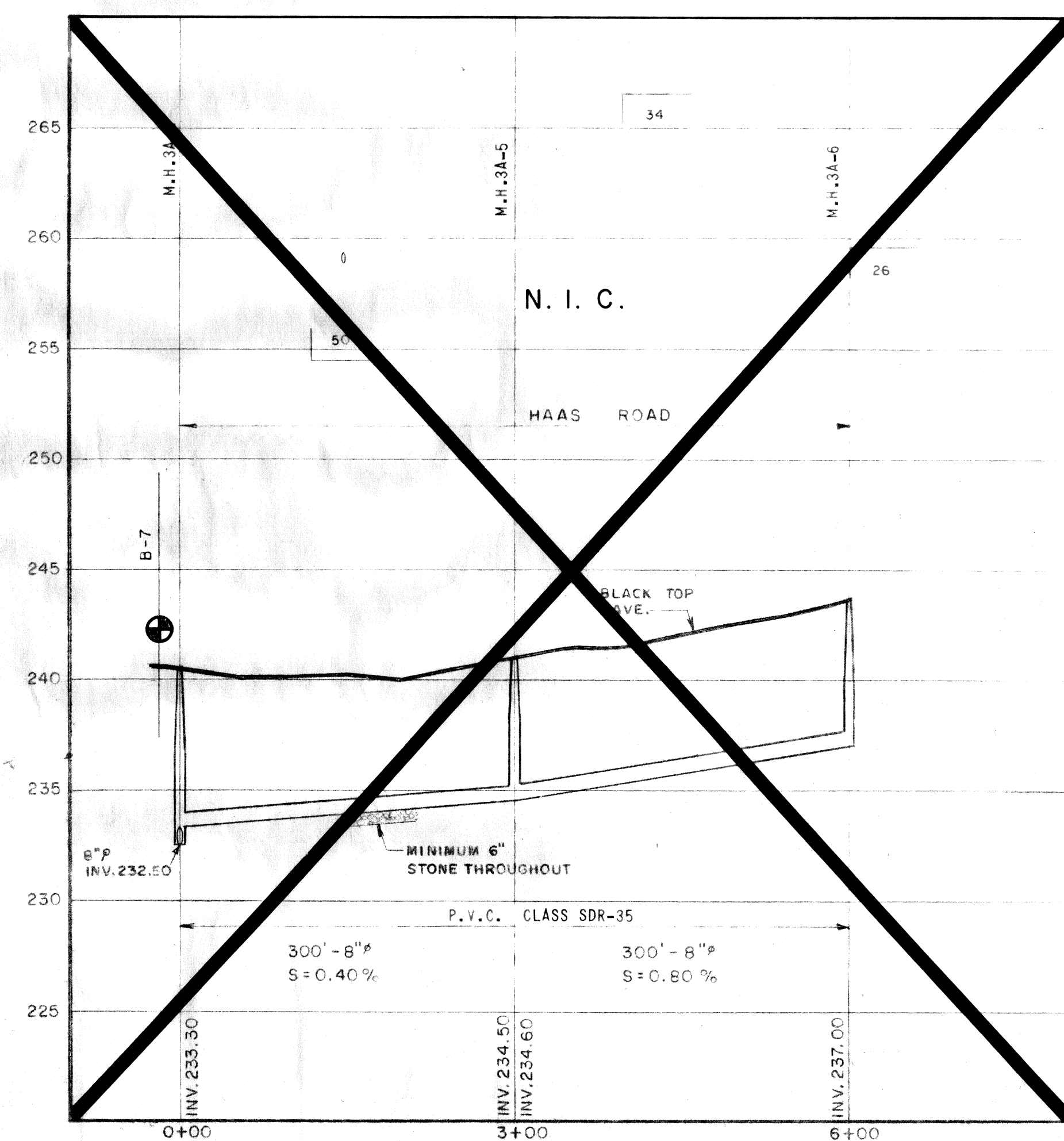
M.H. 44-1 TO M.H. 44-9



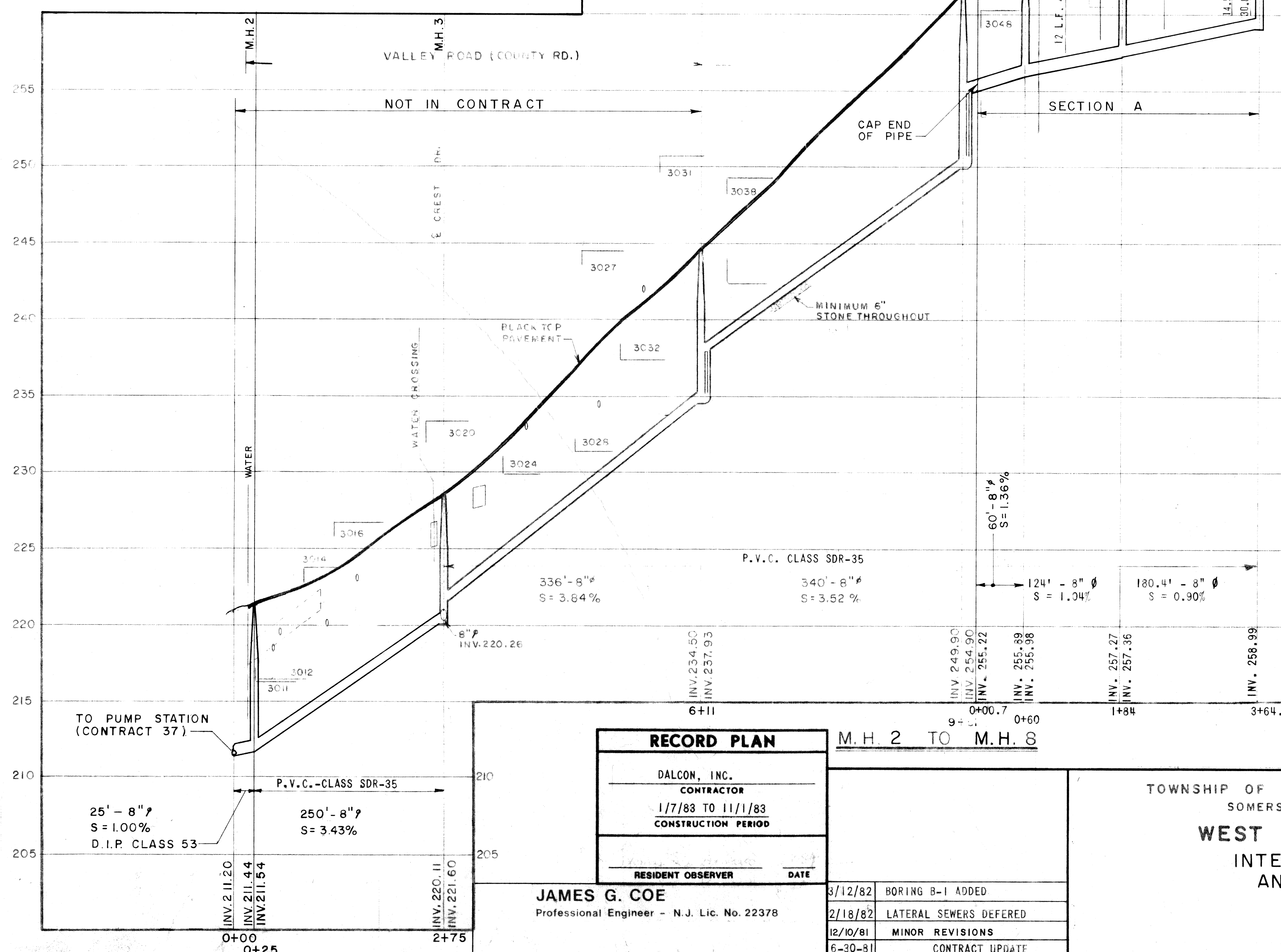
M.H. 44 TO M.H. 44-3



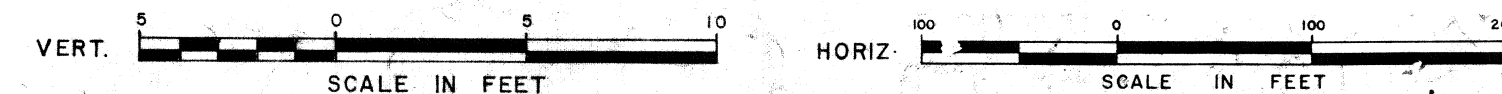
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M.H. 3A-2 TO M.H. 3A-6

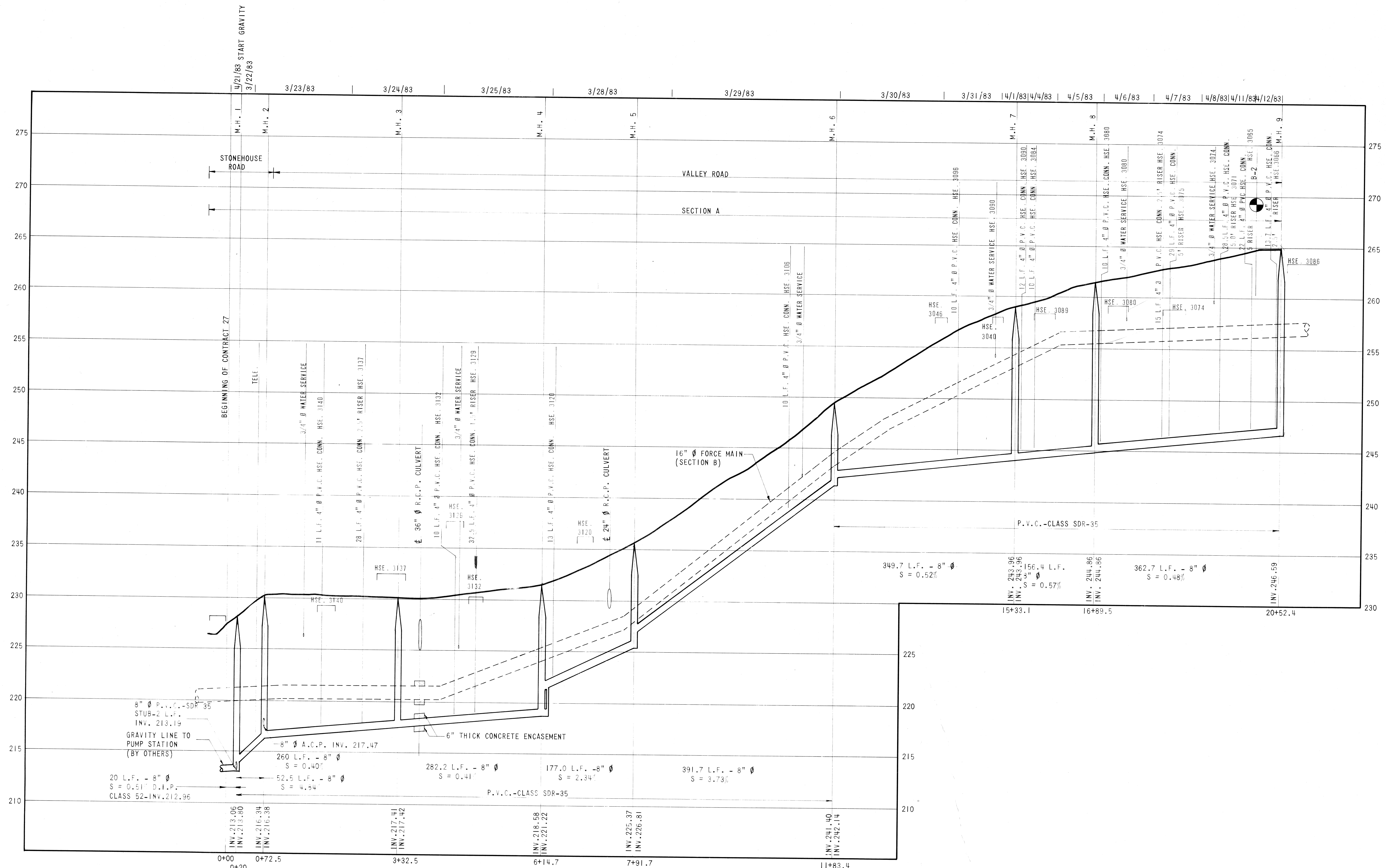


M.H. 2 TO M.H. 8

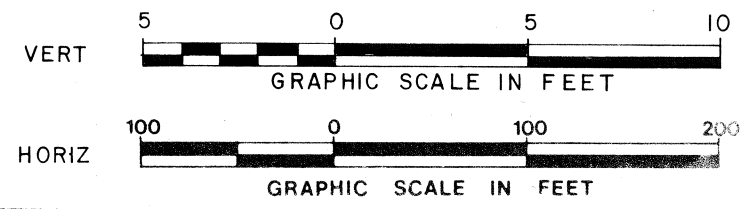


RECORD PLAN DALCON, INC. CONTRACTOR 1/7/83 TO 11/1/83 CONSTRUCTION PERIOD RESIDENT OBSERVER DATE		3/12/82 BORING B-1 ADDED 2/18/82 LATERAL SEWERS DEFERED 12/10/81 MINOR REVISIONS 6-30-81 CONTRACT UPDATE	
DESIGNED J.G.C. CHECKED B.E.F. DATE 6/1/73 APPROVED <i>[Signature]</i>		REVISIONS DATE 6/1/73	
TOWNSHIP OF BERNARDS SEWERAGE AUTHORITY SOMERSET COUNTY, NEW JERSEY WEST MILLINGTON AREA INTERCEPTOR SEWER AND FORCE MAIN PROFILES Elson T. Killam Associates, Inc. Environmental and Hydraulic Engineers 27 Bleeker Street Millburn, New Jersey 07041			
CONTRACT NO. 27 SECTION A		8/0 5 OF 10 SHEET 5 JOB 475-I	

PRINT DATE FEB 21 1985



M.H. 1 TO M.H. 9



RECORD PLAN	
DALCON, INC. CONTRACTOR	
1/7/83 TO 11/1/83 CONSTRUCTION PERIOD	
RESIDENT OBSERVER	DATE

JAMES G. COE Professional Engineer - N.J. Lic. No. 22378	
DESIGNED S.C.W.	CHECKED N.L.V.
APPROVED J.G.C.	DATE 7-1-81

DATE	REVISIONS
4/8/82	PIPE SLOPE CHANGE ADDENDUM NO. 1
3/12/82	BORING B-2 ADDED
2/18/82	LATERAL SEWERS DEFERRED
12/10/81	MINOR REVISIONS

TOWNSHIP OF BERNARDS SEWERAGE AUTHORITY SOMERSET COUNTY, NEW JERSEY	
WEST MILLINGTON AREA INTERCEPTOR SEWER AND FORCE MAIN PROFILE	
Elson T. Killam Associates, Inc. Environmental and Hydraulic Engineers 27 Bleeker Street Millburn, New Jersey 07041	
CONTRACT NO. 27 SECTION A	B/O 7 OF 10
SHEET 7	JOB 475-I

FEB 21 1985

RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

DATE: November 19, 2020

**APPENDIX B:
WATER
WILL SERVE LETTER**



New Jersey American Water
Short Hills Operations Center
167 JFK Parkway
Short Hills, NJ 07078

November 14, 2020

Dresdner Robin
Attn: Grant B. Lewis
55 Lane Road, Suite 220
Fairfield, NJ 07004

RE: Block 8201, Lots 22 & 23
3074 Valley Road
Township of Bernards
Somerset County, New Jersey

Dear: Mr. Lewis

While New Jersey American Water Company does not guarantee flows and pressures, based upon your request, please be advised that we have an 8-inch diameter water main fronting the property listed above. Given this, we can confirm that water service to the above-mentioned location set forth in your letter are currently available off the mains fronting your property, provided however, that we will not guarantee or reserve future capacity.

Actual requirements regarding the means of providing service (including the need for potential system improvements, main relocation or lowering, if any) would be determined at the time of application for service, when domestic and fire demands are presented. If we determine system improvements are required, then our Developer Service Group will contact you. Please note that the cost of these improvements, relocations and lowering is borne by the customer requesting service. Applications for domestic demand over 12,000 GPD or 30 residential units will require a BSDW permit from the NJDEP, which the applicant is required to obtain. Applications for service can be obtained by calling our 24/7 Call Center at 1.800.652.6987.

Please realize that this letter is conditioned upon receipt of all federal, state or local permits (if required).

I trust this satisfies your request and answers any questions you may have had. If you need additional information, please do not hesitate to contact me.

Very truly yours,

Driss Najah
Operations Supervisor
New Jersey American Water

RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

DATE: November 19, 2020

**APPENDIX C:
ELECTRIC
WILL SERVE LETTER**



300 Madison Ave
PO Box 1911
Morristown, NJ 09760

DRESDNER ROBIN
Attn: William Lin, Staff Engineer
55 Lane Rd., Suite 220
Fairfield, NJ 07004

November 18, 2020

Re: Block 8201 Lots 22 & 23
3074 Valley Road
Twp of Bernards, Somerset County, NJ

Dear William Linr:

In response to your recent request for service on the subject property, the following information is provided regarding the process for obtaining electric service from Jersey Central Power & Light Company, ("JCP&L").

It has been determined that the subject property is within JCP&L's service territory. Electric service will be provided in accordance with JCP&L's Tariff for Service which is on file with and approved by the New Jersey Board of Public Utilities. Completion of your request for service is contingent upon your obtaining all required approvals from appropriate authorities and agencies, including, but not limited to, permits for construction. It will be your responsibility to provide JCP&L with complete electric load information and site plans for review, approvals, and engineering, etc. well in advance of construction of the proposed facility.

The Applicant/Customer is responsible for compliance with all Federal, State and Local Codes. This includes but is not limited to the National Electric Code and the National Electric Safety Code. JCP&L reserves the right to refuse connection to customer premises that are not in compliance with applicable Codes.

The exact method of service to the point of delivery will be determined subject to the above-requested information and approval by our Regional Engineering Process. This may require the Applicant/Customer to provide a mutually agreeable location for a substation and/or pay for a prorated portion of the cost to upgrade system facilities or add other necessary equipment to the electrical infrastructure to meet your requirements.

Thank you for your inquiry. If you wish to proceed with this project, you'll need to apply for service by calling 1-800-662-3115. We look forward to working with you.

Respectfully,

Victoria L. Boxler

Victoria L. Boxler
Jersey Central Power & Light Company
Northern Region Engineering Services

RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

DATE: November 19, 2020

**APPENDIX D:
GAS
WILL SERVE LETTER**



November 6, 2020

DRESDNER Robin

Attn: Grant B. Lewis
55 Lane Road, Suite 220
Fairfield, New Jersey 07004

**Re: 3074 Valley Road
Block: # 8201, Lots: # 22 & 23
Township of Bernard,
Somerset County, New Jersey**

To Whom It May Concern:

GAS service can be made available for the above project consistent with service requirements and the PSE&G tariff for electric service.

Please feel free to give this office a call at 1-800-832-0076 if you need additional information.

Sincerely,
PSE&G Construction Inquiry Department

RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

DATE: November 19, 2020

**APPENDIX E:
TELECOMMUNICATIONS
WILL SERVE LETTER AND MAPPING**



11/5/2020

To: Dresdner Robin

Project: 3074 Valley Rd, Twp of Bernards, NJ Block 8201, Lots 22 & 23

In reference to the above-mentioned project and subject to all applicable laws, regulations and tariffs, Verizon New Jersey Inc. will supply the necessary communication service at the Development if we receive the proper information, easements and payment listed below, as required by Verizon's tariff:

1. One full set of paper development plans.
2. Mailing addresses for each building when they become available to start to establish the 911 database.
3. Documentation granting all required rights-of-way and easements at no cost to Verizon.
4. Payment in full of the required advance construction payment based on estimated costs. The actual cost to you will depend on such factors as lot size, the proximity of existing feeder facilities, the existing feeder capacity, terrain and other environmental conditions (e.g., railroads, waterways). Please contact Verizon if you require a more precise estimate of construction costs for the Development.

Should you need any additional information, please do not hesitate to contact me.

Sincerely,

Steven Kallert

Verizon Engineering

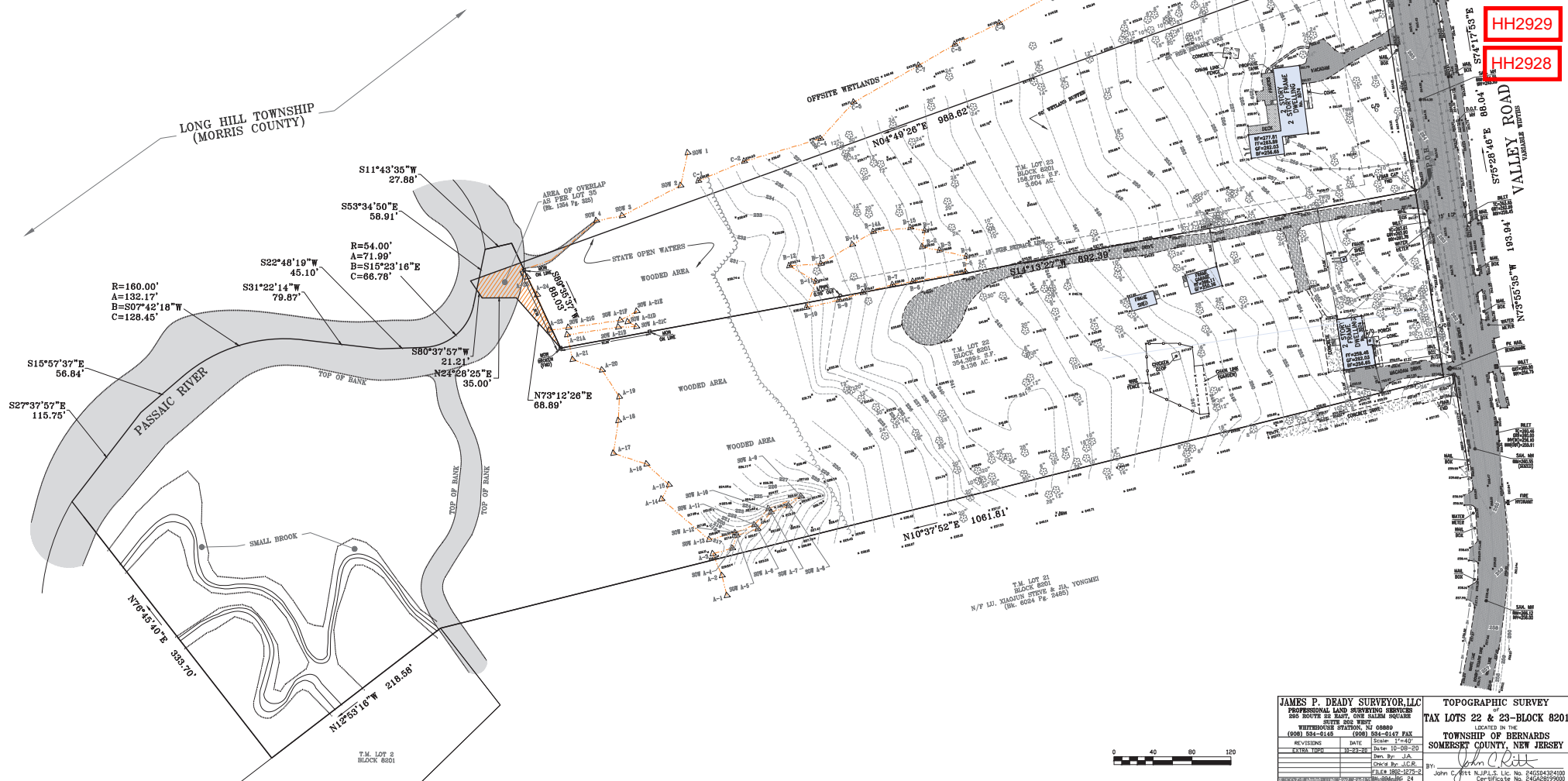
Steve.kallert@verizon.com



"MAP OF PROPERTY IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON NOVEMBER 14, 1950 AS MAP No. 221.

• BRAEMAR PARTNERS

ACCORDING TO FIM,
THIS AREA HAS 3 HANDHOLES
NO OTHER UNDERGROUND FACILTIES



RE: UTILITIES DUE DILIGENCE MEMO
PROJECT No.: 11380-001

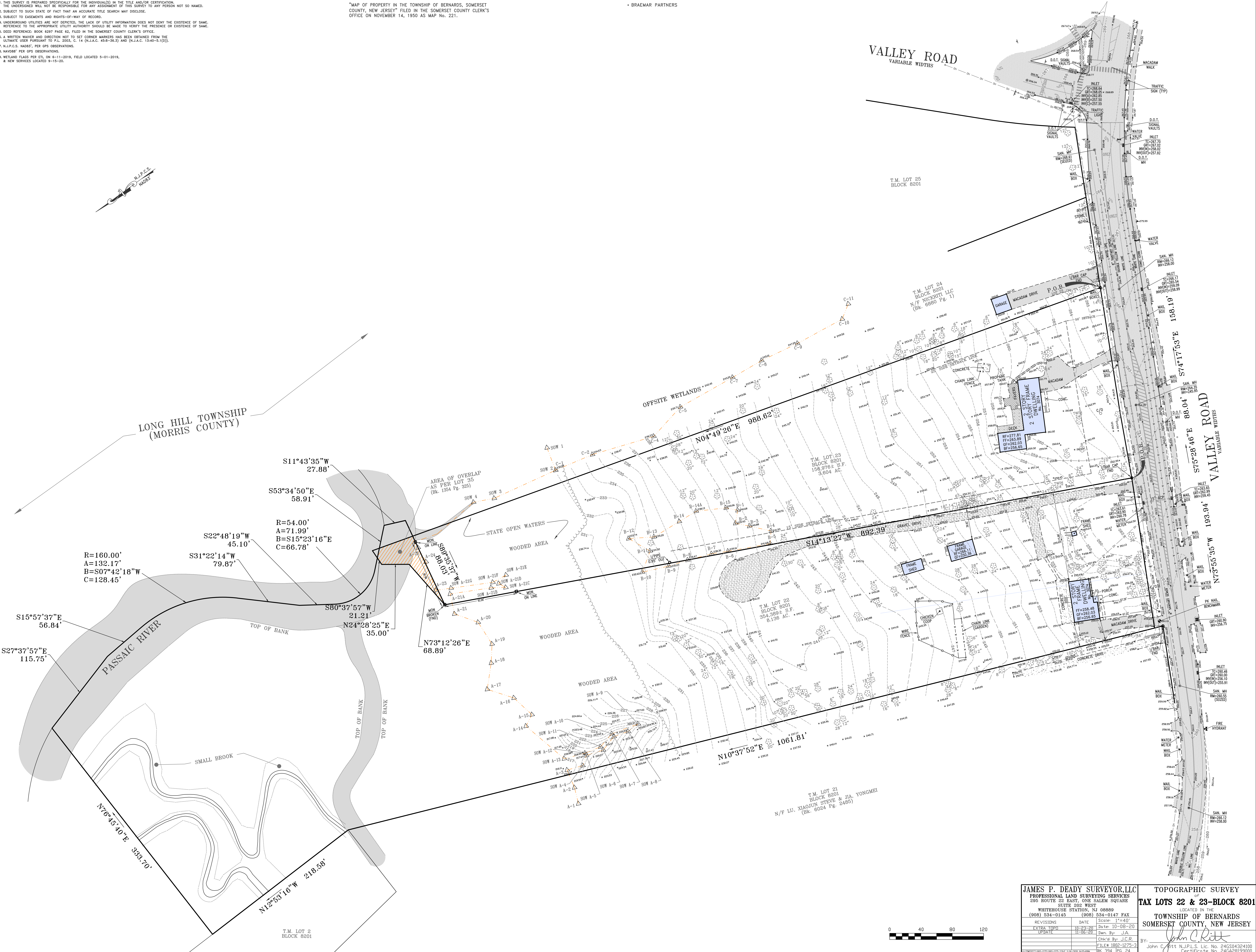
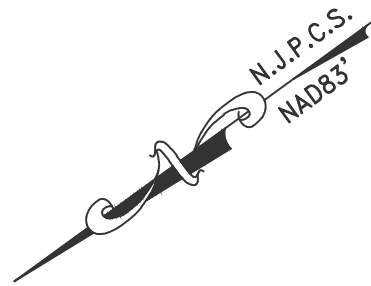
DATE: November 19, 2020

APPENDIX F: BOUNDARY AND TOPOGRAPHIC SURVEY

NOTES:
1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION.
2. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
3. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
4. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
5. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME.
6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2005, C. 14 (N.J.A.C. 45:18-36.3) AND (N.J.A.C. 13:40-5.10).
7. N.J.P.C.S. NAD83, PER GPS OBSERVATIONS.
8. NAVD83 PER GPS OBSERVATIONS.
9. WETLAND FLAGS PER ETL ON 8-11-2019, FIELD LOCATED 5-01-2019,
10. NEW SERVICES LOCATED 9-15-20.

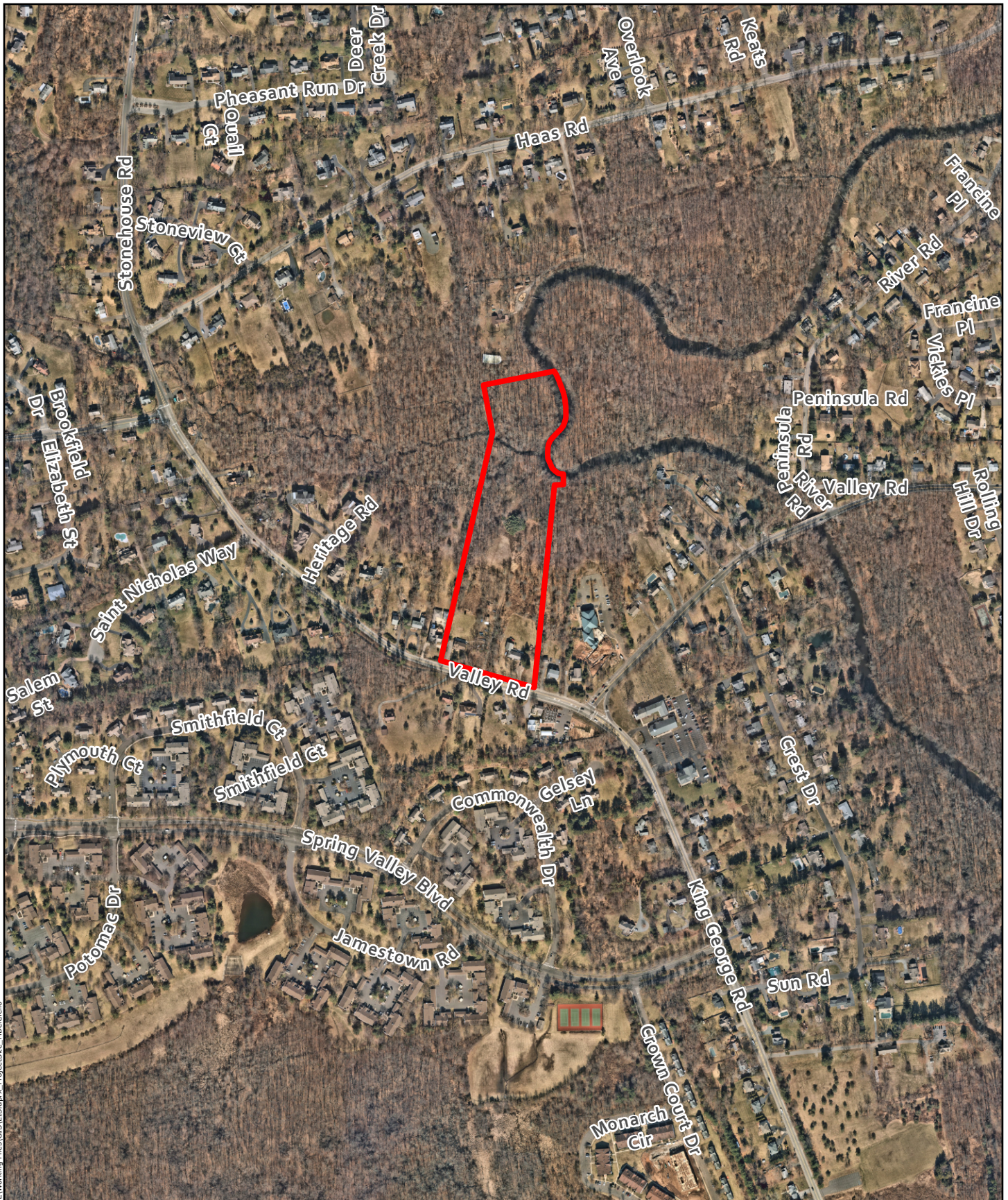
MAP REFERENCE:
"MAP OF PROPERTY IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON NOVEMBER 14, 1950 AS MAP No. 221.

CERTIFIED TO:
• BRAEMAR PARTNERS



JAMES P. DEADY SURVEYOR, L.C. PROFESSIONAL LAND SURVEYING SERVICES 295 ROUTE 22 EAST, ONE SALEM SQUARE SUITE 202 WEST WHITEHOUSE STATION, NJ 08889 (908) 534-0145		TOPOGRAPHIC SURVEY TAX LOTS 22 & 23-BLOCK 8201 LOCATED IN THE TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY	
REVISIONS	DATE	Scale: 1"=40'	DATE: 10-08-20
EXTRA TYPED	10-23-20	Drawn By: J.A.	
UPDATE	11-08-20	Check'd By: J.C.R.	
		FILE# 1802-1275-3	
		BK 394 PG 24	

FIGURES



**DRESDNER
ROBIN**

 Project Site

PROJECT SITE LOCATION MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920

1:7,200

0 300 600 Feet

DRAWN BY:
M.D.

PROJECT NUMBER:
11380-001

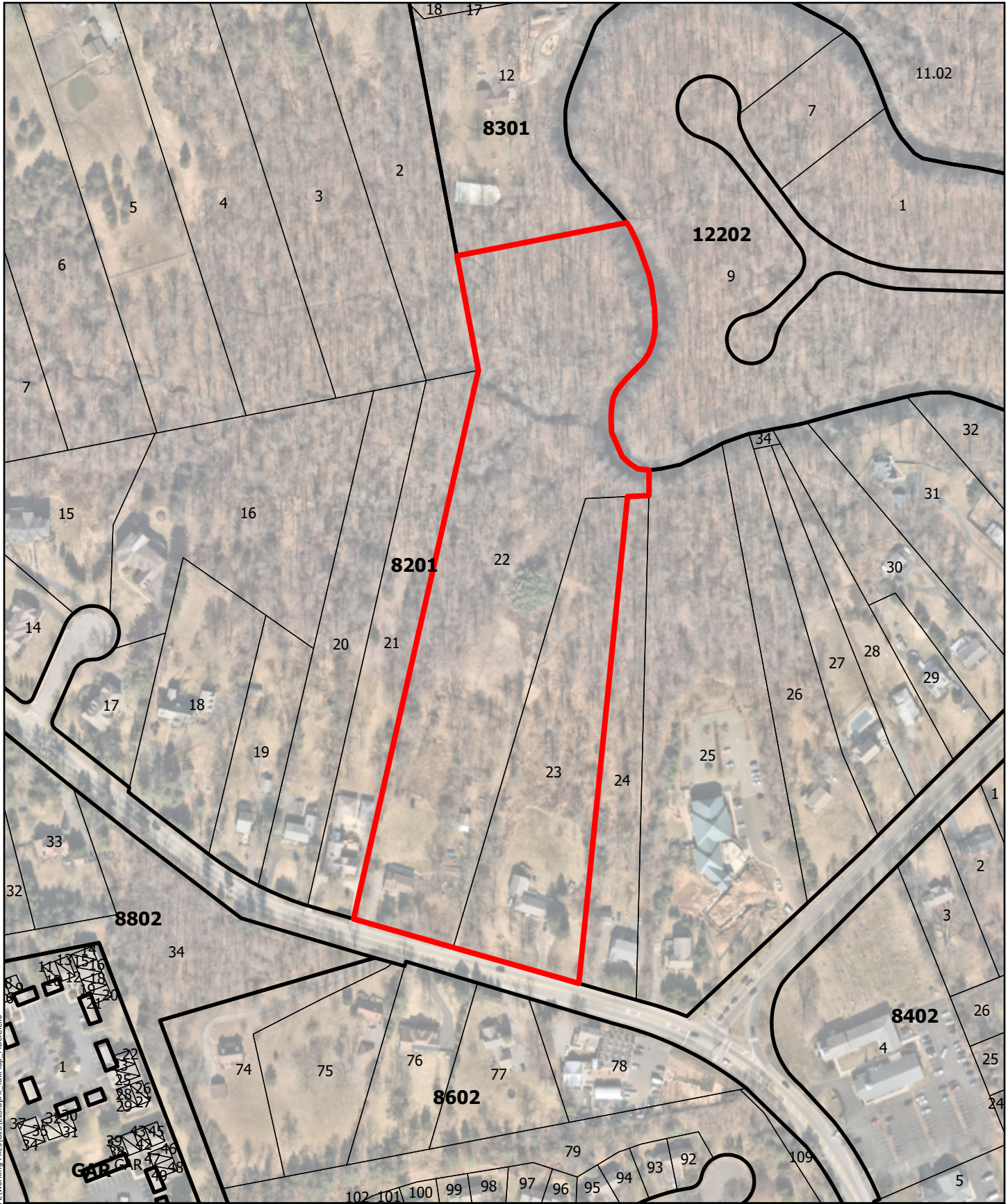
CHECKED BY:
C.H.

DRAWING NUMBER:

DATE:
12/10/2020

1

SOURCE: NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION GIS OPEN DATA (2020), NEW JERSEY OFFICE OF GIS (2020).



Q:\PROJ\11380-001_3074 Valley Rd\PL Working Files\GIS\EIFS.aprx TaxMap MDeCicco

**DRESDNER
ROBIN**

- Project Site
- Parcel Boundary
- Block Boundary

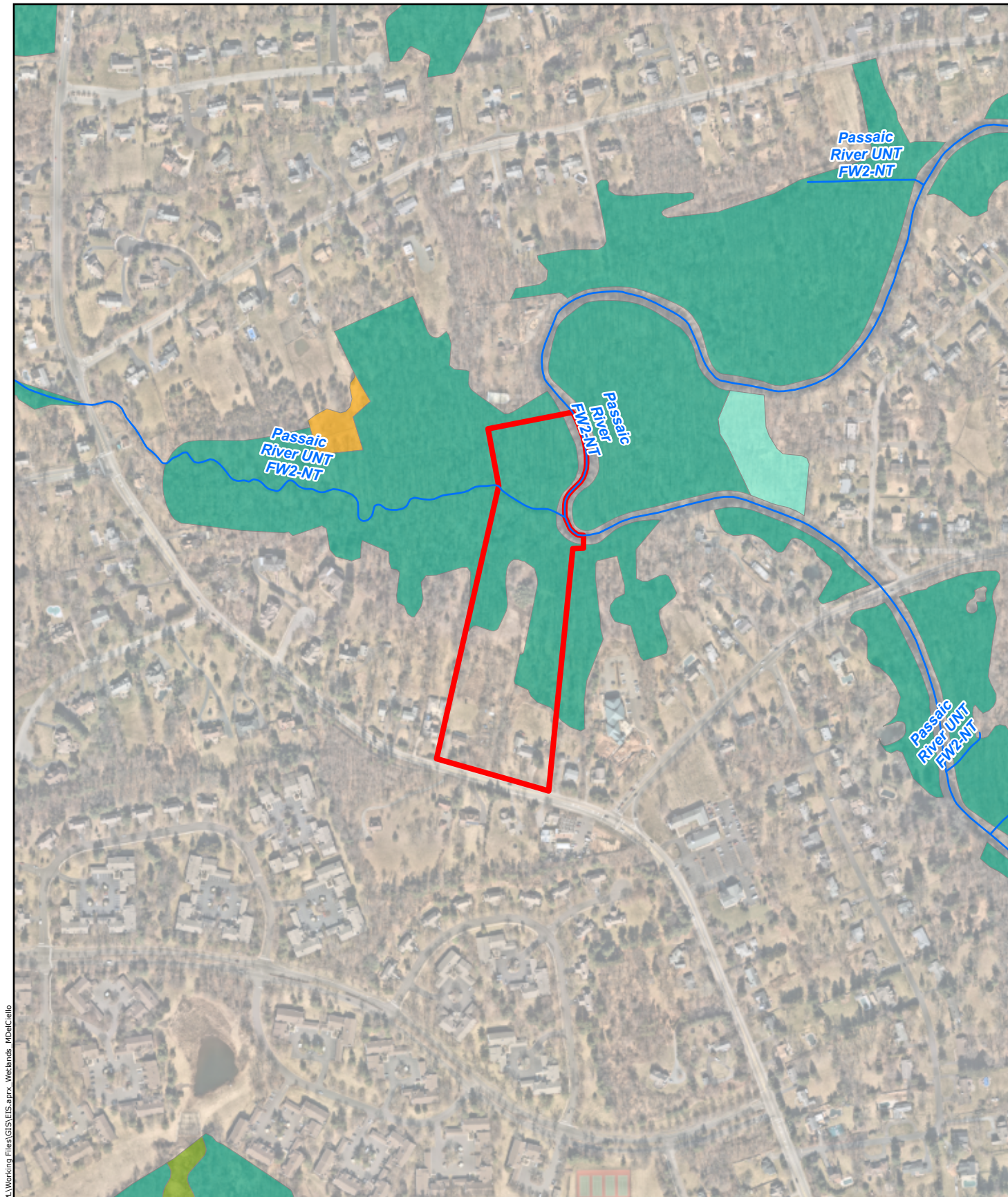
TAX MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920

1:3,000

0125250

Feet

DRAWN BY: M.D.	PROJECT NUMBER: 11380-001
CHECKED BY: C.H.	DRAWING NUMBER: 2
DATE: 12/10/2020	



DRESDNER ROBIN

- Project Site
- Streams
- Agricultural Wetlands (Modified)
- Deciduous Scrub/Shrub Wetlands
- Deciduous Wooded Wetlands
- Herbaceous Wetlands

**NJDEP SURFACE WATER QUALITY
AND WETLANDS MAP**
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920

1:6,000	
0 250 500 Feet	
DRAWN BY: M.D.	PROJECT NUMBER: 11380-001
CHECKED BY: C.H.	DRAWING NUMBER: 3
DATE: 12/10/2020	

SOURCE: NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION GIS OPEN DATA (2020), NEW JERSEY OFFICE OF GIS (2020).










PBPAT
PARSIPPANY
SILT LOAM, 0 TO 3
PERCENT SLOPES,
FREQUENTLY FLOODED

BOYAT
BOWMANVILLE
SILT LOAM, 0 TO 2
PERCENT SLOPES,
FREQUENTLY FLOODED

PEOB
PENN CHANNERY SILT LOAM,
2 TO 6 PERCENT SLOPES

PEOC
PENN CHANNERY SILT LOAM,
6 TO 12 PERCENT SLOPES

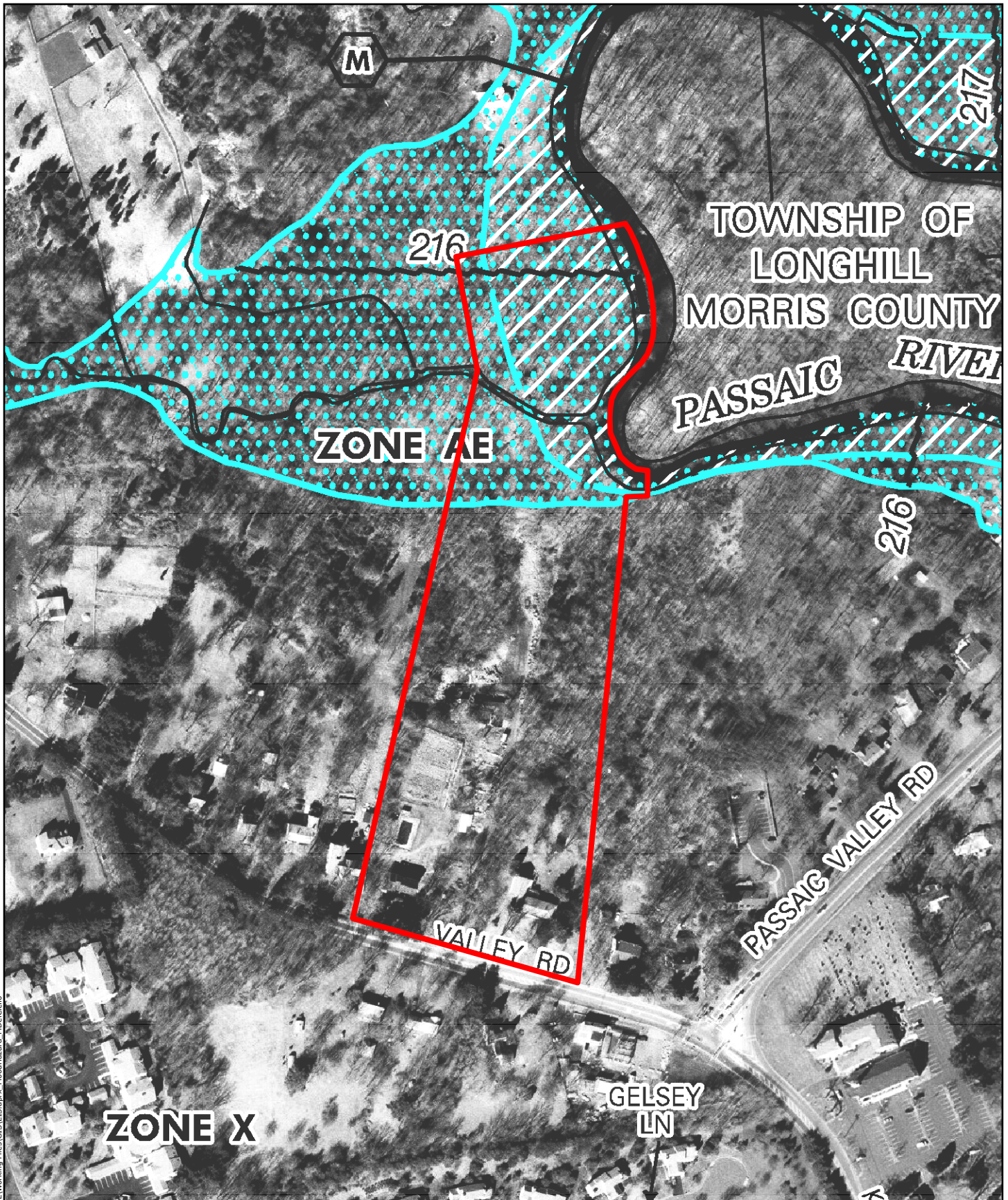
**DRESDNER
ROBIN**

 Project Site	 PeoB
 BoyAt	 PeoC
 KkoD	 RehB
 PbpAt	 WATER
	 WhpA

SOIL SURVEY MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920


1:3,000	
0 125 250 Feet	
DRAWN BY: M.D.	PROJECT NUMBER: 11380-001
CHECKED BY: C.H.	DRAWING NUMBER: 4
DATE: 12/10/2020	


SOURCE: NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION GIS OPEN DATA (2020), NEW JERSEY OFFICE OF GIS (2020).



**DRESDNER
ROBIN**

 Project Site

 SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

 FLOODWAY AREAS IN ZONE AE

ZONE AE
Base Flood Elevations determined.

ZONE X
Areas determined to be outside the 0.2% annual chance floodplain.

FEMA NATIONAL FLOOD HAZARD MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920

1:3,000

0 125 250
Feet

DRAWN BY:
M.D.

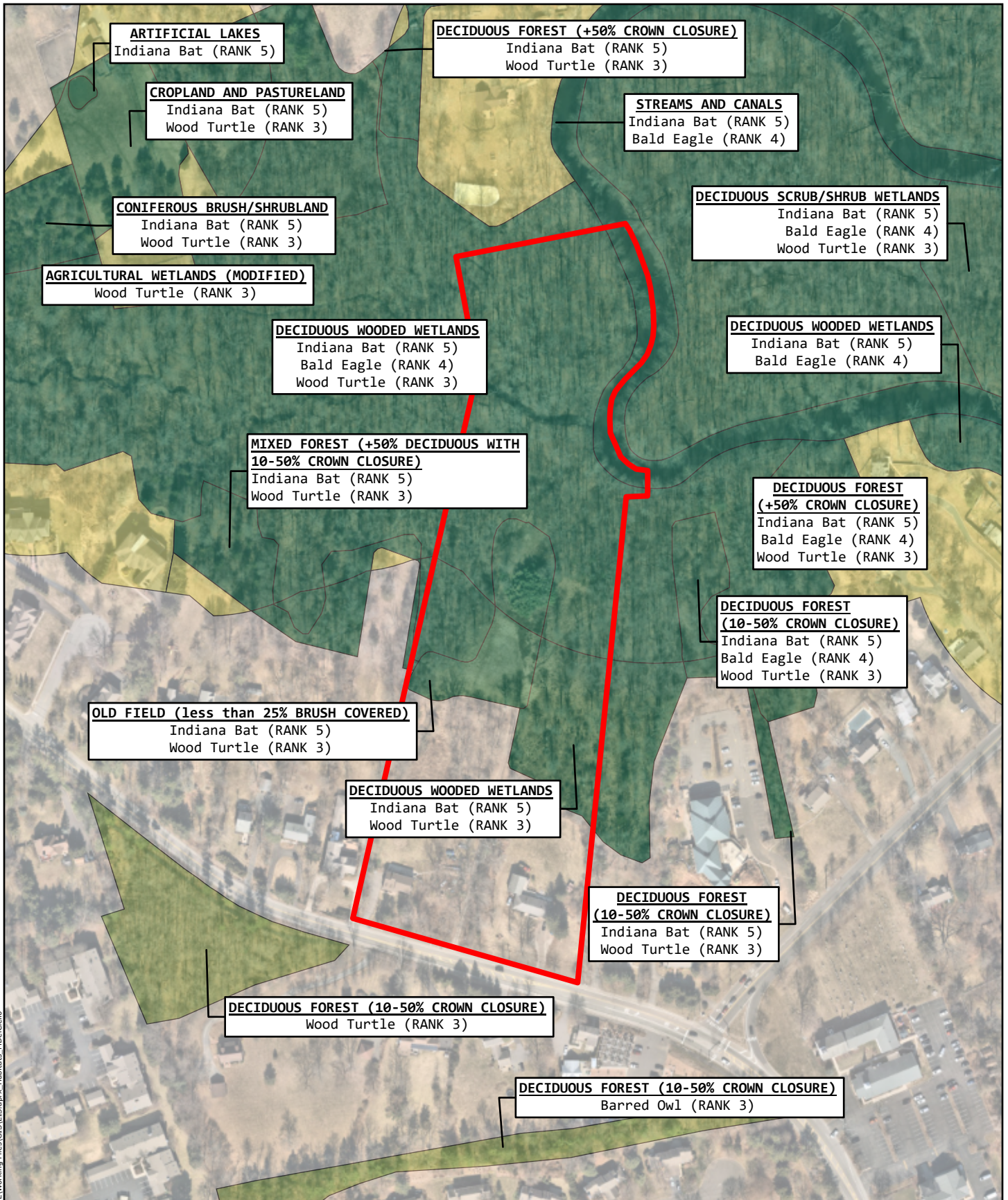
PROJECT NUMBER:
11380-001

CHECKED BY:
C.H.

DRAWING NUMBER:

DATE:
12/18/2020

5

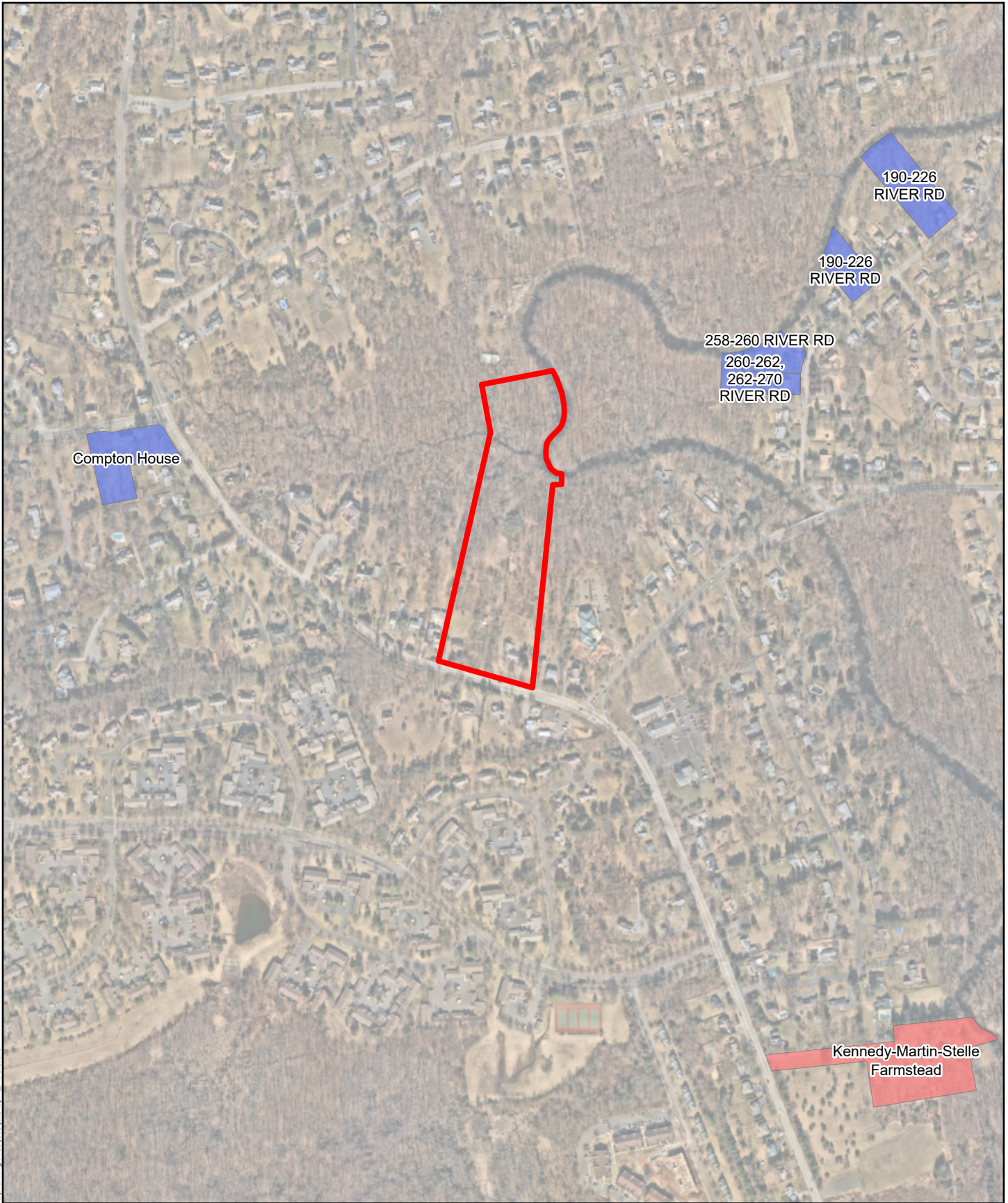


DRESDNER ROBIN

- Project Site
- Rank 1 - Habitat specific requirements
- Rank 2 - Special Concern
- Rank 3 - State Threatened
- Rank 4 - State Endangered
- Rank 5 - Federal Listed

NJDEP LANDSCAPE HABITAT MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NJ 07920

1:3,000	
0 125 250 Feet	
DRAWN BY: M.D.	PROJECT NUMBER: 11380-001
CHECKED BY: C.H.	DRAWING NUMBER: 6
DATE: 12/10/2020	



Compton House

190-226
RIVER RD

190-226
RIVER RD

258-260 RIVER RD

260-262,
262-270
RIVER RD

Kennedy-Martin-Stelle
Farmstead

**DRESDNER
ROBIN**

- Project Site
- Identified Individual Property
- Listed Individual Property

NJDEP HISTORIC PRESERVATION MAP
3066-3074 VALLEY ROAD
BLOCK 8201, LOTS 22 AND 23
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY 07920

1:7,200	
0 300 600 Feet	
DRAWN BY: M.D.	PROJECT NUMBER: 11380-001
CHECKED BY: C.H.	DRAWING NUMBER: 7
DATE: 12/10/2020	

SOURCE: NJ DEPARTMENT OF ENVIRONMENTAL PROTECTION GIS GEOLOGY OPEN DATA (2020), NEW JERSEY OFFICE OF GIS (2020).

PRELIMINARY AND FINAL MAJOR SITE PLAN
ARBOR TERRACE BASKING RIDGE

LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, NEW JERSEY 07920

DRESDNER
ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE
BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
BLDG	BUILDING
BLK	BLOCK
BIT	BITUMINOUS
BM	BENCHMARK
BOL	BOLLARD
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
DC	DEPRESSED CURB
DIP	DUCTILE IRON PIPE
D/W	DRIVEWAY
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EXIST	EXISTING
FC	FLUSH CURB
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FF	FINISHED FLOOR
FND	FOUND
FR	FRAME
FT	FEET
GAR	GARAGE
GF	GARAGE FLOOR
GR	GRATE
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
INV	INVERT
IP	IRON PIPE
LF	LINEAR FEET
MB	MAIL BOX
MH	MANHOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
OC	ON CENTER
OCS	OUTLET CONTROL STRUCTURE
OHW	OVERHEAD WIRE
PAVT	PAVEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVE
PROP	PROPOSED
PVI	POINT OF VERTICAL INTERSECTION
PF	POINT OF FROG
PS	POINT OF SWITCH
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RR	RAILROAD
RRT	RAILROAD TIE
SAN	SANITARY
SL	SLOPE
SRE	SPLIT RAIL FENCE
STOCK	STOCKADE FENCE
STM	STORM
STRP	STRIP
STY	STORY
S/W	SIDEWALK
TEL	TELEPHONE
TC	TOP OF CURB
T/L	TRAFFIC LIGHT
T/W	TOP OF WALL
TG	TOP OF GRATE
TYP	TYPICAL
UC	UNDERGROUND CONDUIT
UGE	UNDERGROUND ELECTRIC
U/P	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WSP	WOOD STOCKADE FENCE
WV	WATER VALVE

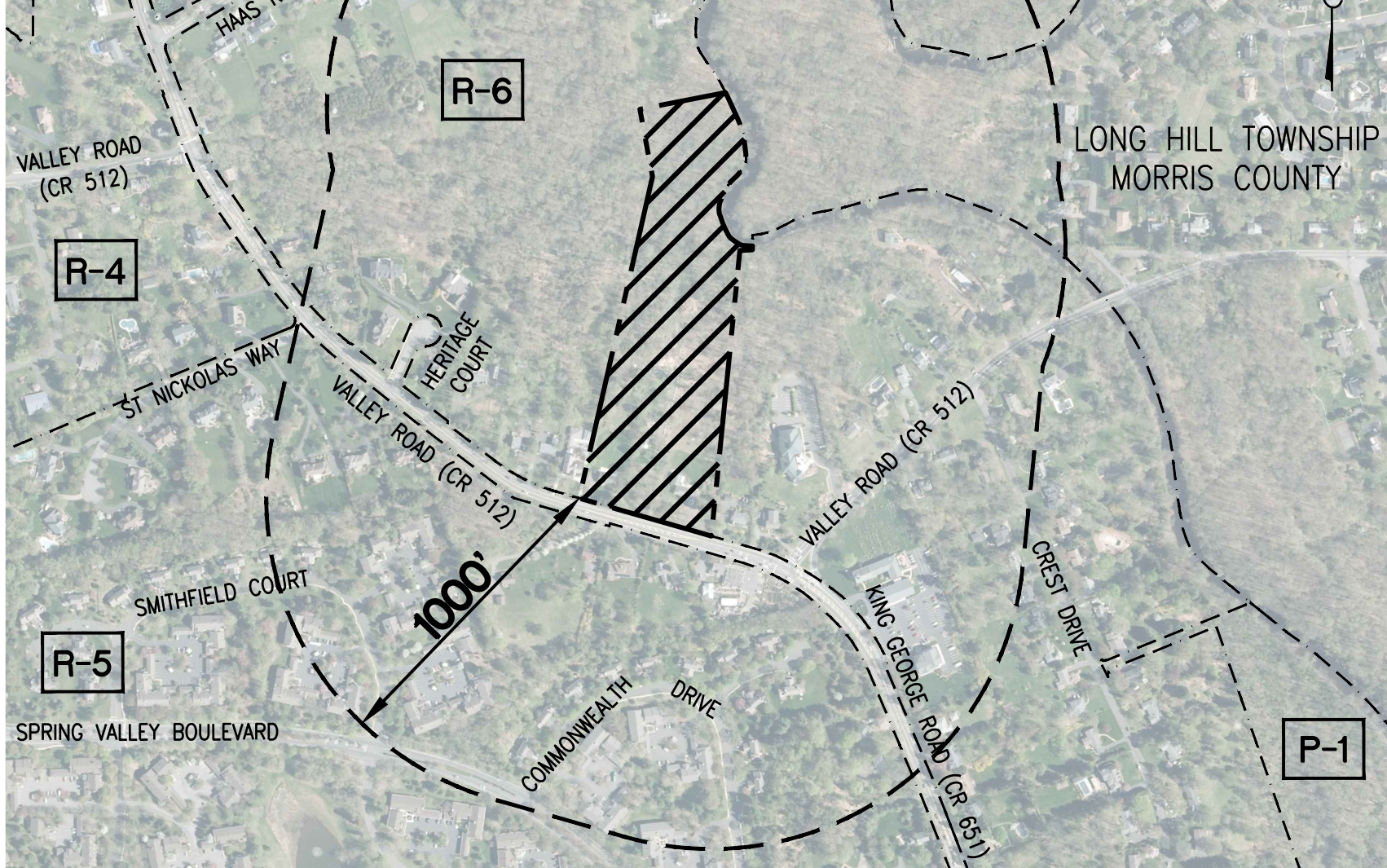
ZONE LEGEND

P-1 PUBLIC PURPOSE ZONE 1

R-4 RESIDENTIAL ZONE 4

R-5 RESIDENTIAL ZONE 5

R-6 RESIDENTIAL ZONE 6

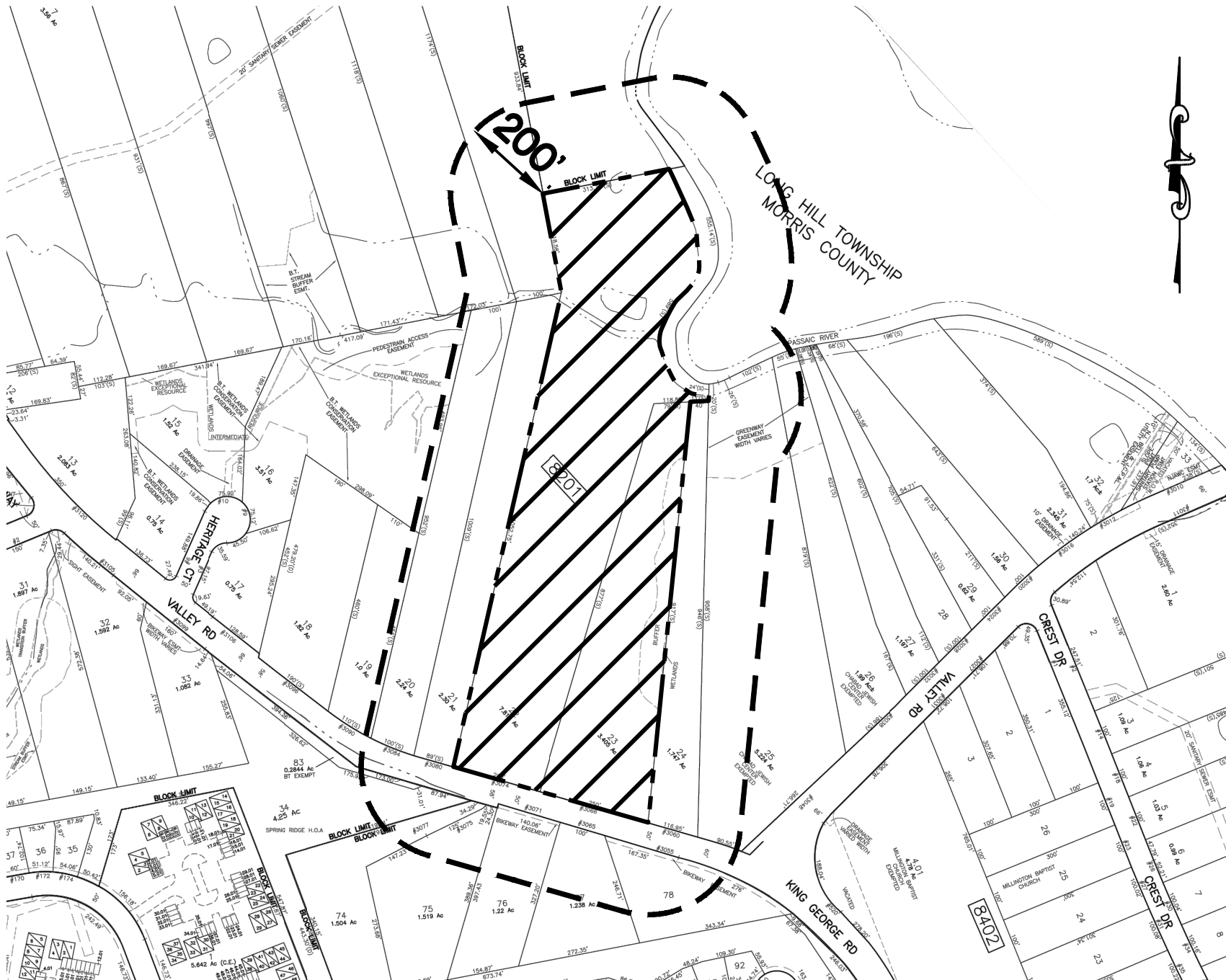


KEY MAP

SOURCE: AERIAL SHOWN PER NEW JERSEY USGS QUADRANGLE MAP H7A15.
ZONE DISTRICTS AND LIMITS SHOWN PER DRAWING TITLED "ZONING MAP OF BERNARDS TOWNSHIP"
PUBLISHED BY THE BERNARDS TOWNSHIP PLANNING AND ZONING DEPARTMENT, DATED SEPTEMBER 21, 2018.

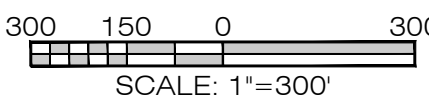


LOCATION MAPS



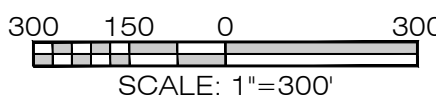
AREA MAP

SOURCE: TOWNSHIP OF BERNARDS TAX MAPS; SHEETS NO. 82, 84, 86, 88
LATITUDE: 40° 39' 50" N | LONGITUDE: 74° 32' 06" W (PER WWW.LATLONG.NET)



TOPOGRAPHY MAP

SOURCE: AERIAL SHOWN PER NEW JERSEY USGS QUADRANGLE MAP H7A15.
TOPOGRAPHY DATA SHOWN BASED ON TOPOGRAPHY MAP PROVIDED BY BERNARDS TOWNSHIP ENGINEERING.



GENERAL NOTES

- DRESDNER ROBIN ACCEPTS NO RESPONSIBILITY FOR THE MODIFICATION, COPYING, OR USE OF THESE DOCUMENTS BY ANY PARTY. THESE DOCUMENTS ARE ONLY INTENDED FOR USE BY THE CLIENT TO WHICH WE ARE CONTRACTED FOR OUR SERVICES. THESE PLANS ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS.
- THE USE OF THIS PLAN, OR SET OF PLANS, MAY BE DEFICIENT ON ITS OWN TO PROPERLY COMPLETE THE IMPROVEMENTS SHOWN HEREIN. THIS PLAN MAY BE PART OF A MORE COMPREHENSIVE SET OF PLANS AND MAY ONLY PARTIALLY REPRESENT THE INTENDED IMPROVEMENTS OR WORK. EACH INDIVIDUAL PLAN CONTAINS RELEVANT INFORMATION FOR A SPECIFIC PURPOSE, BUT INTENDED TO BE USED IN CONJUNCTION WITH THE REMAINDER OF THE PLAN SET. FURTHERMORE, THE ENTIRE PLAN SET MAY REQUIRE ADDITIONAL INFORMATION REPRESENTED IN DESIGN DOCUMENTS BY OTHERS (I.E. ARCHITECTURAL PLANS, ROADWAY PLANS, STRUCTURAL PLANS, GEOTECHNICAL REPORTS, ETC.) IN ORDER TO PROPERLY PERFORM THE WORK.
- THESE DOCUMENTS ARE PREPARED FOR THE PURPOSES OF REVIEW BY VARIOUS REGULATORY AGENCIES AND ARE NOT REPRESENTED AS SUITABLE FOR ANY OTHER PURPOSE. INFORMATION SHOWN HEREIN GENERALLY DEPICTS A PROJECT LOCATION, PROPERTY LIMIT, USE, SCOPE AND NATURE OF IMPROVEMENTS. PLAN DIMENSIONS ARE FURNISHED SOLELY IN SUPPORT OF THE FOREGOING DEFINITION AND ARE NOT REPRESENTED AS BEING SUITABLE FOR ANY OTHER USE.
- EXISTING TOPOGRAPHIC FEATURES, UTILITIES AND SUBSURFACE CONDITIONS SHOWN HEREIN ARE BASED ON SURVEY INFORMATION OR INFRASTRUCTURE RECORDS FURNISHED BY OTHERS OR AN INTERPRETATION OF FEATURES READILY OBSERVABLE AT THE TIME OF DRESDNER ROBIN'S SERVICE. UNLESS SPECIFICALLY NOTED, NO DETAILED OR INTRUSIVE INVESTIGATIONS OF UTILITY OR SUBSURFACE FEATURES HAVE BEEN UNDERTAKEN TO CONFIRM DEPICTED FEATURES. DRESDNER ROBIN ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- PURSUANT TO NEW JERSEY'S UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48:2-73), THE CONTRACTOR MUST CONTACT THE NEW JERSEY ONE CALL SYSTEM AT (800) 272-1000 OR 811 FOR A MARKOUT OF ALL PUBLIC UTILITY LINES ON AND ADJACENT TO THE WORKSITE. AS REQUIRED BY THE REGULATIONS AT N.J.A.C. 14-2, THE CONTRACTOR MUST ALLOW FOR THE REQUIRED WAITING PERIOD TO EXPIRE PRIOR TO EXCAVATION IN ORDER TO ENSURE THAT ALL PUBLIC UTILITY LINES ARE MARKED. PRIVATE UTILITY LINES MAY EXIST WITHIN THE WORK AREA AND MAY OR MAY NOT BE MARKED. CARE SHOULD BE TAKEN TO AVOID DAMAGING ALL UTILITY LINES (MARKED AND UNMARKED) DURING EXCAVATION WORK.
- UTILITY AND OTHER CONSTRUCTION NOTES, WHERE SHOWN ON THE DOCUMENTS, ARE PROVIDED AS REQUESTED BY REGULATORY REVIEW AGENCIES AND/OR QUASI-GOVERNING AGENCIES SUCH AS UTILITY PROVIDERS. SAID NOTES ARE NOT FURNISHED TO ENABLE THESE DOCUMENTS FOR CONSTRUCTION PURPOSES.
- EXISTING INFORMATION SHOWN HEREIN SHALL BE VERIFIED, BY THE CONTRACTOR, PRIOR TO COMMENCING CONSTRUCTION, CONSTRUCTION LAYOUT OR ORDERING MATERIALS. THE ENTITY RESPONSIBLE FOR CONSTRUCTION LAYOUT SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF INFORMATION SHOWN WITHIN THESE DOCUMENTS UTILIZING AN INDEPENDENT VERIFICATION AND IMMEDIATELY REPORT ANY DEVIATIONS TO DRESDNER ROBIN PRIOR TO CONSTRUCTION.
- THE IMPLEMENTATION OF ALL APPLICABLE WORKSITE SAFETY REGULATIONS, INCLUDING THOSE REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OSHA WORKSITE SAFETY REGULATIONS ARE PUBLISHED AT 29 CFR 1926 WITH VARIOUS SUBPARTS RELATIVE TO SPECIFIC TYPES OF WORK. DRESDNER ROBIN TAKES NO RESPONSIBILITY FOR WORKSITE SAFETY PROVISIONS RELATIVE TO THE ONSITE WORK FORCE.

200' PROPERTY OWNER'S LIST

BLOCK	LOT	PROPERTY OWNER	PROPERTY OWNER MAILING ADDRESS	PROPERTY LOCATION
BERNARDS	34	SPRING RIDGE MASTER ASSOCIATION	COMMON ELEMENTS 00000	RECORD ONLY
8602	78	3055 VALLEY LLC	PO BOX 153, OLDWICK NJ 08858	3055 VALLEY RD
8602	77	SBLENDORIO, ANTHONY & MARIA	510 S MAPLE AVE, BASKING RIDGE NJ 07920	3065 VALLEY RD
8602	76	NARAYANAN, ROHIT & PETER, MERLIN	3071 VALLEY RD, BASKING RIDGE NJ 07920	3071 VALLEY RD
8602	75	MACBRIDE, JOAN A & VINCENT, R TRUST	3251 VALLEY RD, BASKING RIDGE NJ 07920	3077 VALLEY RD
8602	74	MACBRIDE, JOAN A & VINCENT, R TRUST	3251 VALLEY RD, BASKING RIDGE NJ 07920	3075 VALLEY RD
8301	12	BURNETT, ROBERT W & DONNA A	79 HAAS RD, BASKING RIDGE NJ 07920	79 HAAS RD
8201	26	CHABAD JEWISH CENTER AT B R	3048 VALLEY RD, BASKING RIDGE NJ 07920	3038 VALLEY RD
8201	25	CHABAD CTR SOMERSET COUNTY INC	3048 VALLEY RD, BASKING RIDGE NJ 07920	3048 VALLEY RD
8201	24	NICKRITZ LLC	9 CHARLOTTE HILL DR, BERNARDSVILLE NJ 07924	3060 VALLEY RD
8201	21	LU, XIAOLIN STEVE & JIA, YONGMEI	3080 VALLEY RD, BASKING RIDGE NJ 07920	3080 VALLEY RD
8201	20	HUDSON, DONALD C & VERONICA E	3084 VALLEY RD, BASKING RIDGE NJ 07920	3084 VALLEY RD
8201	19	CLARK, GORDON	3090 VALLEY RD, BASKING RIDGE NJ 07920	3090 VALLEY RD
8201	16	XIAO, HAN	9 HERITAGE CT, BASKING RIDGE NJ 07920	9 HERITAGE CT
8201	3	FORTENBACKER, CHARLES & CARMEN	43 HAAS RD, BASKING RIDGE NJ 07920	43 HAAS RD
8201	2	PAULSEN, ROBERT M	49 HAAS RD, BASKING RIDGE NJ 07920	49 HAAS RD
LONG HILL TOWNSHIP	9	COUNTY OF MORRIS	53 EAST HANOVER AVE, MORRISTOWN, NJ 07962	PENINSULA RD

*SEE AGENCY AND UTILITY CONTACTS LIST TO ALSO BE NOTIFIED
REFERENCE: OWNERS & ADDRESS REPORT BASED ON CERTIFIED LISTS DATED 10/26/2020 PREPARED BY TOWNSHIP OF BERNARDS AND DATED 12/15/2020 PREPARED BY TOWNSHIP OF LONG HILL.

SHEET INDEX

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	DATE	REVISION DATE
1	G-001	COVER SHEET	12-11-2020	-
2	C-301	SITE LAYOUT PLAN	12-11-2020	-
3	C-311	FIRE SERVICE PLAN	12-11-2020	-
4	C-351	SIGHT DISTANCE PLAN	12-11-2020	-
5	C-401	GRADING PLAN	12-11-2020	-
6	C-411	DRAINAGE PLAN	12-11-2020	-
7	C-501	UTILITY PLAN	12-11-2020	-
8	L-601	LANDSCAPE PLAN	12-11-2020	-
9	L-621	TREE REMOVALS PLAN/ TREE IDENTIFICATION	12-11-2020	-
10	L-691	LANDSCAPE NOTES AND PLANT LIST	12-11-2020	-
11	L-692	LANDSCAPE DETAILS	12-11-2020	-
12	L-711	LIGHTING PLAN	12-11-2020	-
13	L-791	LIGHTING DETAILS	12-11-2020	-
14	C-801	SOIL EROSION AND SEDIMENT CONTROL PLAN	12-11-2020	-
15	C-802	SOIL EROSION AND SEDIMENT CONTROL DETAILS	12-11-2020	-
16	C-811	STEEP SLOPE AND MINIMUM IMPROVABLE LOT AREA PLAN	12-11-2020	-
17	C-821	REMOVALS PLAN	12-11-2020	-
18	C-901	CONSTRUCTION DETAILS I	12-11-2020	-
19	C-902	CONSTRUCTION DETAILS II	12-11-2020	-
20	C-903	CONSTRUCTION DETAILS III	12-11-2020	-
21	C-904	CONSTRUCTION DETAILS IV	12-11-2020	-
22	C-905	CONSTRUCTION DETAILS V	12-11-2020	-
23	C-906	CONSTRUCTION DETAILS VI	12-11-2020	-

AGENCY CONTACTS

TELECOMMUNICATION VERIZON COMMUNICATIONS ENGINEERING 290 W MT PLEASANT AVE: STE 1400 LIVINGSTON, NJ 07039-2763	GAS ALGONQUIN GAS TRANSMISSION CO 1 LINDBERGH RD STONY POINT, NY 10980 (908) 757-1212
CABLEVISION CABLEVISION OF RARITAN VALLEY 275 CENTENNIAL AVE; CN6805 PISCATAWAY, N.J 08855 ATTN:MARGURITE PRENDERVILLE CONSTRUCTION DEPT	PUBLIC SERVICE ELECTRIC & GAS MANAGER -- CORPORATE PROPERTIES 80 PARK PLAZA, T68 NEWARK, NJ 07102
ELECTRIC JCP & L/ GPU SERVICE TAX DEPT PO BOX 1911 MORRISTOWN, NJ 07962-1911	COUNTY SOMERSET COUNTY PLANNING BOARD PO BOX 3000 SOMERVILLE, NJ 08876

PROJECT CONTACTS

**CIVIL ENGINEER/PLANNER/
LANDSCAPE ARCHITECT**
DRESDNER ROBIN
55 LANE ROAD, SUITE 220
FAIRFIELD, NJ 07004
(973) 696-2600

SURVEYOR
JAMES P. DEADY SURVEYOR, LLC
295 ROUTE 22 EAST
WHITEHOUSE STATION, NJ 08889
(908) 534-0145

ARCHITECT
MEYER ARCHITECTS, INC.
227 EAST LANCASTER AVENUE
ARDMORE, PA 19003
(610) 649-8500

ATTORNEY
DIFRANCESCO, BATEMAN
KUNZMAN, DAVIS, LEHRER &
FLAUM, P.C.
15 MOUNTAIN BOULEVARD
WARREN, NEW JERSEY 07059
(908) 757-7800

COVER SHEET

PROJECT:

ARBOR TERRACE
BASKING RIDGE

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

CERTIFICATIONS

TOWNSHIP OF BERNARDS

APPROVED BY THE BOARD OF ADJUSTMENT OF THE
TOWNSHIP OF BERNARDS AT A MEETING HELD
ON THE ____ DAY OF ____ 20__.

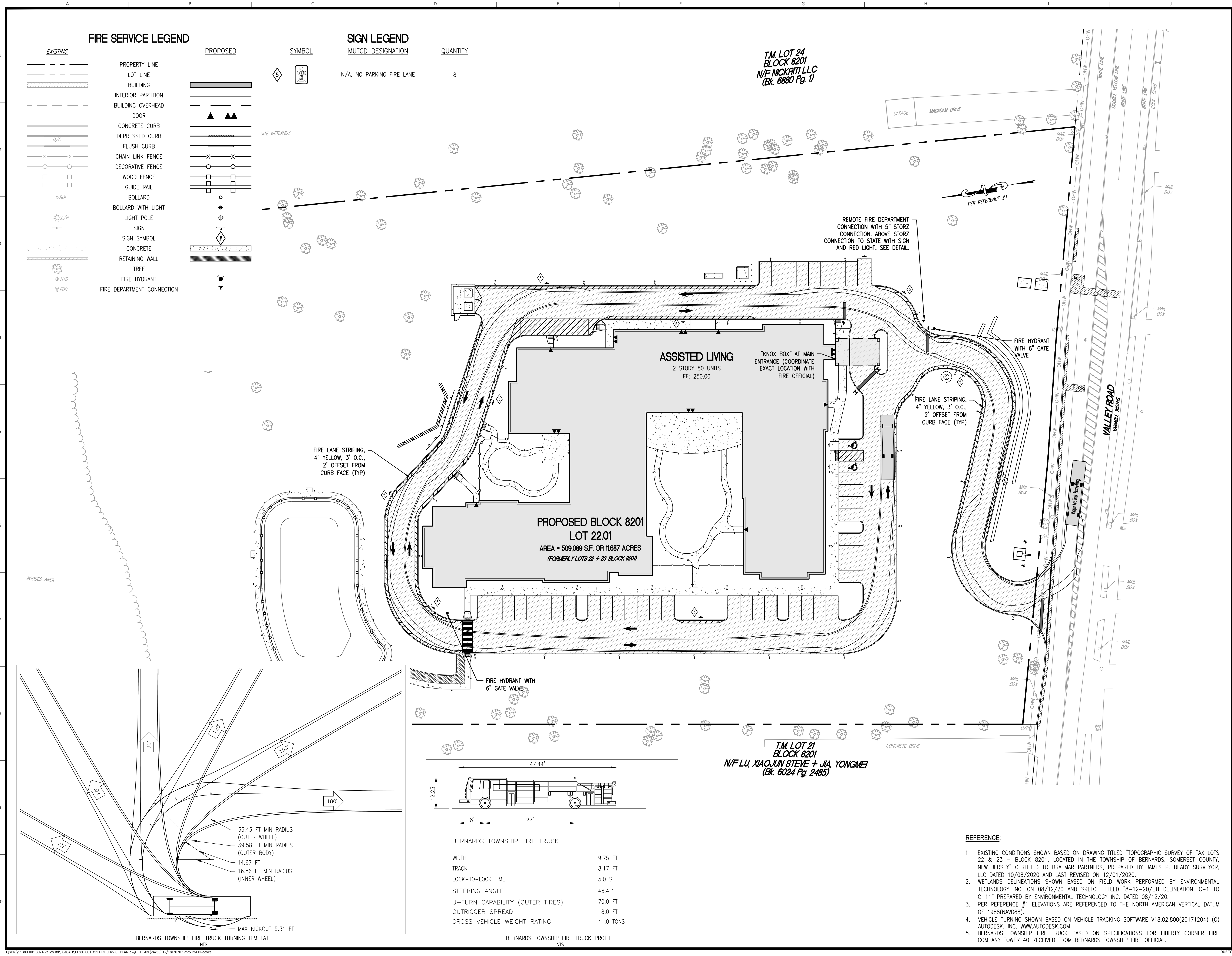
CHAIRMAN DATE

SECRETARY DATE

BOARD ENGINEER DATE

AS SHOWN

DRAWN BY: WHL	CHECKED BY: GBL	DRAWING NUMBER: G-001
SCALE: AS SHOWN	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 01	OF 23



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
REVISIONS:			
OWNER (LOT 22):			
RICA PROPERTIES, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
OWNER (LOT 23):			
RICA REALTY RENTAL GROUP II, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
APPLICANT:			
BRAEMAR PARTNERS 13140 FREEMANVILLE ROAD MILTON, GA 30004			
DRAWING TITLE:			
FIRE SERVICE PLAN			
PROJECT:			
ARBOR TERRACE BASKING RIDGE			
LOCATION:			
3066-3074 VALLEY ROAD LOTS 22 & 23, BLOCK 8201 TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY, 07920			
SCALE:			
30 15 0 30 SCALE: 1"=30'			
DRAWN BY: MSB CHECKED BY: GBL DRAWING NUMBER: C-311			
SCALE: 1"=30'		DATE: 12-11-2020	
JOB NO: 11380-001		SHEET 03 OF 23	

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

OWNER (LOT 22):

RICA PROPERTIES, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

**RICA REALTY
RENTAL GROUP II, LLC**

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS
13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

SIGHT DISTANCE PLAN

PROJECT:

**ARBOR TERRACE
BASKING RIDGE**

LOCATION:

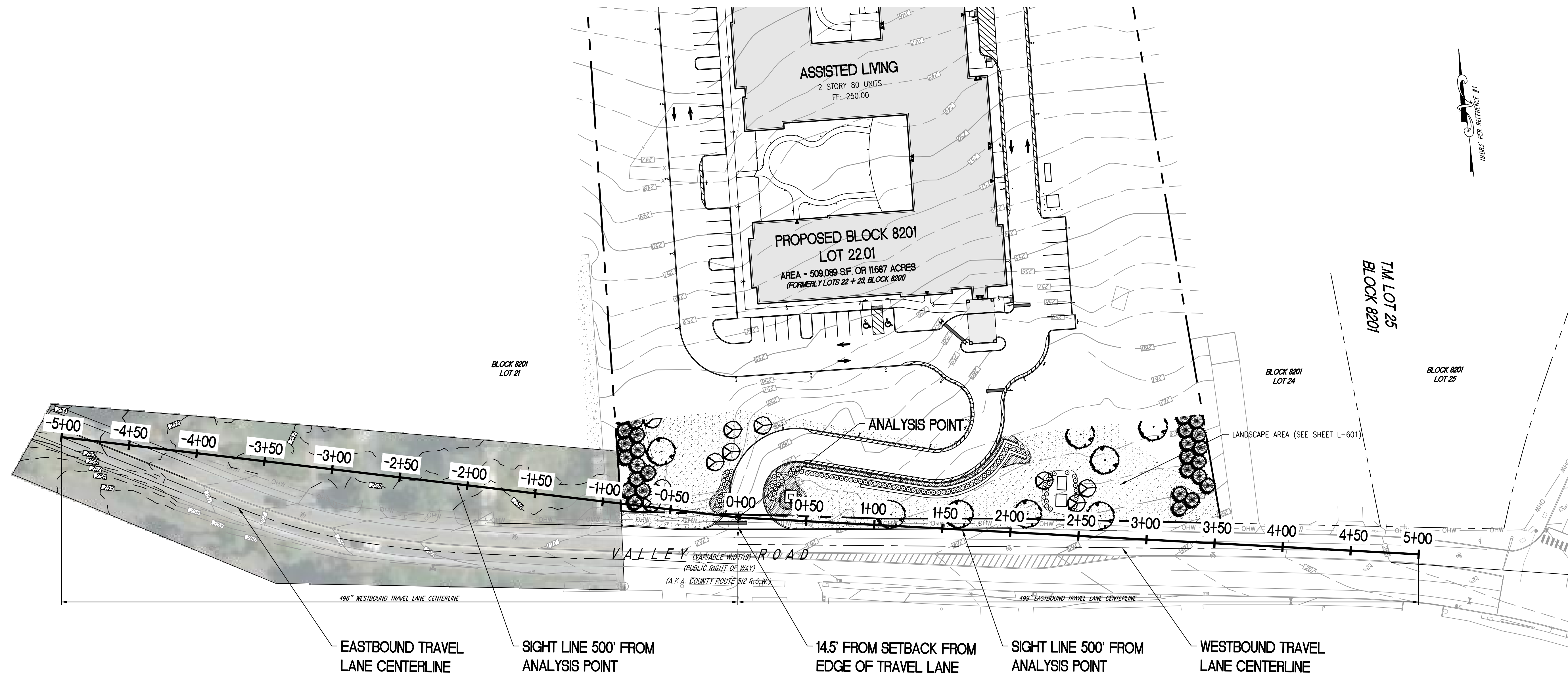
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

 12/11/2020

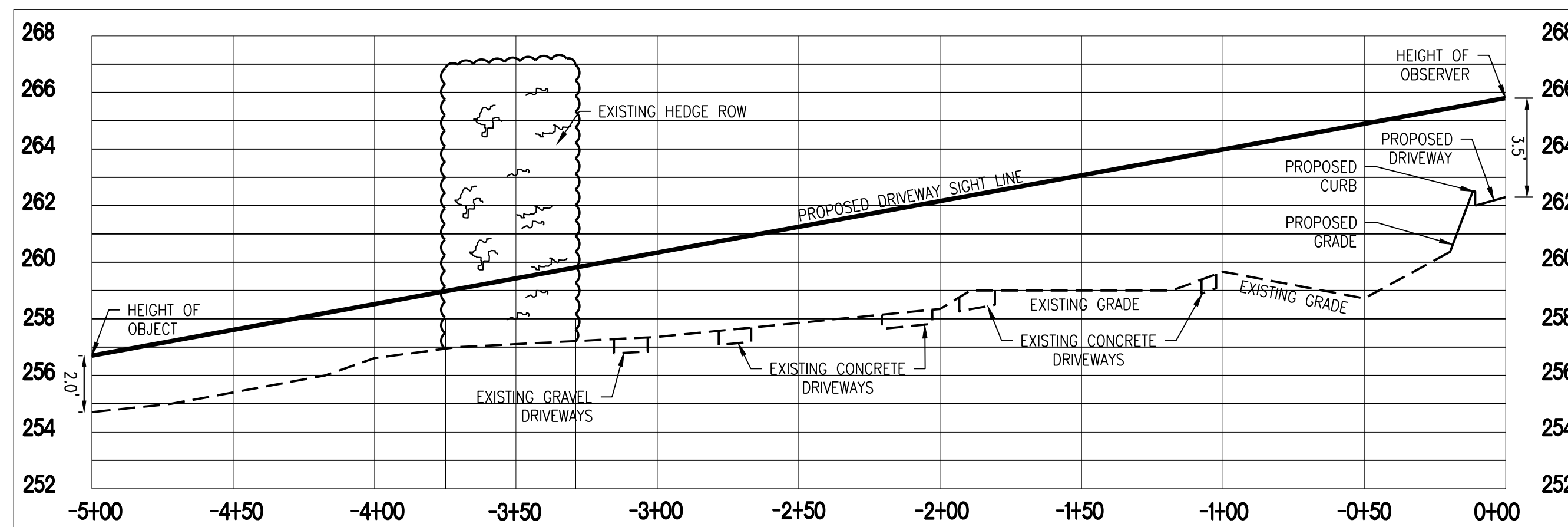
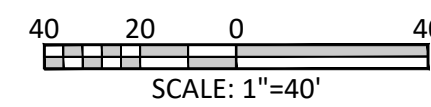
GRANT B. LEWIS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04809200

SCALE: _____

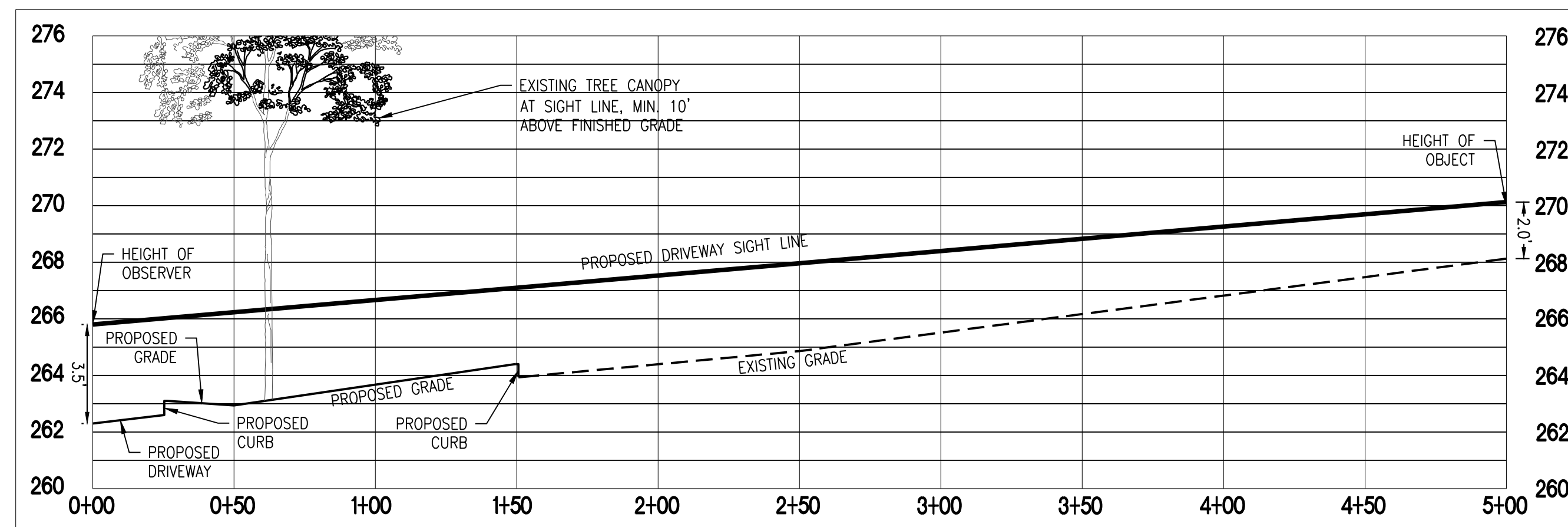
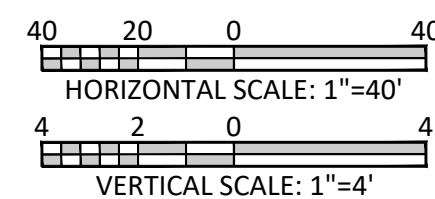
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SCALE: NTS	DATE: 12-11-2020	
JOB No: 11380-001		SHEET 04 OF 23



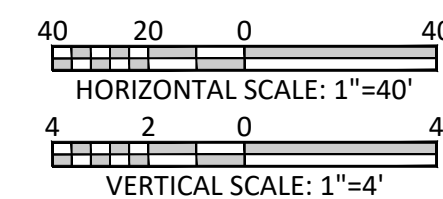
SIGHT DISTANCE PLAN



EASTBOUND LANE PROFILE



WESTBOUND LANE PROFILE



NOTE:

1. VALLEY ROAD POSTED SPEED LIMIT ALONG PROPERTY FRONTAGE IS 40 MILES PER HOUR (MPH).

REFERENCE:

1. EXISTING CONTIGUOUS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
2. WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
3. PER REFERENCE #1 ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
4. WESTERN PORTION OF VALLEY ROAD DEPICTED BASED ON AERIAL FROM NEW JERSEY USGS QUADRANGLE MAP H7A15.
5. ADDITIONAL TOPOGRAPHY FOR 254' THROUGH 259' CONTOURS FOR WESTERN PORTION OF VALLEY ROAD SHOWN BASED ON "2008 NJ STATEWIDE LIDAR: SOMERSET COUNTY" BY USGS/NJDEP.

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

OWNER (LOT 22):

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ARBOR TERRACE

LOCATION: _____

3000-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201

SOMERSET COUNTY,
NEW JERSEY 07020

10/11/2020

2/20/10

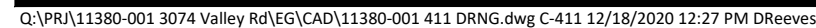
PROFESSIONAL ENGINEER
N.J. LICENSE NUMBER 24GE04809200

SCALE:

SCALE: 1"=30'

DGR LMF	GBL	C 401
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JOB No: **11380-001** SHEET **05** OF **23**



JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

DRAWN BY: DGR LMF		CHECKED BY: GBL	DRAWING NUMBER: C-411
SCALE: 1"=30'		DATE: 12-11-2020	
JOB No: 11380-001			SHEET 06 OF 23

1. EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMER PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
2. WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "3-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
3. PER REFERENCE #1 ELEVATIONS AREA REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD88).

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION: 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
----	------	-------------	----

REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

UTILITY PLAN

PROJECT:

ARBOR TERRACE BASKING RIDGE

LOCATION:

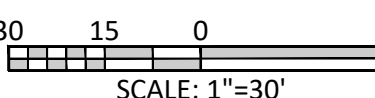
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis
12/11/2020

GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04809200

SCALE:



DRAWN BY: WHL LMF	CHECKED BY: GBL	DRAWING NUMBER: C-501
SCALE: 1"=30'	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 07	OF 23

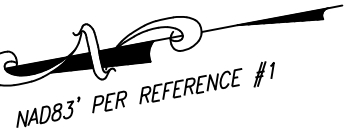
UTILITY LEGEND

EXISTING

	SANITARY SEWER MANHOLE
	OVERHEAD WIRES
	UNDERGROUND ELECTRIC
	SANITARY SEWER
	GAS MAIN
	WATER MAIN
	TELECOM
	CLEANOUT
	GAS VALVE
	WATER VALVE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	UTILITY POLE

PROPOSED

	OHW
	UGE
	G
	W
	T
	CO
	X
	X
	•
	•
	•



T.M. LOT 24
BLOCK 8201
N/F NICKRITI LLC
(Bk. 6880 Pg. 1)

REMOTE FIRE DEPARTMENT
CONNECTION WITH 5" STORZ
CONNECTION ABOVE STORZ
CONNECTION TO STATE WITH SIGN
AND RED LIGHT, SEE DETAIL.

GENERATOR PAD

TRANSFORMER PAD
TO BE COORDINATED
WITH JCP&L

ASSISTED LIVING

2 STORY 80 UNITS

FF: 250.00

UNDERGROUND ELECTRIC SERVICE

4-4" SCH. 40 PVC

TELECOMMUNICATION CONDUIT

1" GAS SERVICE

CLEAN OUT
INV 246.92

DOMESTIC SAN. SEWER

86 LF 6" PVC SDR-35 AT 1.0%

BUILDING INV 247.00

(TO BE COORDINATED WITH MEP)

PROPOSED BLOCK 8201

LOT 22.01

AREA = 509,089 S.F. OR 11.687 ACRES

(FORMERLY LOTS 22 + 23, BLOCK 8201)

FIRE HYDRANT WITH
6" GATE VALVE

8" C900 FIRE SERVICE

THRUST BLOCKS TO BE
PROVIDED AT ALL CHANGES
IN DIRECTION (TYP)

WATER LATERAL TO
BE LOOPED UNDER
SEWER LATERAL.
18" MIN. VERTICAL
SEPARATION

CONCRETE PIPE
ENCASEMENT
(SEE DETAIL)

GAS VALVE

CONNECTION TO EXISTING
GAS SERVICE TO BE
COORDINATED WITH PSE&G.
EXACT LOCATION AND
CONNECTION TO BE
DETERMINE IN THE FIELD

CONNECTION TO EXISTING WATER
MAIN TO BE COORDINATED WITH
NEW JERSEY AMERICAN WATER
PRIOR TO CONSTRUCTION

4" SHUTOFF VALVE (NJAW)

8"x4" TEE

8" SHUTOFF VALVE (NJAW)

WATER METER PIT (SEE DETAIL)

HOT BOX ENCLOSURE ON
CONCRETE PAD (SEE DETAIL)

DOGHOUSE MANHOLE WITH
INTERNAL DROP CONNECTION
(SEE DETAIL)

RIM ELEV 264.07

INV IN 245.65

INV OUT 245.63

FORCE MAIN INV IN 260.07

SEWER PUMP PIT
(DESIGN BUILD BY MANUFACTURER)

RIM ELEV 251.00

INV IN 246.14

INV OUT 247.00

INLET
IC=263.61
RT=262.90
W=260.78

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RT=262.90
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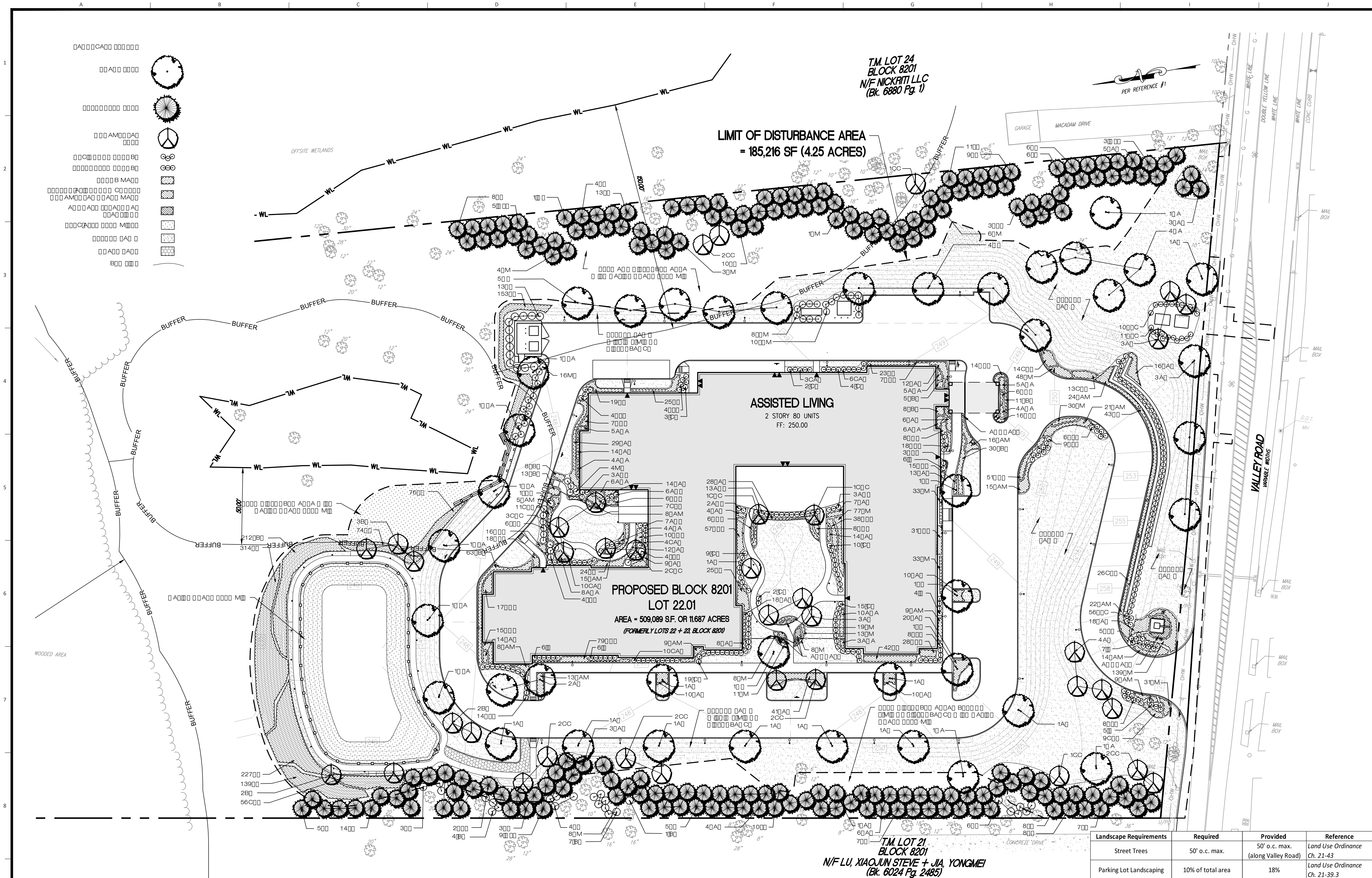


CALL BEFORE YOU DIG
FOR YOUR FREE MARK-OUT

811

OR
1-800-272-1000

IT'S THE LAW!



1. 所有苗木均须符合《城市绿化条例》及《上海市绿化条例》的要求，并须经上海市绿化管理部门审批合格后方可进场施工。
2. 所有苗木均须符合《城市绿化条例》及《上海市绿化条例》的要求，并须经上海市绿化管理部门审批合格后方可进场施工。
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Landscape Requirements	Required	Provided	Reference
Street Trees	50' o.c. max.	50' o.c. max. (along Valley Road)	Land Use Ordinance Ch. 21-43
Parking Lot Landscaping	10% of total area	18%	Land Use Ordinance Ch. 21-39.3
Parking Lot Trees	1 per 10 spaces, 3" cal. (5 Trees)	5	Land Use Ordinance Ch. 21-39.3
Preservation of Existing Canopy Coverage	60% (4.82 acres)	73% (5.86 acres)	Land Use Ordinance Ch. 21-45
Tree Replacement (See Sheet L-621 for Tree Removals)	270 trees, 2 1/2" cal., 6' ht. (evergreen) or 8' ht. (ornamental) min.	270 trees	Land Use Ordinance Ch. 21-45

- NOTE:
1. PLANT LIST AND PLANTING NOTES ON SHEET L-691 LANDSCAPE NOTES AND PLANT LIST.
- REFERENCE:
1. EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
2. WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
3. PER REFERENCE #1 ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD88).

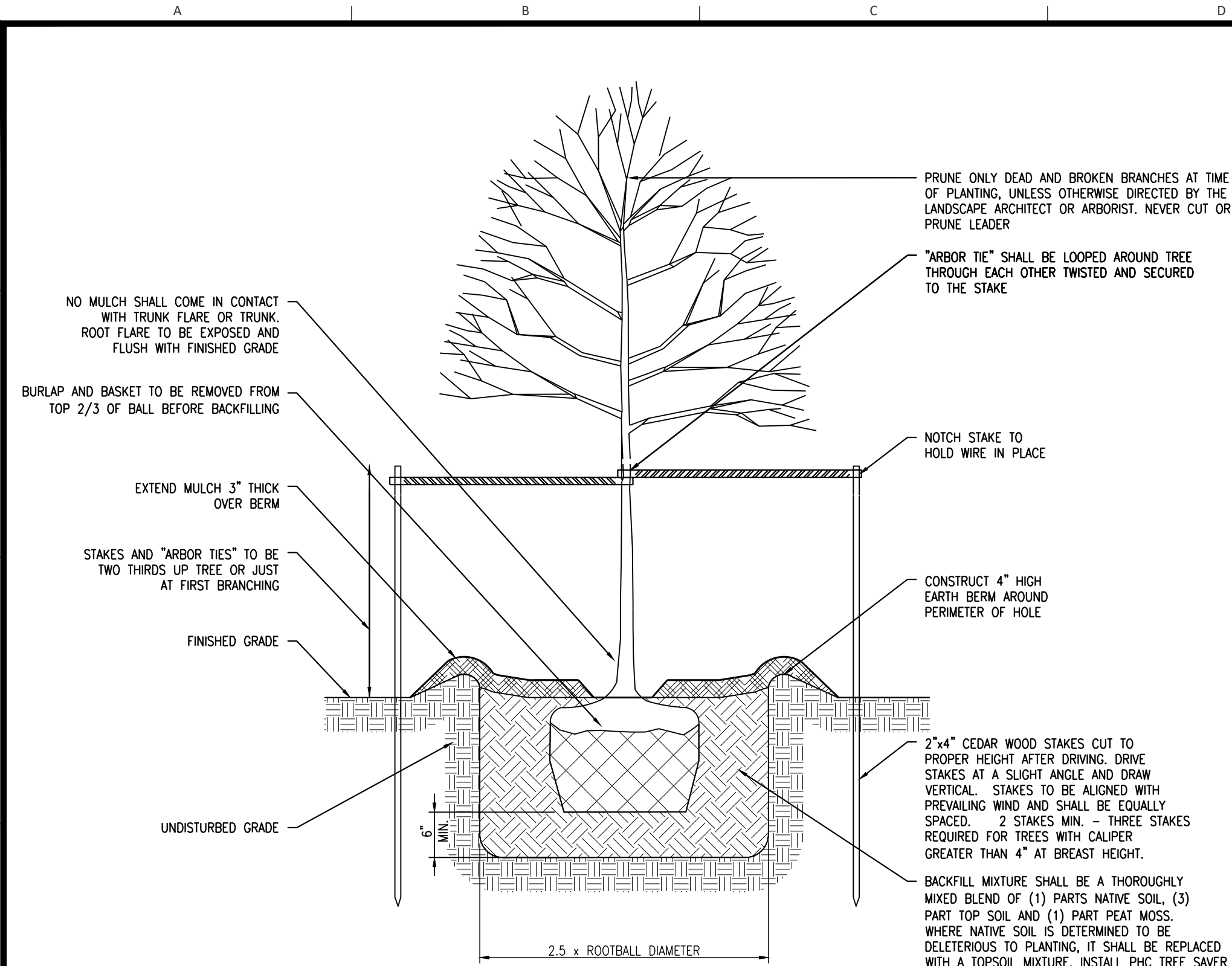
DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

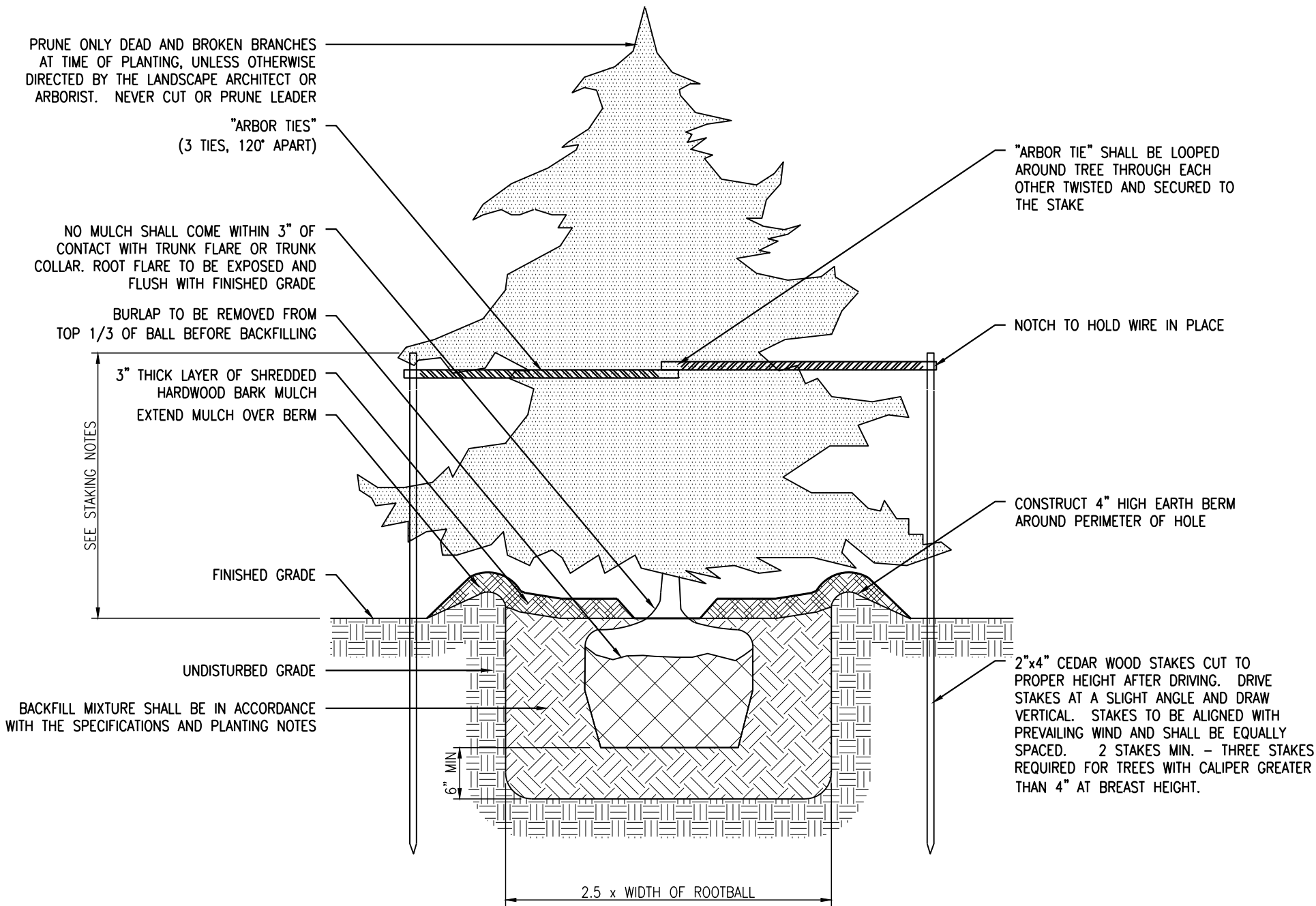
NO	DATE	DESCRIPTION	BY
REVISIONS:			
OWNER (LOT 22):			
RICA PROPERTIES, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
OWNER (LOT 23):			
RICA REALTY RENTAL GROUP II, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
APPLICANT:			
BRAEMAR PARTNERS 13140 FREEMANVILLE ROAD MILTON, GA 30004			
DRAWING TITLE:			
LANDSCAPE PLAN			
PROJECT:			
ARBOR TERRACE BASKING RIDGE			
LOCATION:			
3066-3074 VALLEY ROAD LOTS 22 & 23, BLOCK 8201 TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY, 07920			
 MARK A. VIZZINI LICENSED LANDSCAPE ARCHITECT NJ LICENSE NUMBER 21A5000852			
SCALE:			
 SCALE: 1"=30'			
DRAWN BY: MSB CHECKED BY: MV DRAWING NUMBER: L-601			
SCALE: 1"=30' DATE: 12-11-2020			
JOB NO: 11380-001 SHEET 08 OF 23			

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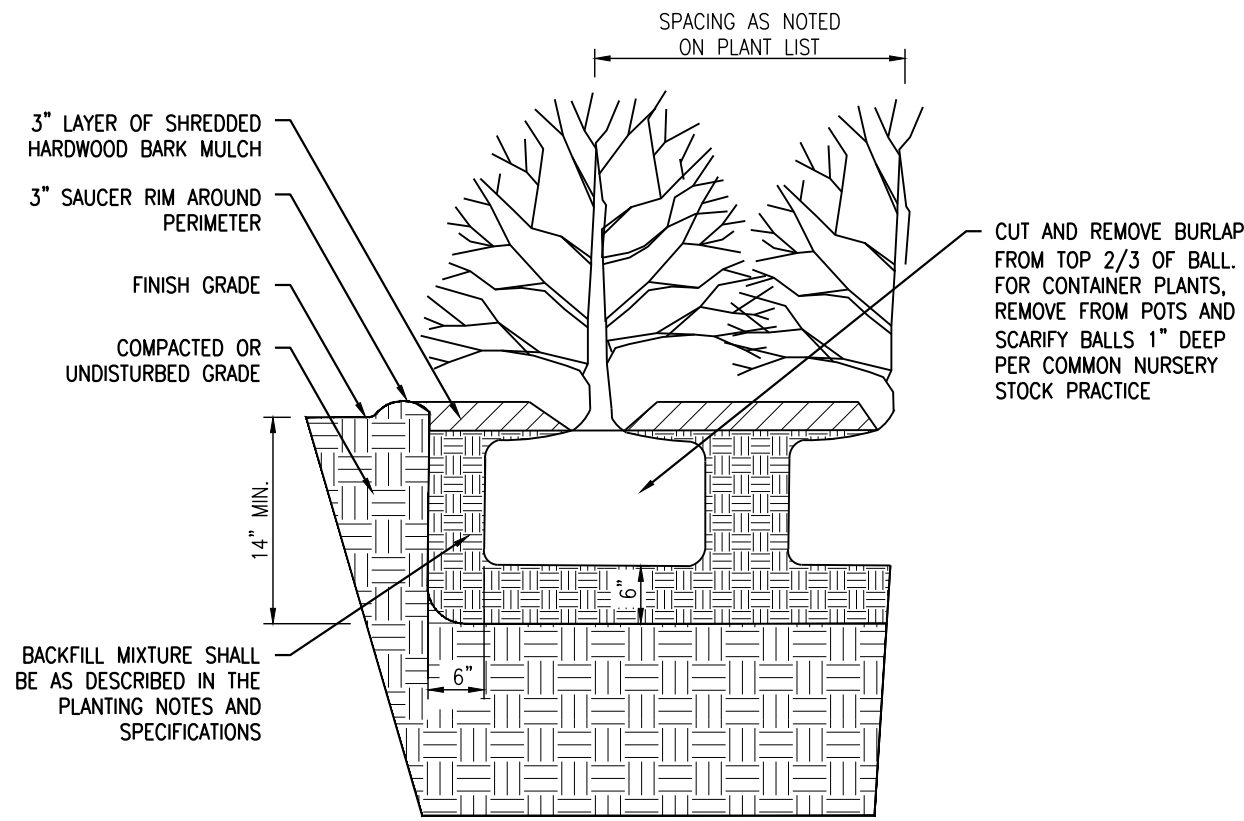
- NOTES:
1. WHEN BALLED AND BURLAPPED PLANTS ARE IN WIRE BASKETS, REMOVE TOP 2/3 OF BASKET, PRESERVING THE INTEGRITY OF THE BALL.
 2. TREE WRAP IS NOT PERMITTED AND SHALL BE REMOVED FROM ALL TREES.
 3. FLOOD TREES WITH WATER WITHIN THE FIRST 24 HOURS OF PLANTING.
 4. INSTALL PHC TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT FOR TREES AND SHRUBS. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA.
 5. SEE PLANTING NOTES ON SHEET L-691.
 6. DECIDUOUS TREES 6'-8' HT., STAKE SHOULD BE 3'-4" ABOVE GROUND.
 7. DECIDUOUS TREES 8'-10' HT., STAKE SHOULD BE 4'-6" ABOVE GROUND.
 8. DO NOT PLANT OVER GAS OR ELECTRIC LINES. WATER AND SEWER LINES SHOULD NOT BE DIRECTLY UNDER THE TREE IF POSSIBLE.
 9. TREES SHALL NOT BE LOCATED IN FRONT OF DOORWAYS.

TYPICAL TREE PLANTING DETAIL
NTS



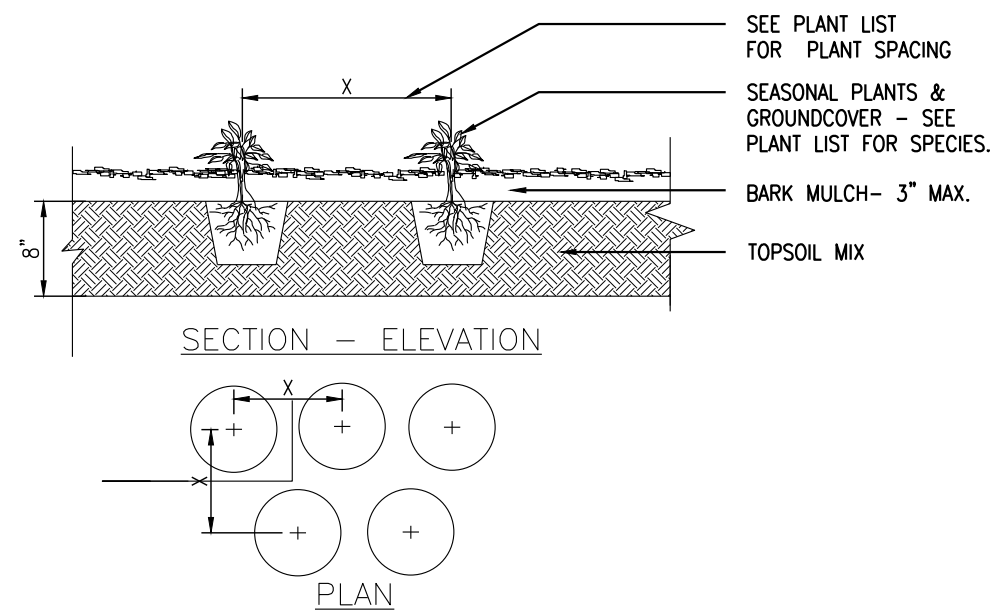
- STAKING AND PLANTING NOTES:
1. STAKES AND "ARBOR TIES" TO BE USED ONLY IF CONDITIONS MERIT AND SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
 2. EVERGREENS 4'-6' HT. - 2'-3' OF STAKE ABOVE GROUND
 3. EVERGREENS 6'-8' HT. - 3'-4' OF STAKE ABOVE GROUND
 4. EVERGREENS 8'-10' HT., 4'-6' OF STAKE ABOVE GROUND
 5. WIRE BASKETS SHALL BE COMPLETELY REMOVED BEFORE PLANTING
 6. INSTALL PHC TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT FOR TREES AND SHRUBS. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA.
 7. SEE GENERAL PLANTING NOTES ON SHEET L-691.

TYPICAL EVERGREEN TREE PLANTING DETAIL
NTS

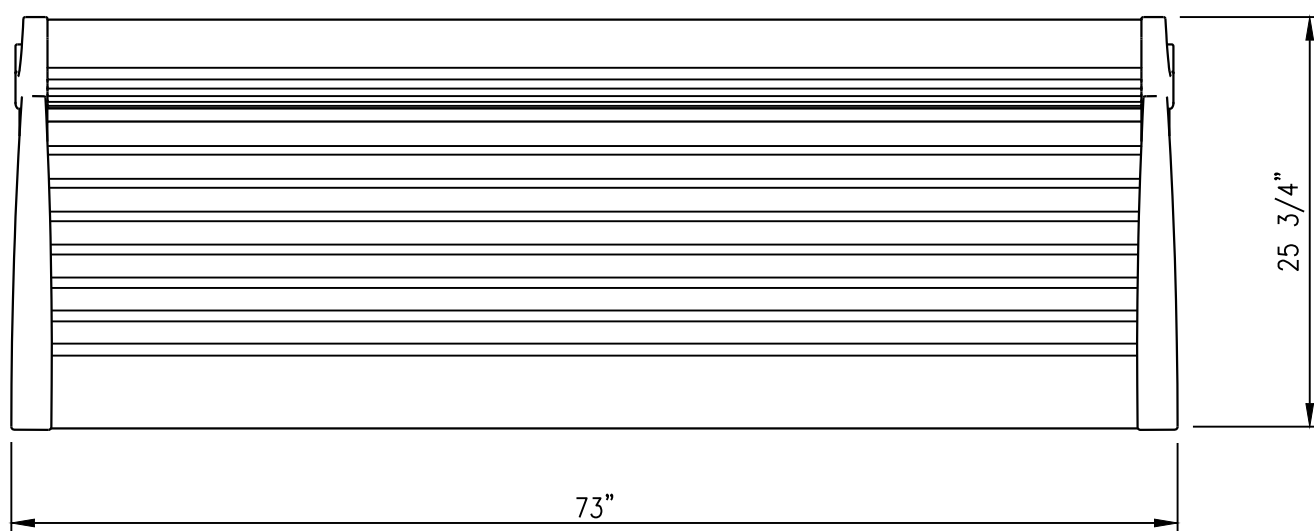


- NOTES:
1. DO NOT PRUNE EVERGREEN SHRUBS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES. THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE.
 2. SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE IN NURSERY
 3. INSTALL PHC TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA. FOR RHODODENDRONS, AZALEAS AND MOUNTAIN LAURELS USE ERICOID MYCORRHIZAL FUNGI.
 4. WATER PLANTS THOROUGHLY AFTER PLANTING.
 5. SEE PLANTING NOTES ON SHEET L-691.

TYPICAL SHRUB PLANTING DETAIL
NTS

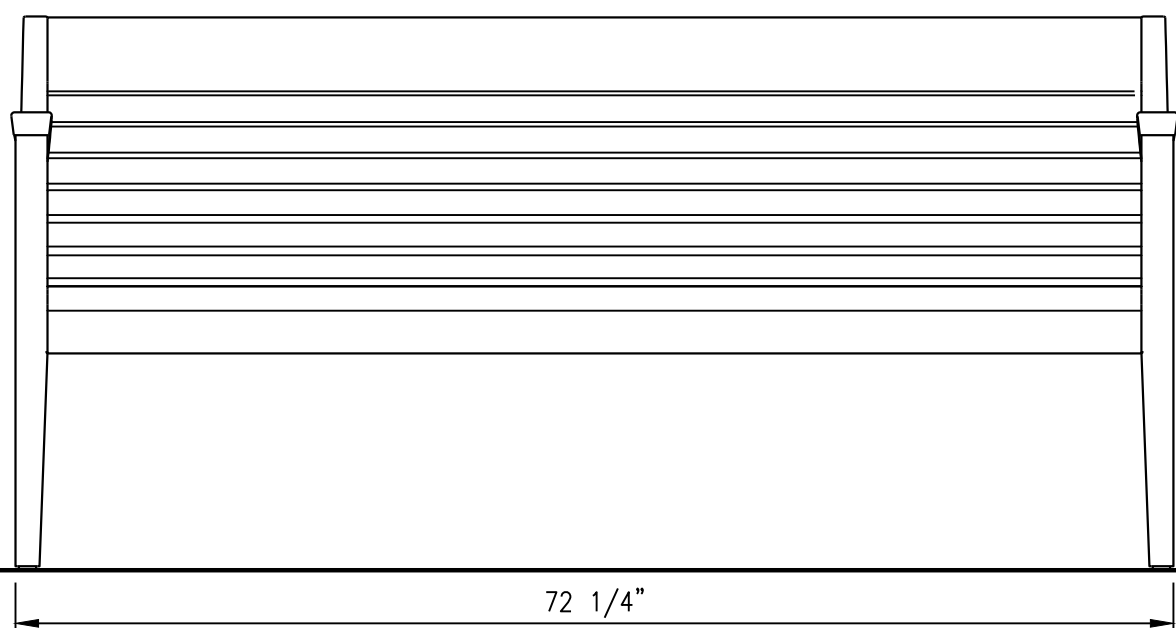


TYPICAL GROUNDCOVER + PERENNIAL PLANTING DETAIL
NTS

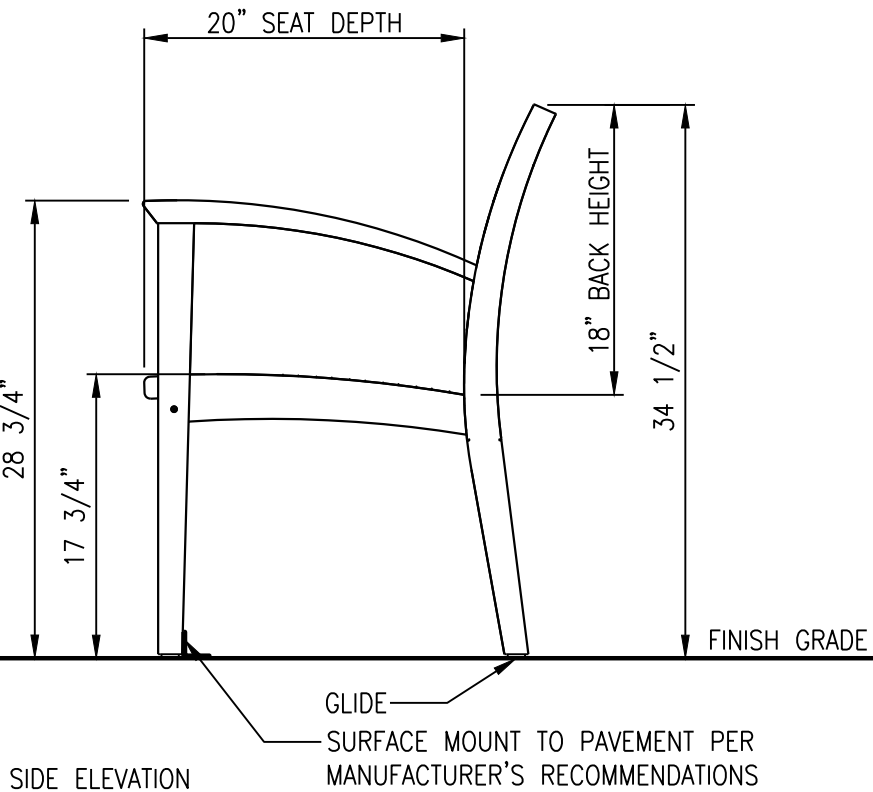


PLAN

- NOTES:
1. BENCH TO BE WELLSPRING 72" BACKED BENCH.
 2. FRAME AND SEAT SLATS TO BE TEAK.
 3. BENCH TO BE SURFACE MOUNTED TO PAVEMENT.
 4. BENCH TO BE MANUFACTURED BY LANDSCAPE FORMS 800.521.2546



FRONT ELEVATION



SIDE ELEVATION

BENCH
NTS

DRESDNER ROBIN

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TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

№	DATE	DESCRIPTION	BY
REVISIONS:			

OWNER (LOT 22):

RICA PROPERTIES, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

**RICA REALTY
RENTAL GROUP II, LLC**
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS
13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

LANDSCAPE DETAILS

PROJECT:

ARBOR TERRACE BASKING RIDGE

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Mark A. Vizzini 12/11/2020

MARK A. VIZZINI
LICENSED LANDSCAPE ARCHITECT
NJ LICENSE NUMBER 21AS000852

SCALE:

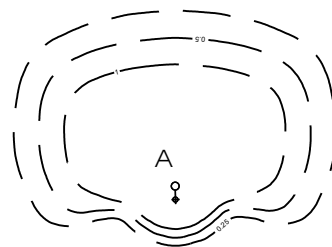
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SCALE: NTS	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 11 OF 23	

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LIGHTING SCHEDULE						
FIXTURE	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	LUMENS	WATTS
A	38	MEM-E0X-LED-D-U-T4-4-BL-BZ-7030 -MS-L20	MODERN EPIC LED LUMINAIRE, TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° UPPER BAR, MANUFACTURED BY COOPER LIGHTING. MOUNT ARM CONNECTION AT 10' ABOVE F.G. ON 13' HT. CONTEMPO POLE, MANUFACTURED BY PHILIPS. COLOR TO BE DARK BRONZE	(1) 21 LED ARRAY 3000K	2876	25 W
B	53	88 360 K3	LED BOLLARD LUMINAIRE, 7 1/2' HT., 180° DISTRIBUTION. COLOR TO BE BLACK. MANUFACTURED BY BEGA-US	LED 3000K	145	12 W
C	2	B-AR-LED-TR-e22-WFL-A9-BLP-12-11-A-6-PP	ARTISTAR LED ACCENT UPLIGHT, WIDE FLOOD DISTRIBUTION, MANUFACTURED BY BK LIGHTING		345	8.3 W

CALCULATIONS SUMMARY							
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN	REQUIRED *	PROVIDED
DRIVEWAYS AND PARKING LOTS	1.3	4.4	0.2	6.49	22.00	0.4 FC AVG MIN.	1.3 FC
SIDEWALKS AND PATHWAYS	1.0	4.8	0.0	-	-	0.2 FC AVG. MIN.	1.0 FC

LIGHTING LEGEND



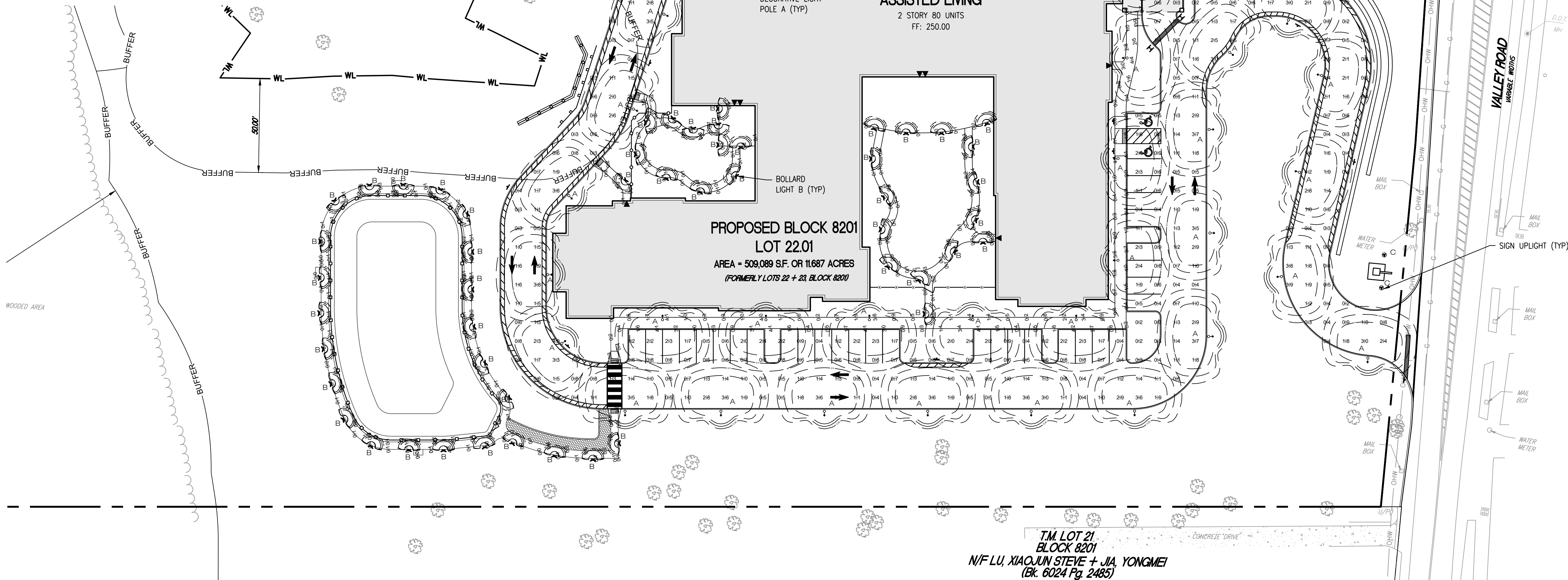
- LIGHT A:
- MODERN EPIC MEDIUM LED, POLE MOUNTED LUMINAIRE, 12 POLE, 10' MOUNTING HEIGHT
 - MODEL MEM-E0X-LED, SEE LIGHTING SCHEDULE FOR FULL MODEL NUMBER
 - COLOR TO BE DARK BRONZE
 - MANUFACTURED BYSTREETWORK, BY COOPER LIGHTING



- LIGHT B:
- 88 360 LED BOLLARD LUMINAIRE, 7 1/2' HT.
 - MODEL 88 360 K3
 - COLOR TO BE BLACK
 - MANUFACTURED BY BEGA USA



- LIGHT C:
- LED UPLIGHT
 - SEE LIGHTING SCHEDULE FOR MODEL
 - COLOR TO BE BLACK
 - MANUFACTURED BY BK LIGHTING



REFERENCE:

- EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
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JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
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REVISIONS:

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151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY

RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

LIGHTING PLAN

PROJECT:

ARBOR TERRACE

BASKING RIDGE

LOCATION:

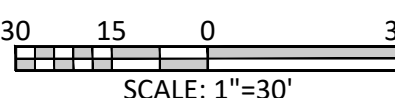
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

 12/11/2020

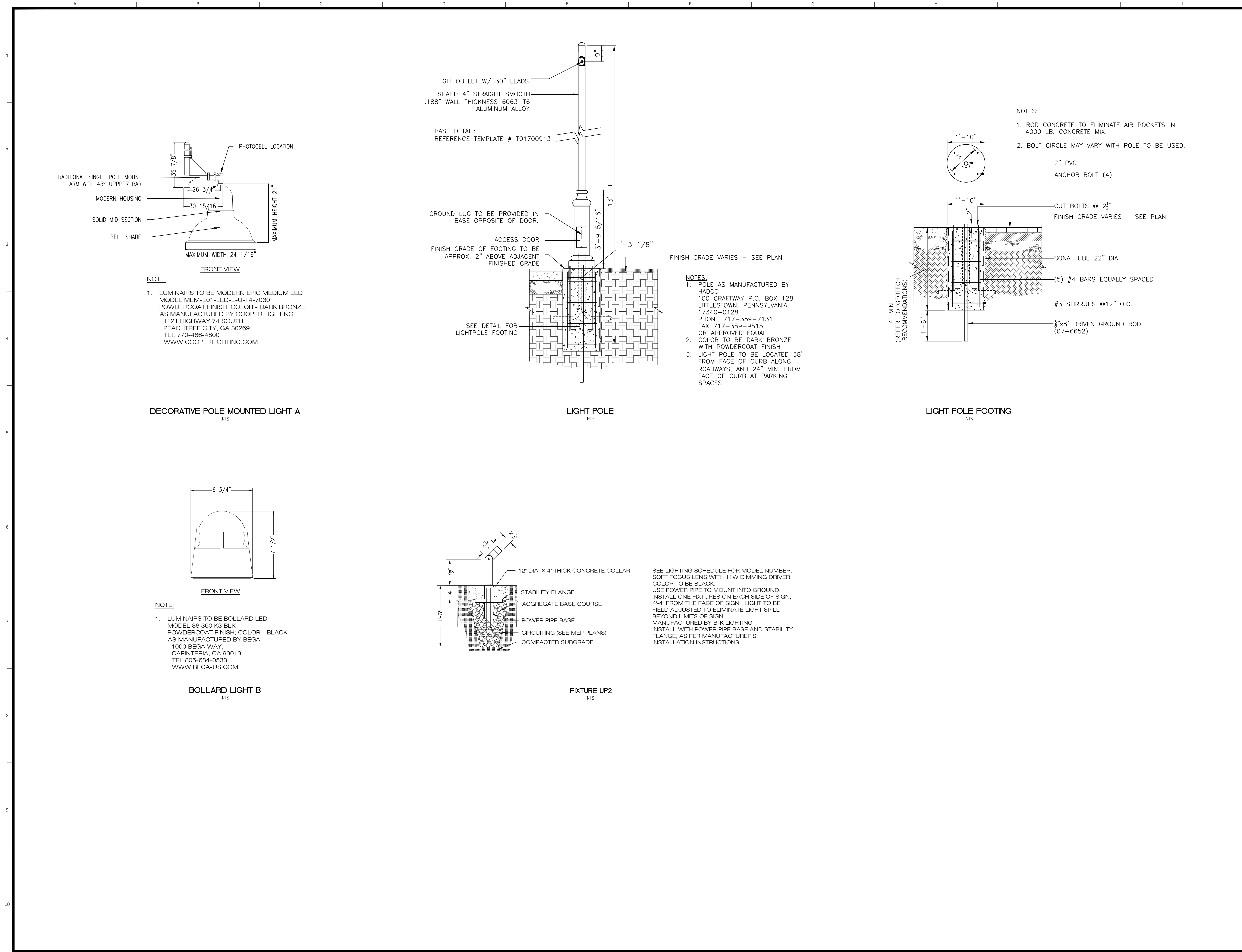
MARK A. VIZZINI

LICENSED LANDSCAPE ARCHITECT
NJ LICENSE NUMBER 21AS000852

SCALE:




DRAWN BY: MSB	CHECKED BY: MV	DRAWING NUMBER: L-711
SCALE: 1"=30'	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 12 OF 23	



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TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
REVISIONS:			
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RICA PROPERTIES, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
OWNER (LOT 23):			
RICA REALTY RENTAL GROUP II, LLC 151 MOUNT BETHEL ROAD WARREN, NEW JERSEY 07059			
APPLICANT:			
BRAEMAR PARTNERS 13140 FREEMANVILLE ROAD MILTON, GA 30004			
DRAWING TITLE:			
LIGHTING DETAILS			
PROJECT:			
ARBOR TERRACE BASKING RIDGE			
LOCATION:			
3066-3074 VALLEY ROAD LOTS 22 & 23, BLOCK 8201 TOWNSHIP OF BERNARDS SOMERSET COUNTY, NEW JERSEY, 07920			
<div><div>12/11/2020</div></div> <div>MARK A. VIZZINI LICENSED LANDSCAPE ARCHITECT NJ LICENSE NUMBER 21AS000852</div>			
SCALE:			
DRAWN BY: MSB		CHECKED BY: MV	
SCALE: NTS		DATE: 12-11-2020	
JOB NO: 11380-001		DRAWING NUMBER: L-791	
		SHEET 13 OF 23	

DRESDNER ROBIN

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NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
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REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY

RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

**SOIL EROSION AND
SEDIMENT CONTROL
PLAN AND DETAILS**

PROJECT:

**ARBOR TERRACE
BASKING RIDGE**

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

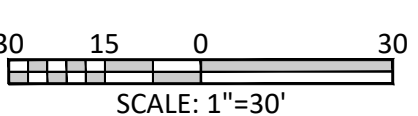
Grant B. Lewis

12/11/2020

GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GED4809200

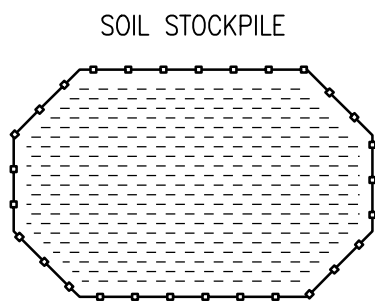
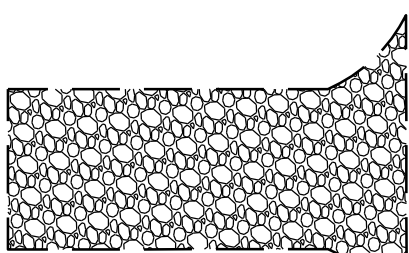
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SCALE: 1"=30'	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 14 OF 23	

SESC LEGEND

- INLET PROTECTION
TREE PROTECTION
SILT FENCE
LIMIT OF DISTURBANCE
STABILIZED CONSTRUCTION ENTRANCE



**LIMIT OF DISTURBANCE AREA
= 185,216 SF (4.25 ACRES)**

ASSISTED LIVING

2 STORY 80 UNITS
FF: 250.00

PROPOSED BLOCK 8201

LOT 22.01

AREA = 509,089 SF, OR 11.687 ACRES
(FORMERLY LOTS 22 + 23, BLOCK 8201)

NOTES:

- SEE SHEET C-802 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

REFERENCE:

- EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
- WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.

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1. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
2. INSPECT SITE JUST BEFORE SEEDING; IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED IN ACCORDANCE WITH ABOVE.
3. IMMEDIATELY PRIOR TO TOPDRESSING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" INCHES WHERE THERE HAS BEEN SOIL COMPACTION. THIS WILL HELP INSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
4. SOIL COMPACTION RESULTING FROM LAND GRADING ACTIVITIES CAN IMPACT THE INFILTRATION RATE OF THE SOIL. RESTORATION OF COMPACTED SOILS THROUGH DEEP TILLAGE (6" TO 12") AND THE ADDITION OF ORGANIC MATTER MAY BE REQUIRED IN PLANNED PEROUS AREAS TO ENHANCE THE INFILTRATION RATE OF THE DISTURBED SOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLE, IRRIGATION SYSTEMS, ETC.).
5. TO PREVENT COMPACTION OF THE SUBSOIL WHICH WILL REDUCE ITS INFILTRATION CAPACITY, BASINS SHOULD BE EXCAVATED WITH LIGHT EARTH MOVING EQUIPMENT, PREFERABLY WITH TRACKS OR OVER-SIZED TIRES RATHER THAN THE NORMAL RUBBER TIRES. ONCE THE FINAL CONSTRUCTION PHASE IS REACHED, THE FLOOR OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND SMOOTHED OVER WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT.
6. FOR BASINS, ANIMAL TILLING OPERATIONS MAINTAIN INFILTRATION CAPACITY. THESE TILLED AREAS SHOULD BE RE-VEGETATED IMMEDIATELY TO PREVENT EROSION. DEEP TILLING CAN BE USED TO BREAKUP CLOGGED SURFACE LAYERS FOLLOWED BY REGRADING AND LEVELING. SAND OR ORGANIC MATTER CAN BE TILLED TO THE FLOOR TO PROMOTE A RESTORED INFILTRATION CAPACITY. SEDIMENT REMOVAL PROCEDURES SHOULD NOT BE UNDERTAKEN UNTIL THE BASIN IS THOROUGHLY DRY. THE TOP LAYER SHOULD BE REMOVED BY LIGHT EQUIPMENT TO PREVENT COMPACTION. THE REMAINING SOIL CAN BE RETILED AND DISTURBED VEGETATION REPLANTED.

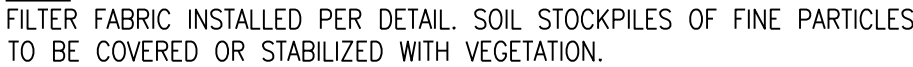
1. ALL DISTURBED AREAS NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN 60 DAYS OF DISTURBANCE SHALL BE TEMPORARILY STABILIZED.
2. MULCHING IS REQUIRED ON ALL SEEDING. MULCH SHALL BE USED AS CONTROL MEASURES FOR NON-GROWING SEASON STABILIZATION OF EXPOSED AREAS.
3. WHENEVER THERE IS A LOSS OF VEGETATION, THE FOLLOWING SHALL BE APPLIED TO THE EXPOSED AREAS:
 - a. TEMPORARY STABILIZATION - FOR SEEDBED PREPARATION APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL RECOMMENDATIONS.
 - b. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER SOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 7/10NS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE.
4. TEMPORARY STABILIZATION (LOCATION AND DETAIL OF ALL PROPOSED NONSTRUCTURAL METHODS OF SOIL STABILIZATION INCLUDING TYPES AND RATES OF LIME, FERTILIZER, SEED, AND MULCH TO BE APPLIED - REFER TO THE NJ SOIL EROSION AND SEDIMENT CONTROL STANDARD ENTITLED TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION) PER THE NJ SOIL EROSION SEDIMENT CONTROL IN NEW JERSEY TABLE 7-2. SEE MIXTURES AND RATES BELOW:

UTILIZED. THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE SOIL CONSERVATION DISTRICT IF AN ALTERNATIVE SEED MIX IS TO BE

- SEE LANDSCAPING PLAN SHEET L-601 FOR LOCATION OF WOODED AREAS AND LAWN AREAS.
THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE SOIL CONSERVATION DISTRICT IF AN ALTERNATIVE SEED MIX IS TO BE UTILIZED.

- 1.
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- 8.
- 9.

- ## TREE PROTECTION



SHEET 15 OF 23

DRESDNER
ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
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REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

**RICA REALTY
RENTAL GROUP II, LLC**

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

**STEEP SLOPE AND
MINIMUM IMPROVABLE
LOT AREA PLAN**

PROJECT:

**ARBOR TERRACE
BASKING RIDGE**

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis

12/11/2020

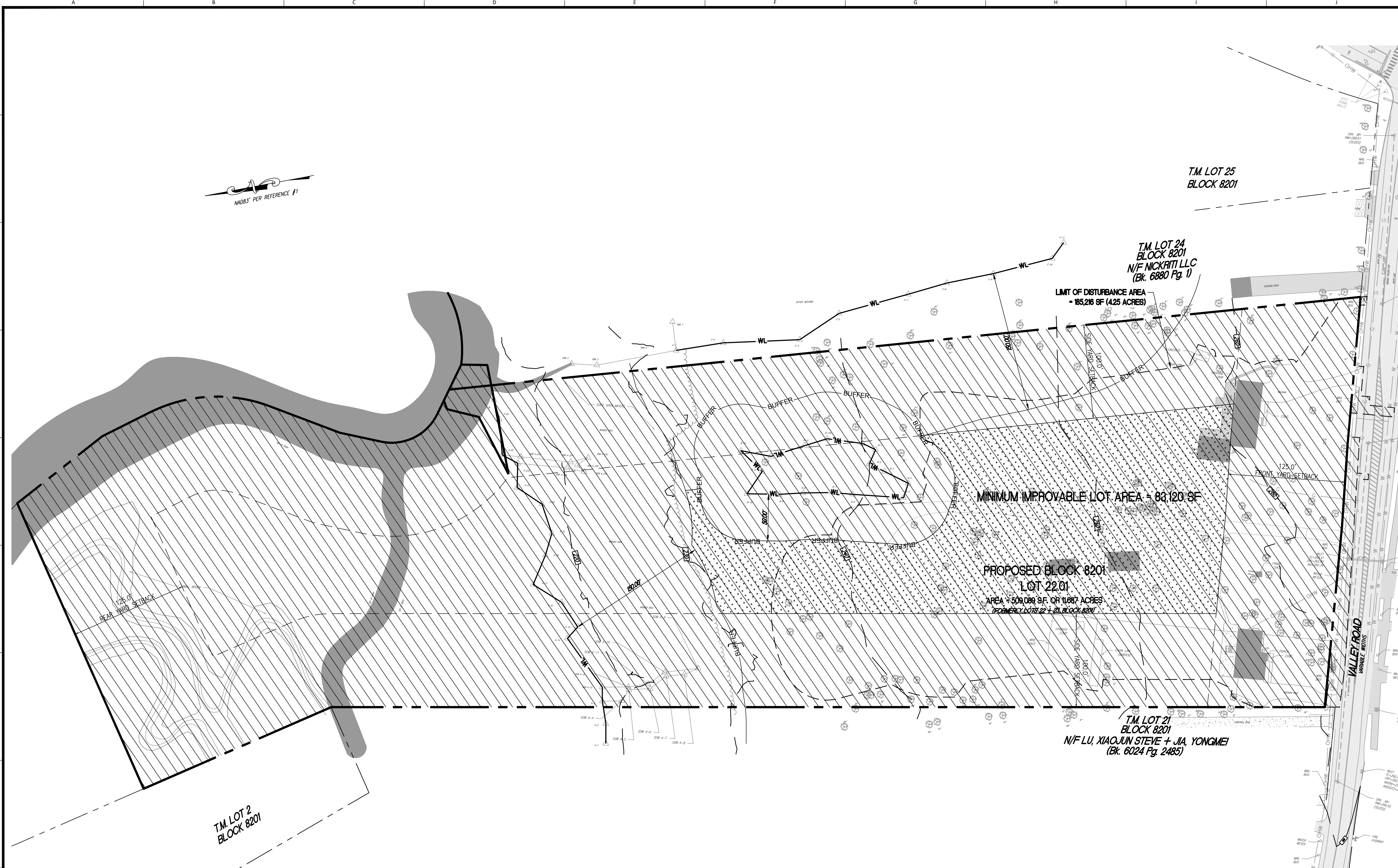
GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GED4809200

SCALE:



DRAWN BY: WHL	CHECKED BY: GBL	DRAWING NUMBER: C-811
SCALE: 1"=50'	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 16 OF 23	



STEEP SLOPE LEGEND

SYMBOL	SLOPE RANGE	TOTAL AREA	AREA DISTURBED
	0% TO 14.9%	11.80 ACRES	4.24 ACRES

MINIMUM IMPROVABLE LOT AREA

R-6 RESIDENTIAL ZONE

Block 8201; Lots 22 & 23

REQUIRED MINIMUM LOT SIZE (ACRES)	LOT SIZE (ACRES)	REQUIRED MINIMUM IMPROVABLE LOT AREA (SF)	CONSTRAINED AREAS (SF)	MINIMUM IMPROVABLE LOT AREA (SF)
0.75	11.69	7,500	425,970	83,120

REFERENCE:

- EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
- WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
- 220' AND 230' CONTOURS SHOWN BASED ON "2008 NJ STATEWIDE LIDAR: SOMERSET COUNTY" BY USGS/NUDEP.

REMOVALS LEGEND

- UTILITY REMOVAL
- SURFACE FEATURE REMOVAL
- OBJECT REMOVAL
- LIGHT POLE REMOVAL
- SIGN REMOVAL
- CONCRETE/PAVER REMOVAL
- LANDSCAPING REMOVAL
- ASPHALT/PAVEMENT REMOVAL
- BUILDING REMOVAL



1400'S PER REFERENCE #1

WOODED AREA

SOW A-9

CHICKEN COOP

WIRE FENCE

CHICKEN COOP

CHICKEN COOP

CHICKEN COOP

CHICKEN COOP

CHICKEN COOP

CHICKEN COOP

PROPOSED BLOCK 8201

LOT 22.01

AREA = 509,089 SF, OR 11.687 ACRES

(FORMERLY LOTS 22 + 23, BLOCK 8201)

TO BE REMOVED

SHED TO BE REMOVED

GARAGE TO BE REMOVED

CONCRETE TO BE REMOVED (TYP.)

BUILDING TO BE REMOVED

PAVEMENT TO BE REMOVED

PAVEMENT/GRAVEL TO BE REMOVED (TYP.)

TO BE REMOVED (TYP.)

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REMOVALS PLAN

ARBOR TERRACE BASKING RIDGE

3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

TOWNSHIP OF BERNARDS

SOMERSET COUNTY,

NEW JERSEY, 07920

PROJECT:

LOCATION:

REFERENCE:

1. EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.

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NOTE:

SEE TREE REMOVAL PLAN FOR TREES TO BE REMOVED

SCALE:

1"=30'

DATE:

12-11-2020

DRAWING NUMBER:

C-821

SHEET 17 OF 23

JOB NO:

11380-001

11380-001

11380-001

11380-001

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REMOVALS PLAN

ARBOR TERRACE BASKING RIDGE

3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

TOWNSHIP OF BERNARDS

SOMERSET COUNTY,

NEW JERSEY, 07920

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REMOVALS PLAN

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3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

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SOMERSET COUNTY,

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REMOVALS PLAN

ARBOR TERRACE BASKING RIDGE

3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

TOWNSHIP OF BERNARDS

SOMERSET COUNTY,

NEW JERSEY, 07920

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SHEET 17 OF 23

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REMOVALS PLAN

ARBOR TERRACE BASKING RIDGE

3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

TOWNSHIP OF BERNARDS

SOMERSET COUNTY,

NEW JERSEY, 07920

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1"=30'

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REMOVALS PLAN

ARBOR TERRACE BASKING RIDGE

3066-3074 VALLEY ROAD

LOTS 22 & 23, BLOCK 8201

TOWNSHIP OF BERNARDS

SOMERSET COUNTY,

NEW JERSEY, 07920

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SCALE:

1"=30'

DATE:

12-11-2020

DRAWING NUMBER:

C-821

SHEET 17 OF 23

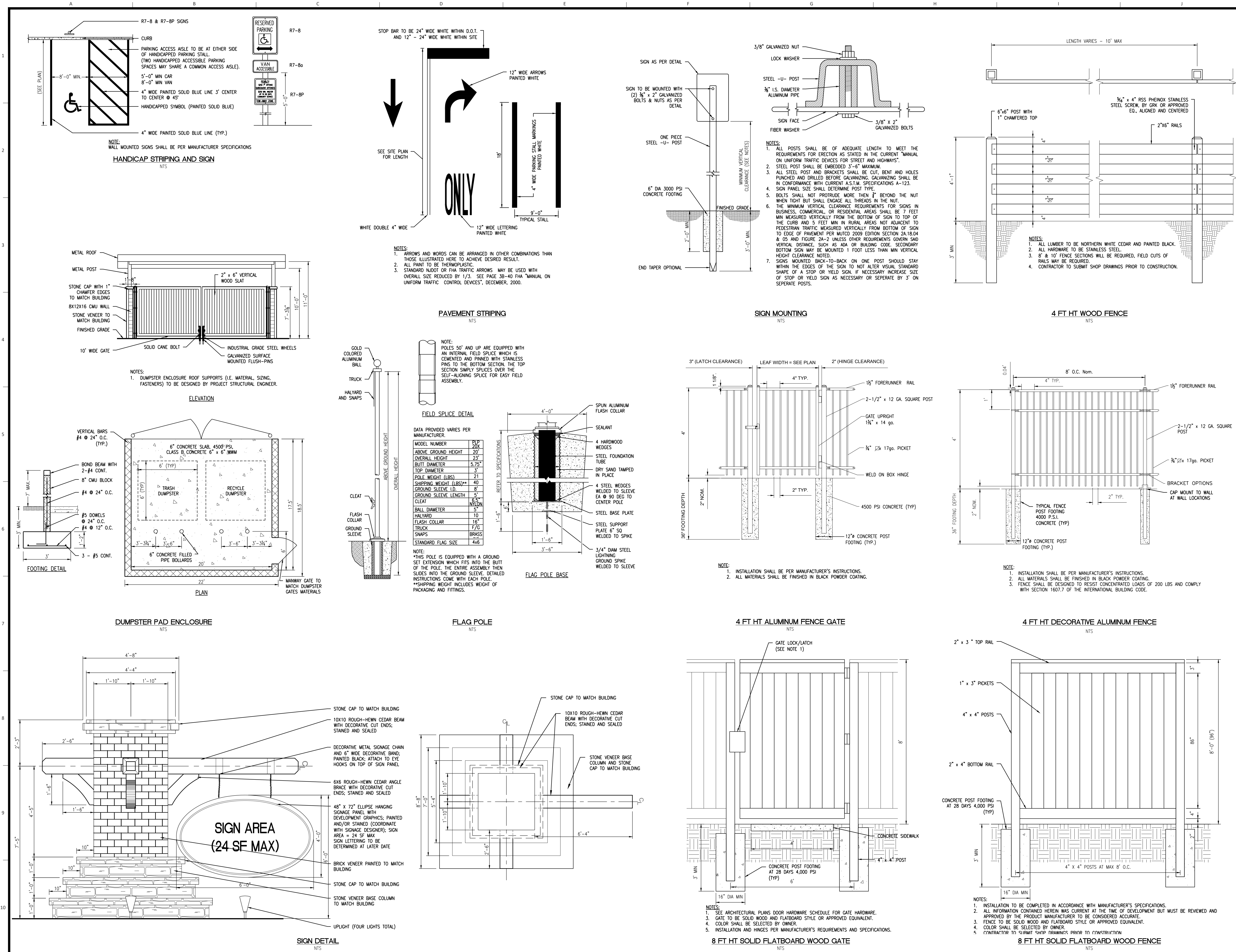
JOB NO:

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11380-001

11380-001

11380-001



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION - 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

№	DATE	DESCRIPTION	BY
---	------	-------------	----

REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

CONSTRUCTION NOTES & DETAILS II

PROJECT:

ARBOR TERRACE BASKING RIDGE

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis

12/11/2020

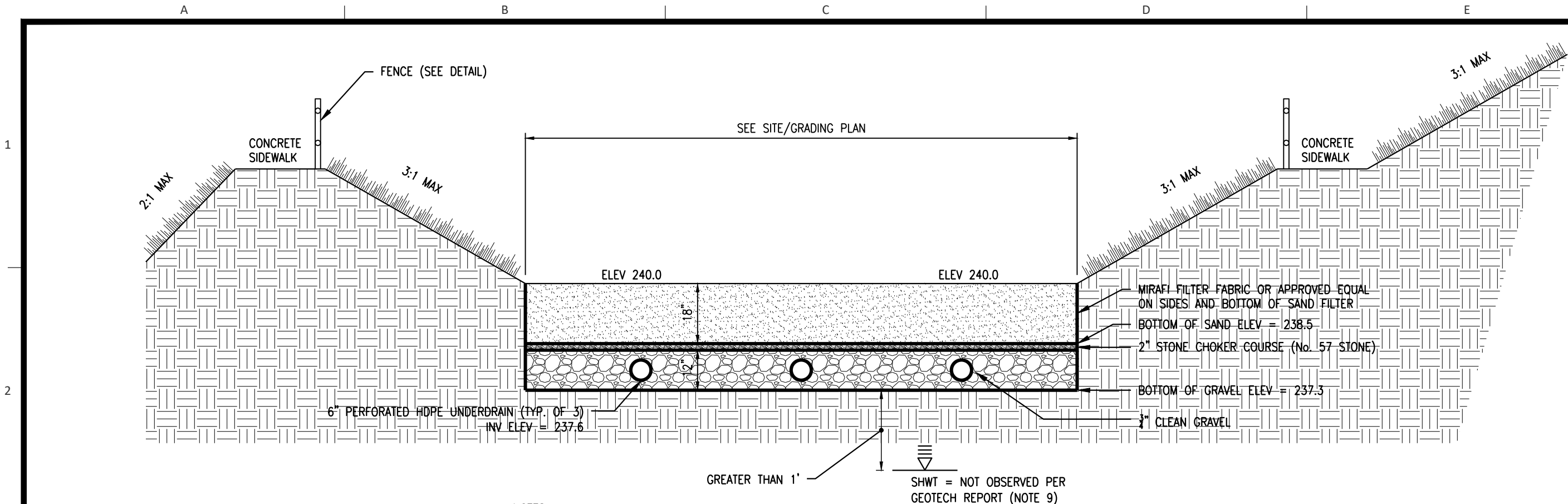
GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE0489200

SCALE:

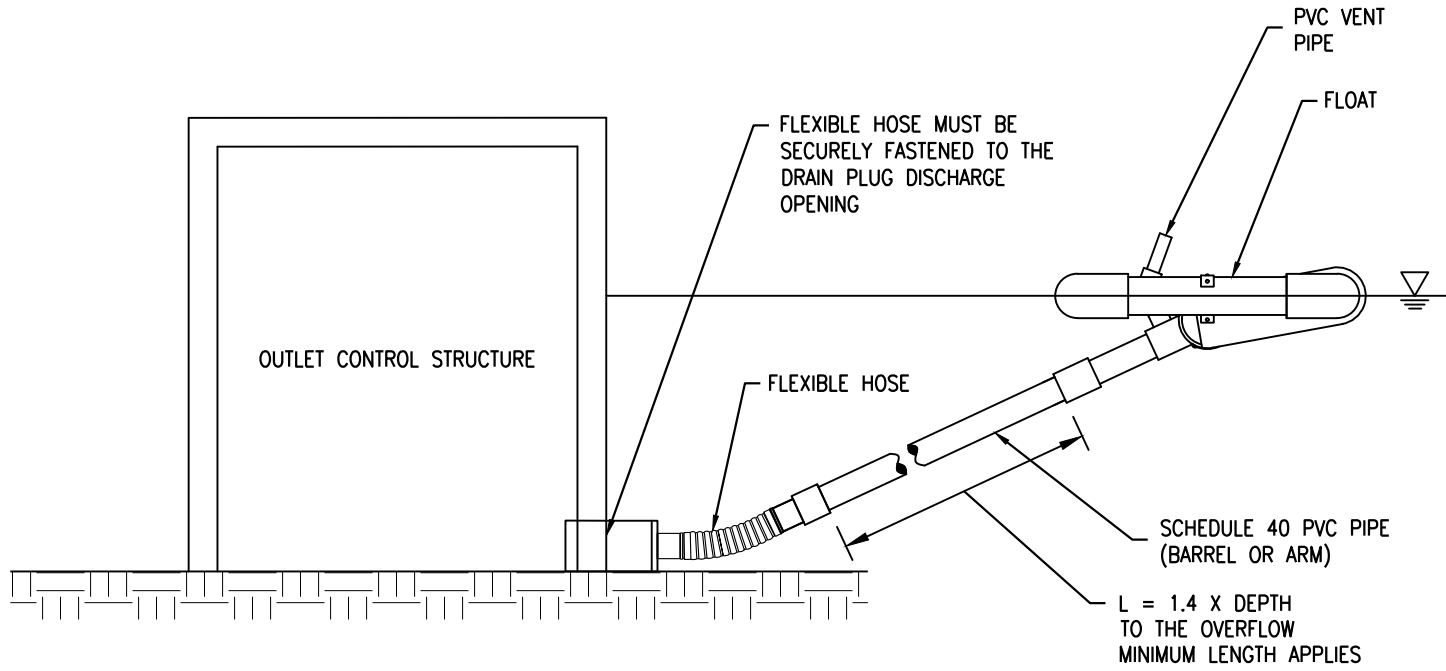
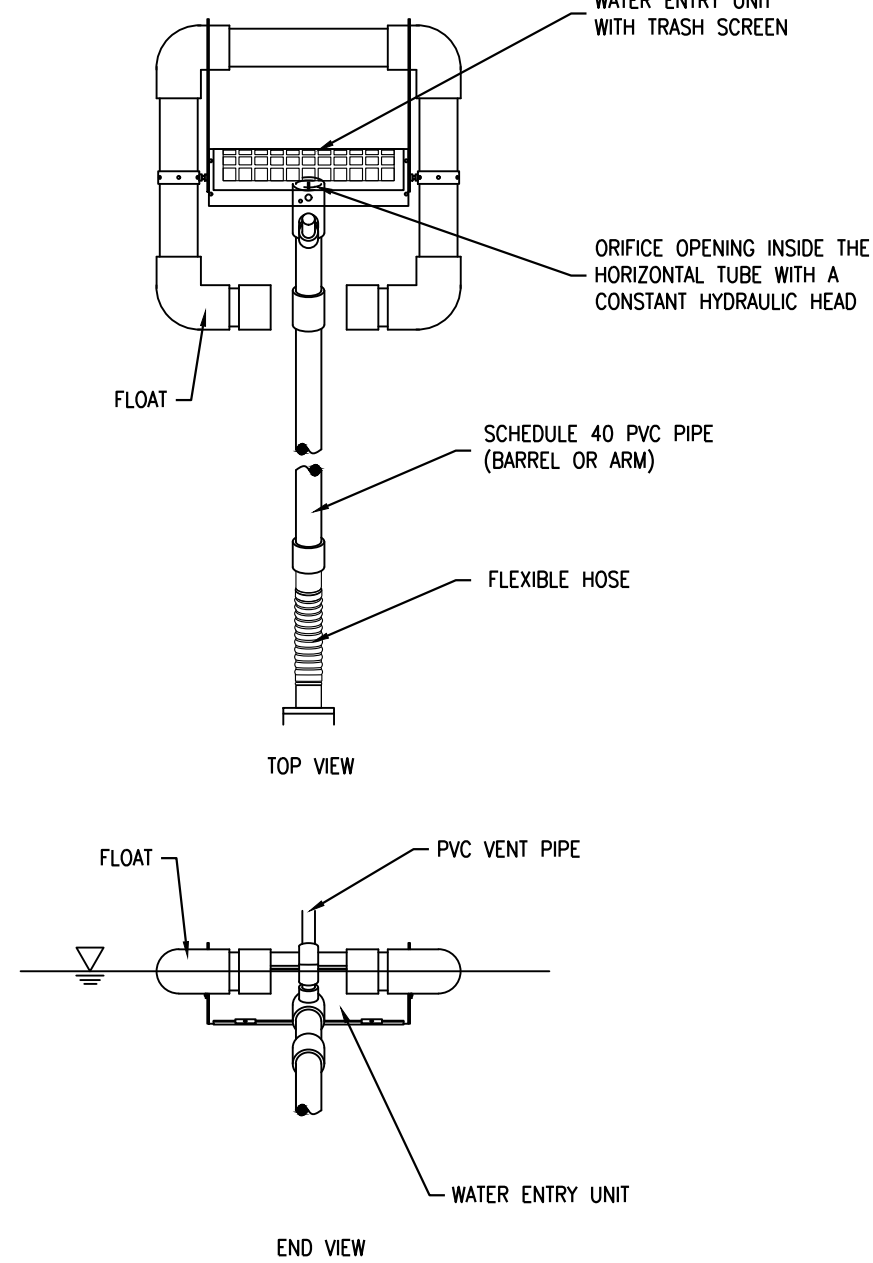
DRAWN BY: MSB LMF	CHECKED BY: GBL	DRAWING NUMBER: C-902
SCALE: NTS	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 19	OF 23

DATE TO INHERENT ERRORS IN REPRODUCTION METHODS, ERRORS MAY OCCUR WHEN SCALING THIS DRAWING



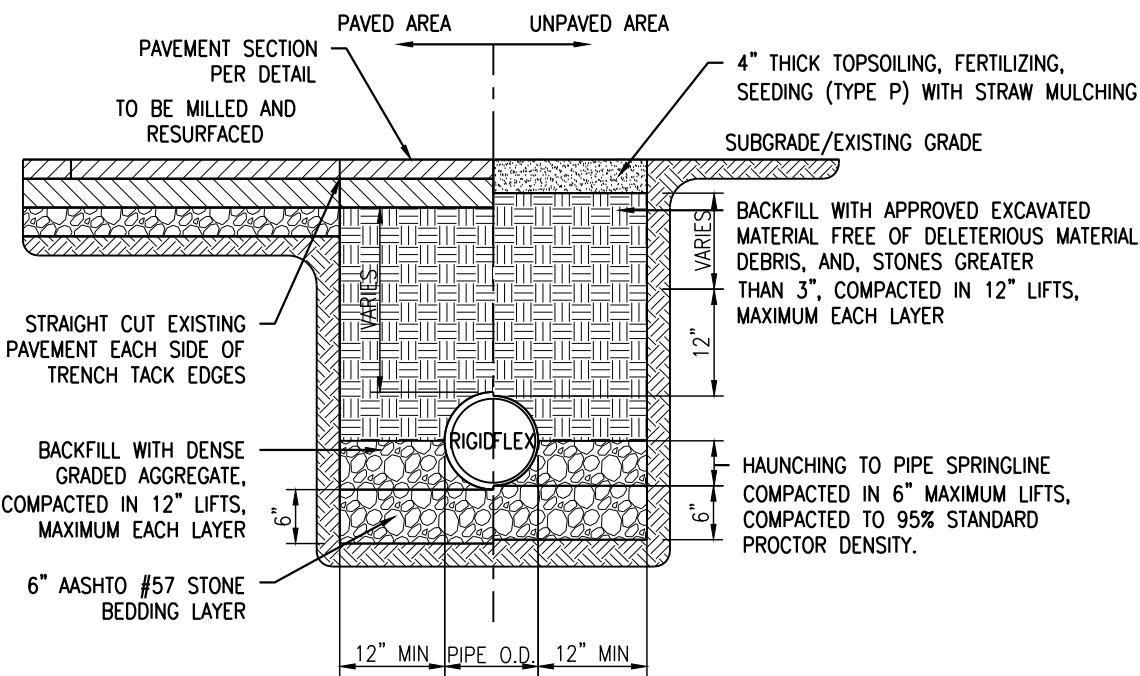
- NOTES:
1. BOTTOM SAND LAYER MUST CONSIST OF K5 SAND WITH A MAXIMUM OF 15% FINES AND A MINIMUM PERMEABILITY RATE OF 20 INCHES PER HOUR
 2. BASIN CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM
 3. SEE ELEVATIONS ON GRADING PLAN FOR BASIN TOPOGRAPHY
 4. THE USE OF THE SAND FILTER SYSTEM FOR SEDIMENT CONTROL DURING CONSTRUCTION IS DISCOURAGED. HOWEVER, WHEN AVAILABLE, EXCAVATION FOR THE SEDIMENT BASIN SHOULD BE AT LEAST 2 FEET ABOVE THE FINAL DESIGN ELEVATION.
 5. BASIN EXCAVATION AND SAND PLACEMENT SHOULD BE PERFORMED WITH EQUIPMENT PLACES OUTSIDE OF THE BASIN BOTTOM WHEREVER POSSIBLE. HOWEVER, IN CIRCUMSTANCES WHERE THIS IS UNAVOIDABLE, LIGHT EARTH MOVING EQUIPMENT WITH OVERSIZED TIRES OR TRACKS SHOULD BE UTILIZED.
 6. THE EXCAVATION FOR THE SAND FILTER BOTTOM SHOULD ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE SAND FILTER CANNOT BE DELAYED, BERMS SHOULD BE PLACED AROUND THE PERIMETER OF THE SAND FILTER DURING ALL PHASES OF CONSTRUCTION, DIVERTING ALL FLOWS AWAY FROM THE FILTER. THE BERMS SHOULD NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED AND THE AREA IS STABILIZED.
 7. ONCE THE EXCAVATION IS COMPLETED, THE FLOOR OF THE SAND FILTER MUST BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND SMOOTHED OVER WITH A LEVELING DRAG, OR EQUIVALENT GRADING EQUIPMENT.
 8. ONCE BOTH THE SAND FILTER AND ITS DRAINAGE AREA ARE STABILIZED, THE INFILTRATION RATE OF THE SAND BED MUST BE RETESTED TO ENSURE THAT THE DESIGN PERMEABILITY RATE IS THE SAME AS THE AS-BUILT PERMEABILITY RATE.
 9. PLANS REFERENCE GEOTECHNICAL REPORT PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., ENTITLED "3074 VALLEY ROAD GEOTECHNICAL ENGINEERING REPORT AND DATED DECEMBER 2020.

SAND FILTER BASIN
NTS



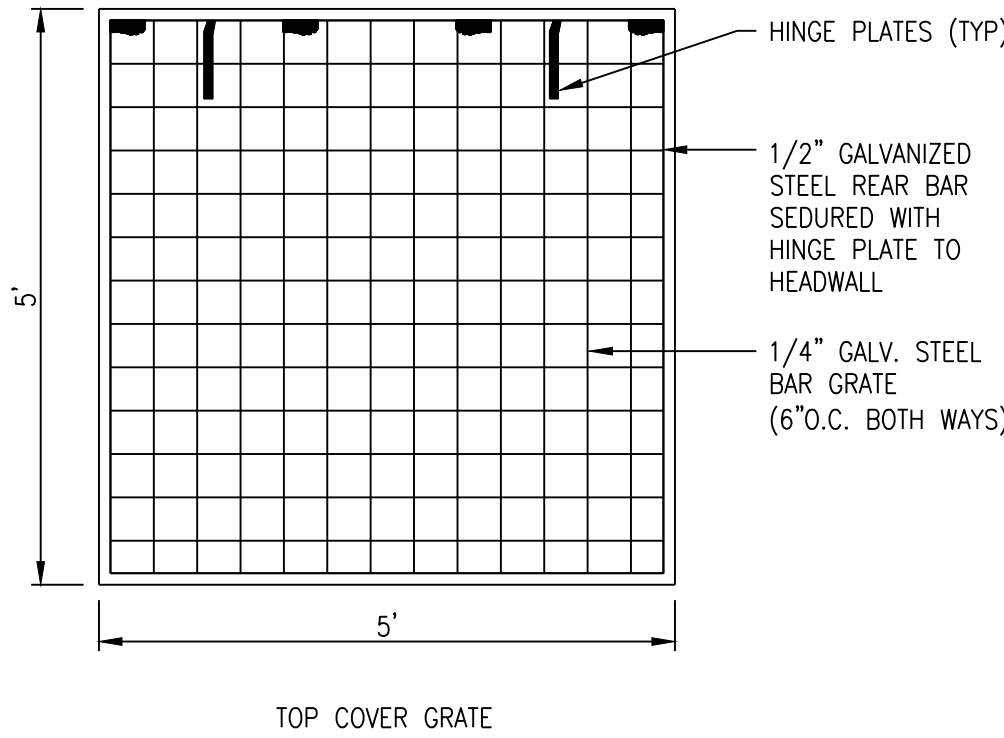
- NOTES:
1. TEMPORARY SEDIMENT BASIN SKIMMER TO BE INSTALLED AS NECESSARY IF AND WHEN DIRECTED BY COUNTY SOIL CONSERVATION DISTRICT.
 2. SKIMMER TO BE AS SPECIFIED OR AN APPROVED EQUIVALENT
 3. BASIN SKIMMER TO BE INSTALLED AND MAINTAINED PER SOIL CONSERVATION RULES AND REGULATIONS.

TEMPORARY SEDIMENT BASIN SKIMMER
NTS

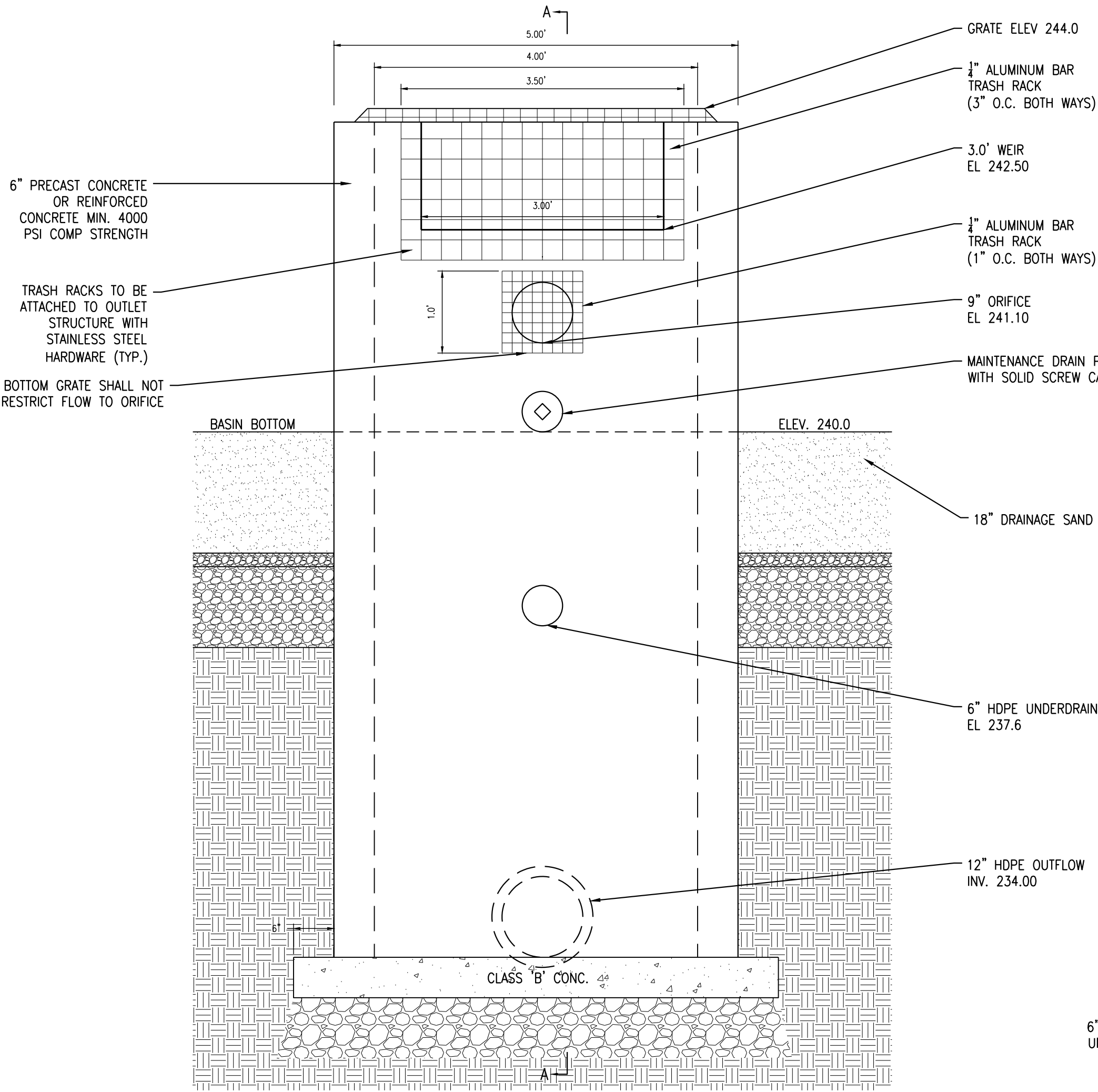


- NOTES:
1. REINFORCED CONCRETE CULVERT PIPE, MINIMUM 15" DIAMETER, SHALL BE UTILIZED IN ALL COUNTY RIGHT-OF-WAYS WHETHER PAVED OR UNPAVED.
 2. CONTRACTOR SHALL HAND COMPACT DGA BENEATH THE HAUNCHES OF FLEXIBLE PIPE TO ENSURE INSTALLATION MEETS OR EXCEEDS MANUFACTURER'S SPECIFICATIONS.
 3. IF NO OTHER CONTROLLING FACTORS EXIST, ALL CONCRETE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ACTIVE STANDARD ASTM C1479. ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ACTIVE STANDARD ASTM D2321. DUCTILE IRON PIPE USED FOR WATER MAINS SHALL MEET THE REQUIREMENTS OF ANSI, ASTM, AWWA, DIPRA, RGS, AND THE NEW JERSEY SAFE DRINKING WATER ACT.
 4. SOIL IN THE OUTER BEDDING, HAUNCH, AND LOWER SIDE ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS THE MAJORITY OF SOIL IN THE OVERFILL ZONE. SOIL SHALL BE COMPACTED WITHIN 2% OF OPTIMUM WATER CONTENT OR SHALL BE COMPACTED TO 98% STANDARD PROCTOR AS DIRECTED BY THE COUNTY ENGINEER.
 5. BACKFILLING WITH EXCAVATED MATERIAL SHALL NOT BE PERMITTED IN TRENCHES FOR STORM SEWERS AND ALL OTHER UTILITIES.
 6. TYPE OF SEEDING SHALL MEET THE COUNTY SOIL CONSERVATION REQUIREMENTS.

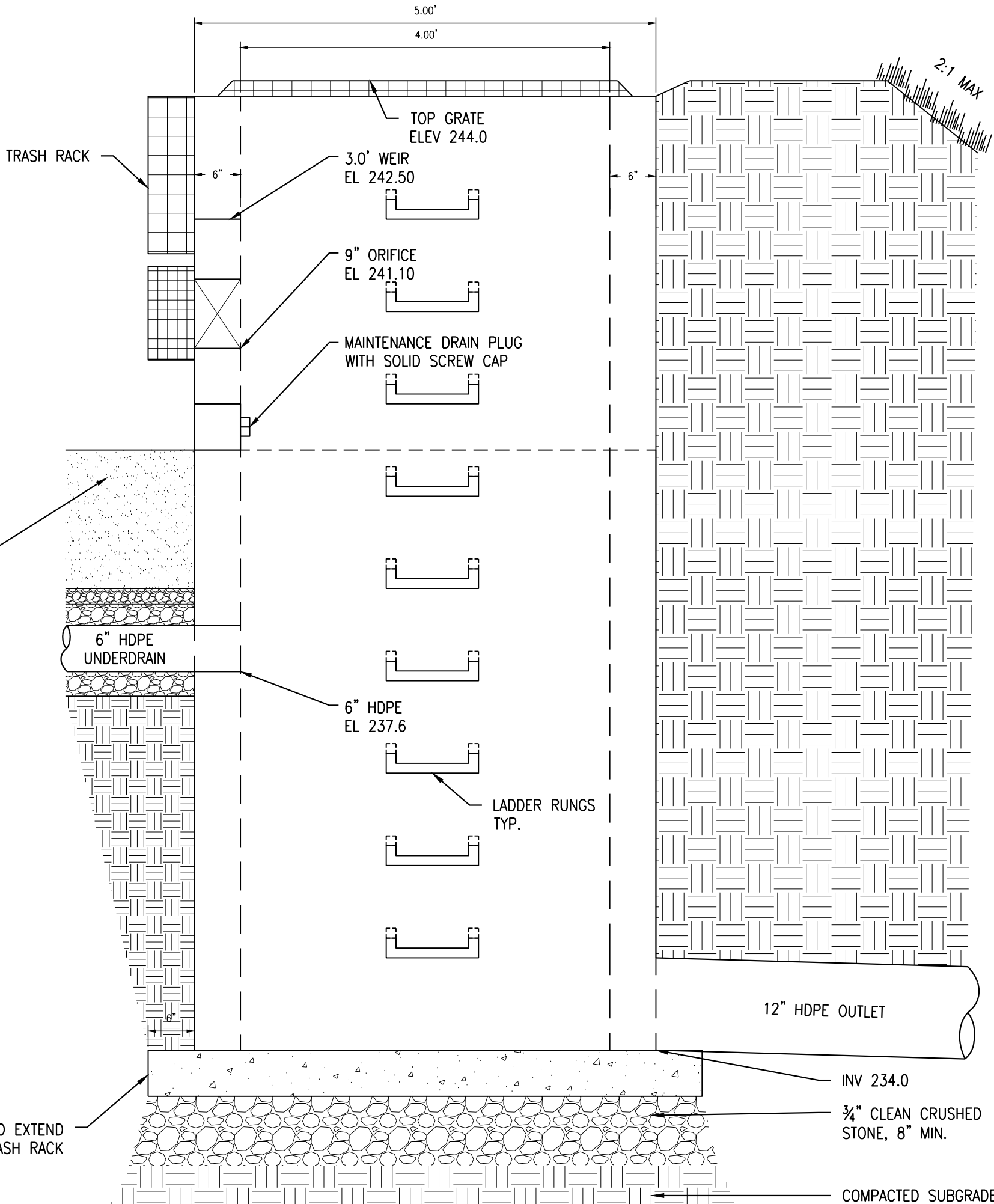
UTILITY TRENCH DETAIL
NTS



- OUTLET STRUCTURE NOTES:
1. PRECAST OUTLET STRUCTURE TO BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,500 PSI IN 28 DAYS.
 2. CORE DRILL HOLES 4" LARGER THAN SPECIFIED DIAMETER.
 3. TRASH RACKS AND OVERFLOW GRATES SHALL BE CONSTRUCTED AND INSTALLED TO BE RIGID, DURABLE, AND CORROSION RESISTANT, AND SHALL BE DESIGNED TO WITHSTAND A PERPENDICULAR LIVE LOADING OF 300 POUNDS PER SQUARE FOOT.



ELEVATION-SECTION



SECTION A-A VIEW

OUTLET CONTROL STRUCTURE
NTS

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
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REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

CONSTRUCTION NOTES & DETAILS III

PROJECT:

ARBOR TERRACE BASKING RIDGE

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis

12/11/2020

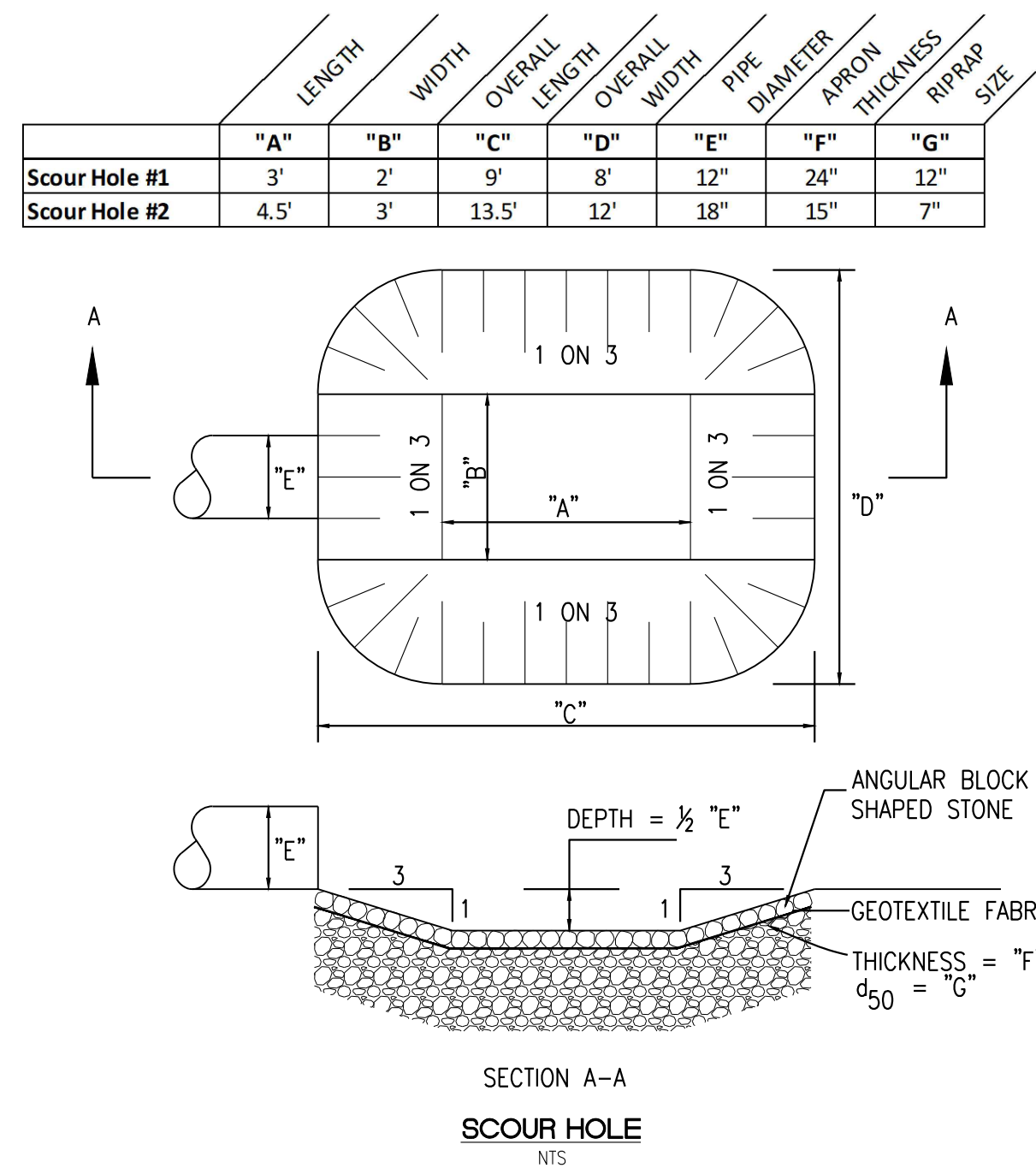
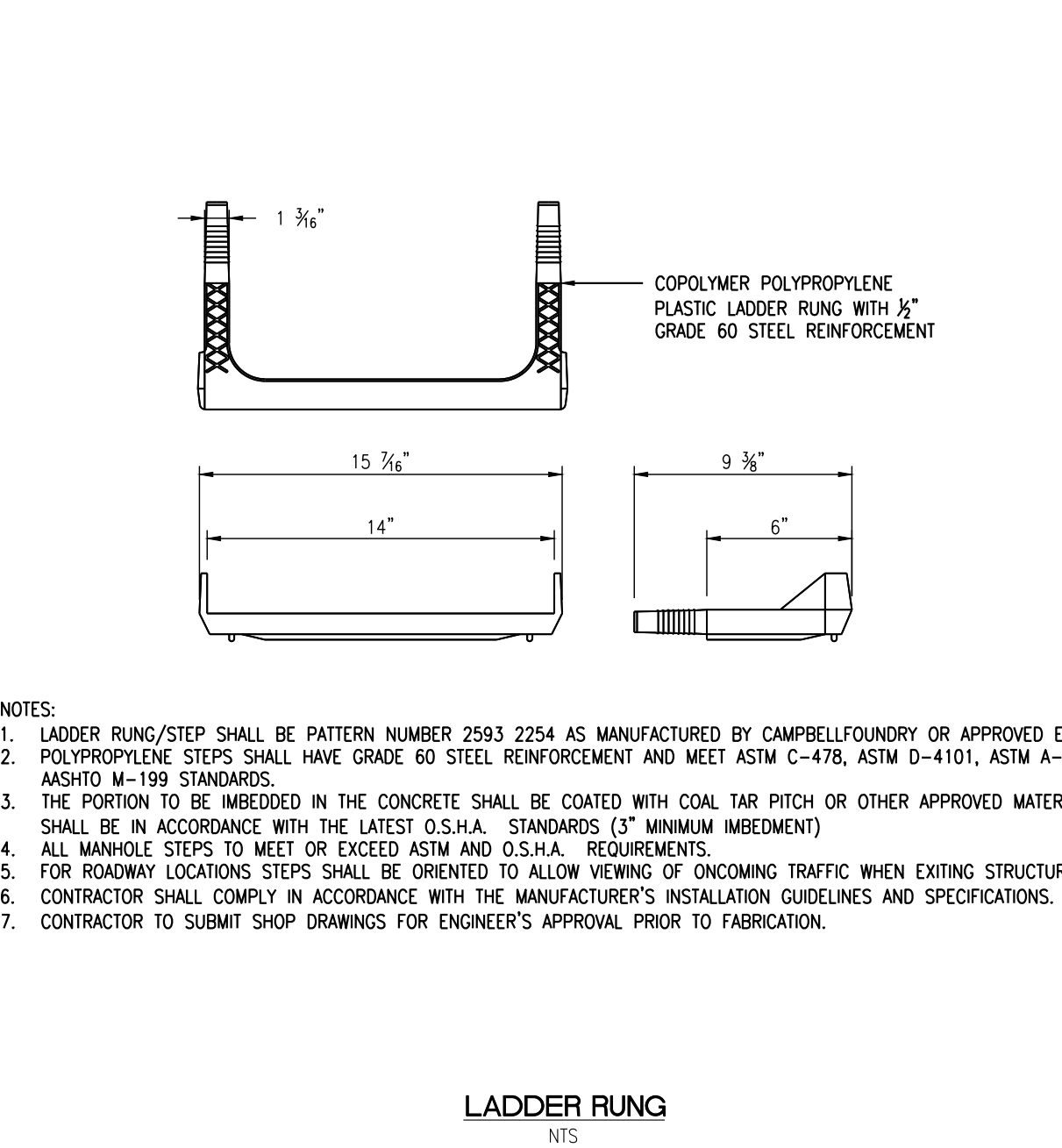
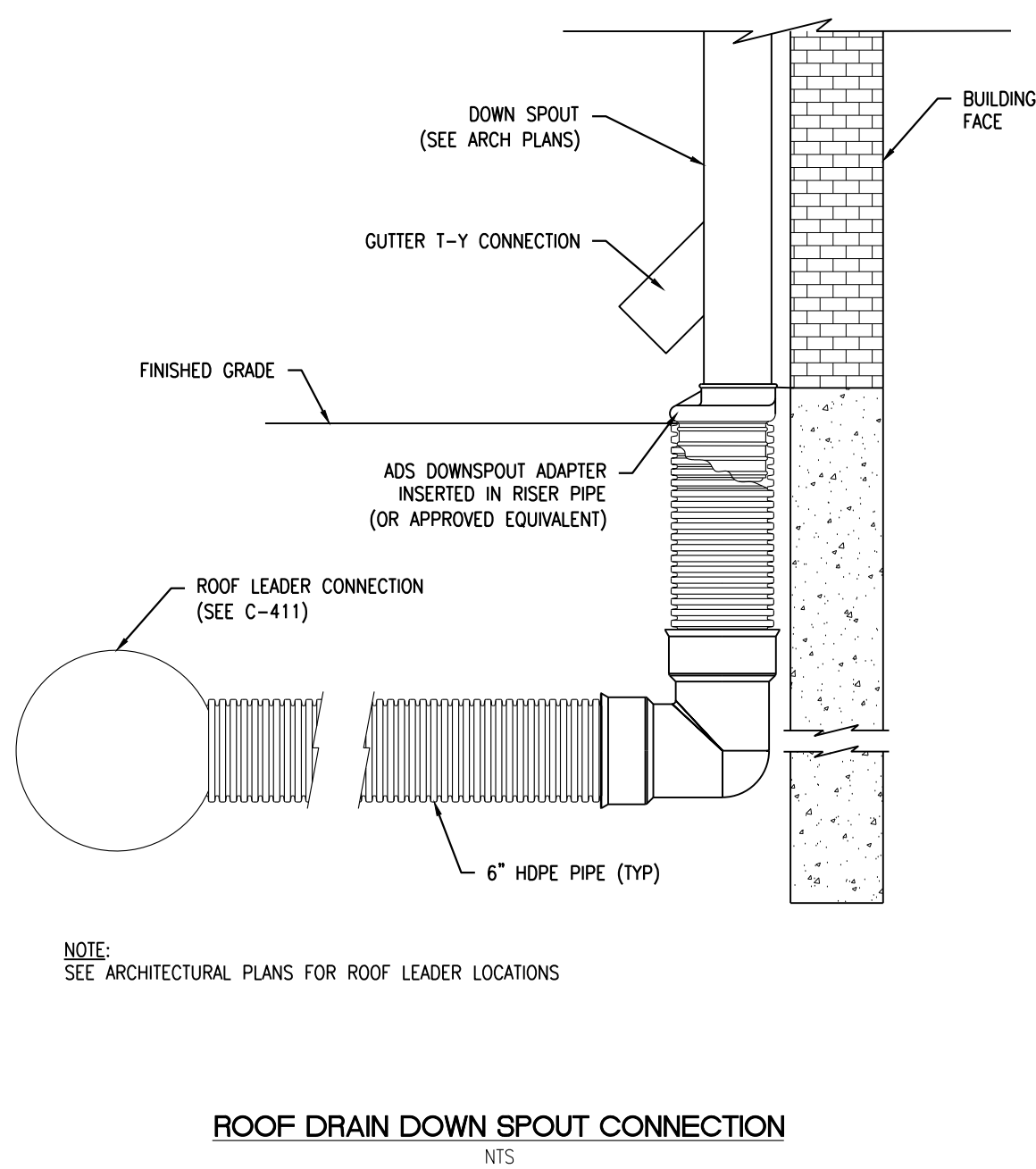
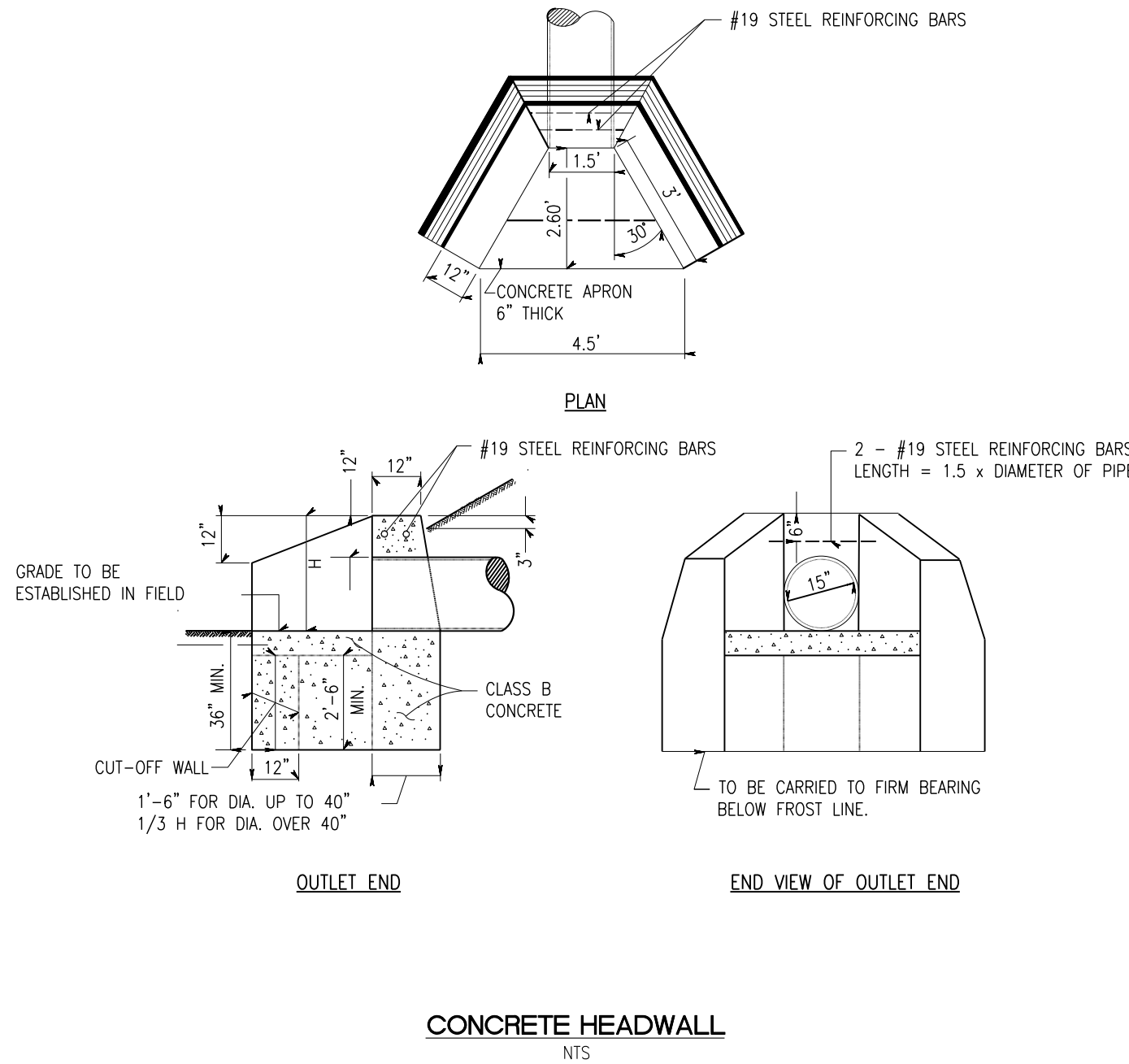
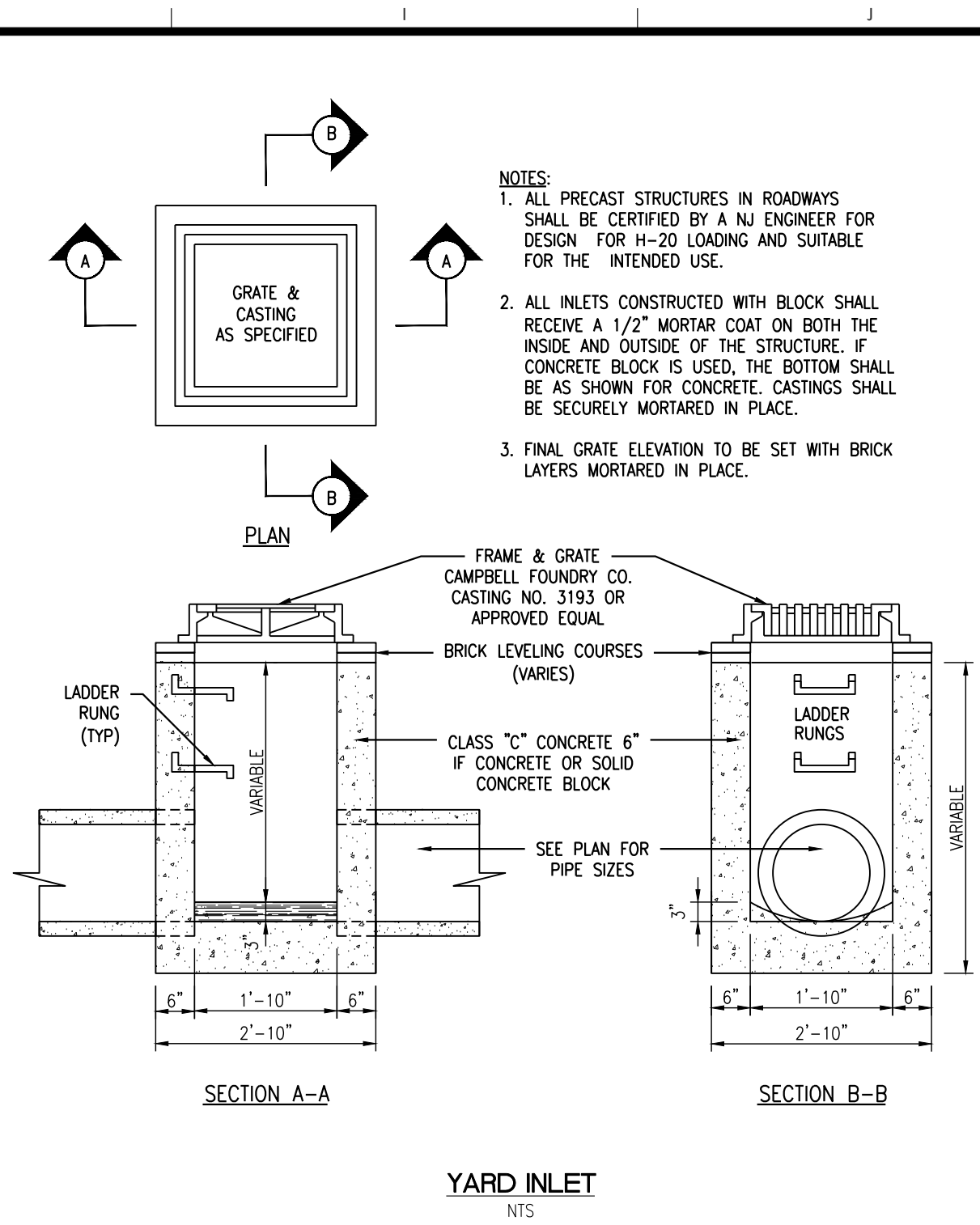
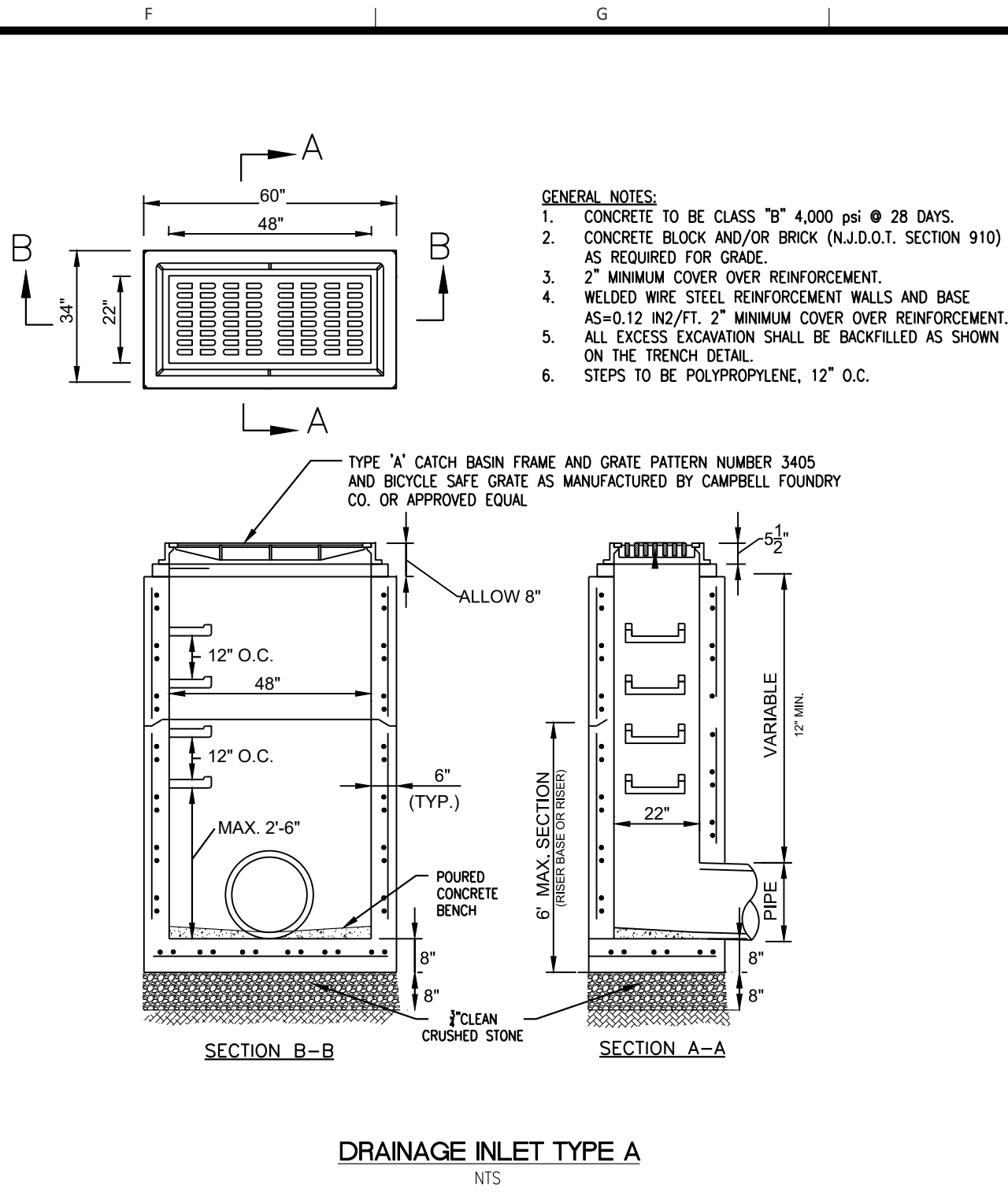
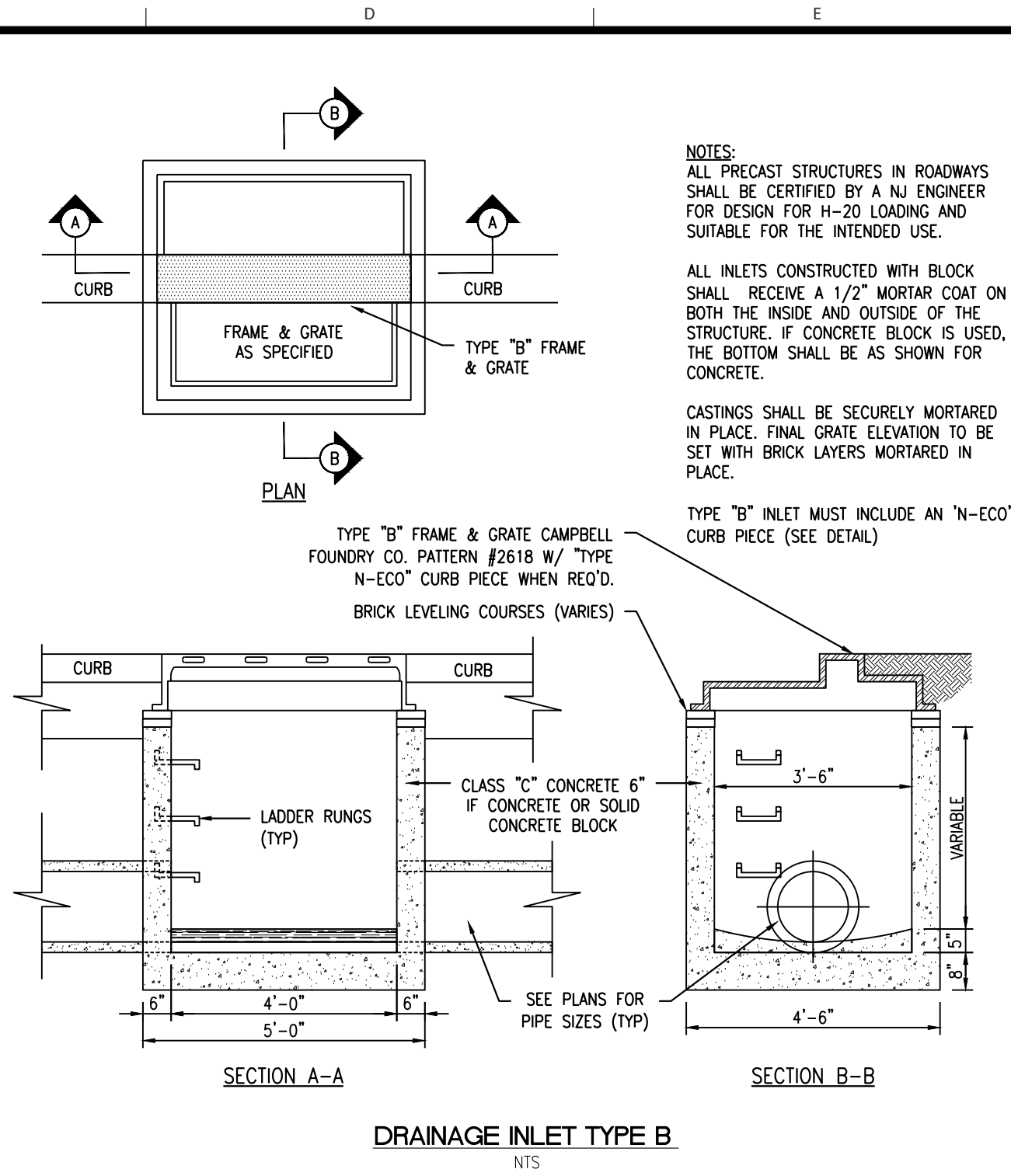
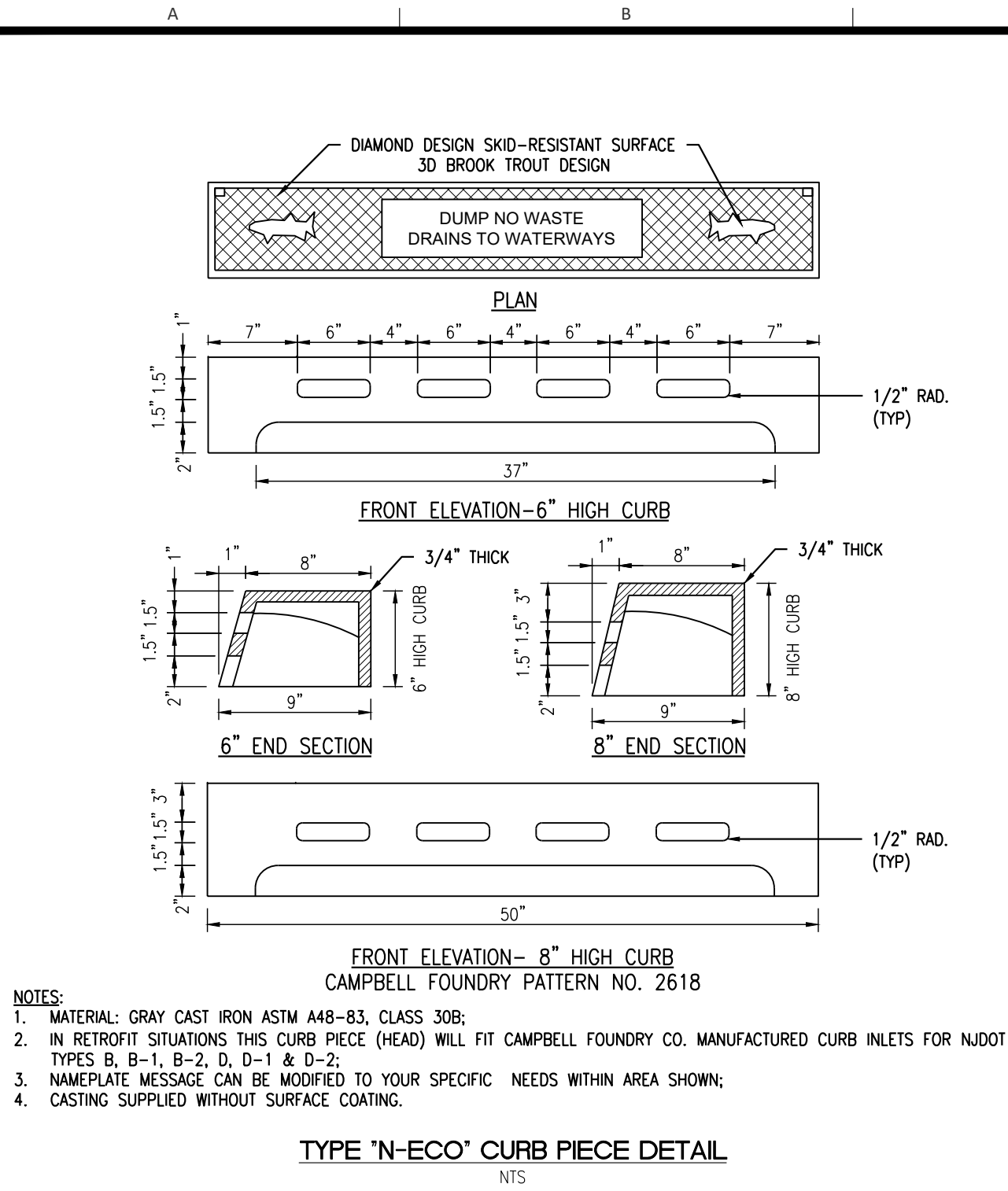
GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04809200

SCALE:

DRAWN BY: DGR LMF	CHECKED BY: GBL	DRAWING NUMBER: C-903
SCALE: NTS	DATE: 12-11-2020	
JOB NO: 11380-001	SHEET 20	OF 23

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DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO	DATE	DESCRIPTION	BY
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REVISIONS:
OWNER (LOT 22):
RICA PROPERTIES, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):
RICA REALTY RENTAL GROUP II, LLC
151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:
BRAEMAR PARTNERS
13140 FREEMANVILLE ROAD
MILTON, GA 30004

CONSTRUCTION NOTES & DETAILS IV

PROJECT:
ARBOR TERRACE BASKING RIDGE

LOCATION:
3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

GRANT B. LEWIS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04809200

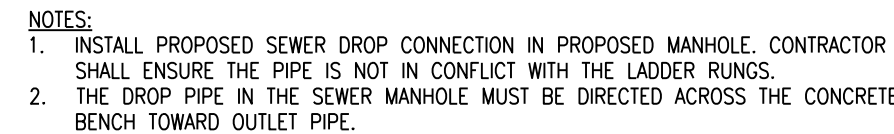
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SHEET 21 OF 23		

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL



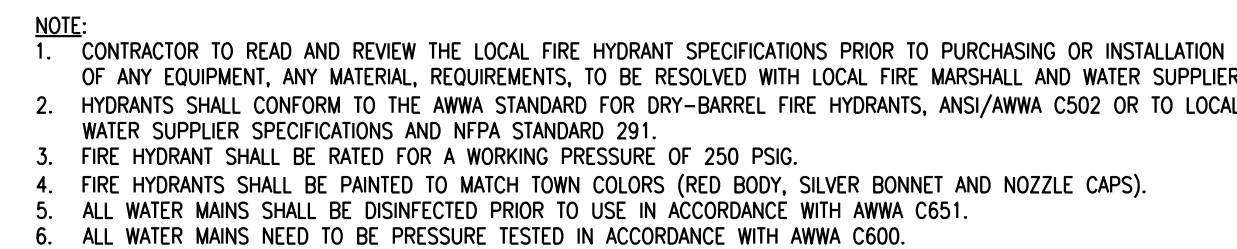
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OWNER (LOT 22):


OWNER (LOT 23):

APPLICANT:

DRAWING TITLE:

PROJECT:

LOCATION:

 12/11/2020

SCALE:

DRAWN BY: WL LMF	CHECKED BY: GBL	DRAWING NUMBER: C-905
SCALE: NTS	DATE: 12-11-2020	
JOB No: 11380-001		SHEET 22 OF 23

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004
TEL: 973.696.2600 FAX: 973.696.1362
NJ CERTIFICATE OF AUTHORIZATION : 24GA27926000

JERSEY CITY ■ FAIRFIELD ■ ASBURY PARK ■ CHERRY HILL

NO DATE DESCRIPTION BY

REVISIONS:

OWNER (LOT 22):

RICA PROPERTIES, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

OWNER (LOT 23):

RICA REALTY

RENTAL GROUP II, LLC

151 MOUNT BETHEL ROAD
WARREN, NEW JERSEY 07059

APPLICANT:

BRAEMAR PARTNERS

13140 FREEMANVILLE ROAD
MILTON, GA 30004

DRAWING TITLE:

CONSTRUCTION NOTES & DETAILS VI

PROJECT:

ARBOR TERRACE BASKING RIDGE

LOCATION:

3066-3074 VALLEY ROAD
LOTS 22 & 23, BLOCK 8201
TOWNSHIP OF BERNARDS
SOMERSET COUNTY,
NEW JERSEY, 07920

Grant B. Lewis

12/11/2020

GRANT B. LEWIS

PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04809200

SCALE:

DRAWN BY:

WL | LMF

CHECKED BY:

GBL

DRAWING NUMBER:

C-906

SCALE:

NTS

DATE:

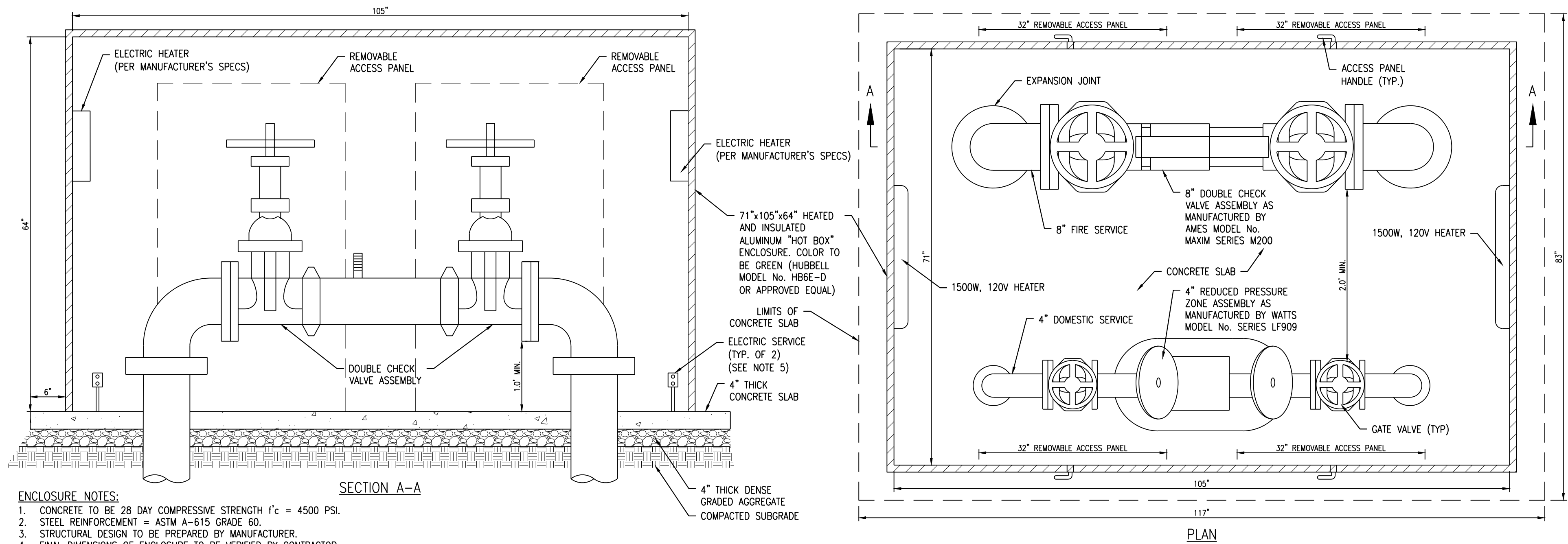
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JOB NO:

11380-001

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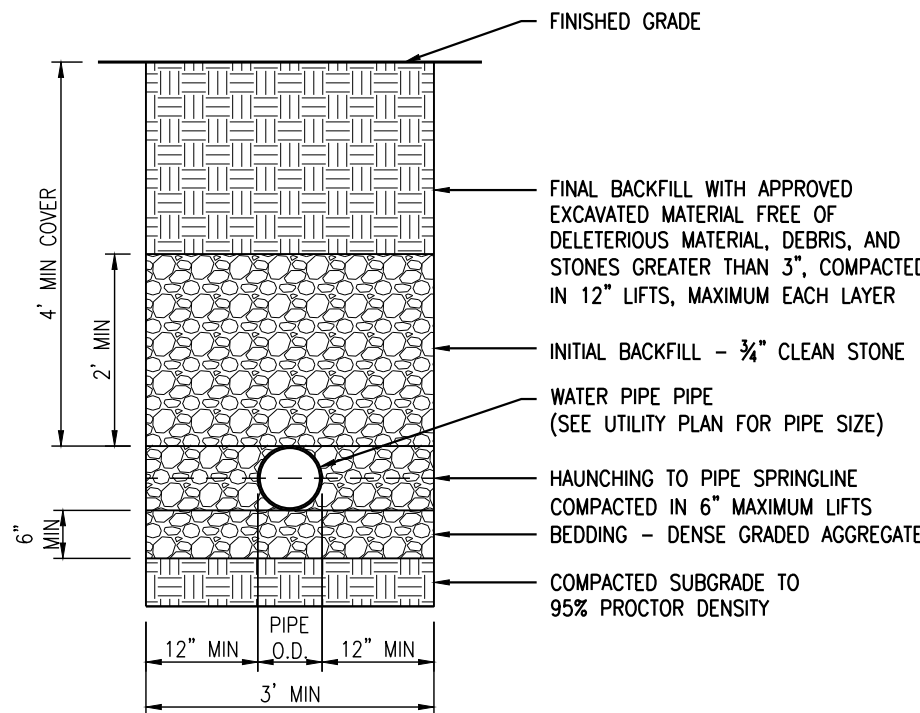
23 OF 23



- ENCLOSURE NOTES:
1. CONCRETE TO BE 28 DAY COMPRESSIVE STRENGTH $f'_c = 4500$ PSI.
 2. STEEL REINFORCEMENT = ASTM A-615 GRADE 60.
 3. STRUCTURAL DESIGN TO BE PREPARED BY MANUFACTURER.
 4. FINAL DIMENSIONS OF ENCLOSURE TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION BASED ON WATER EQUIPMENT TO BE UTILIZED.
 5. SEE MEP PLANS FOR ELECTRIC SERVICE TO HOT BOX ENCLOSURE.

WATER HOT BOX ENCLOSURE

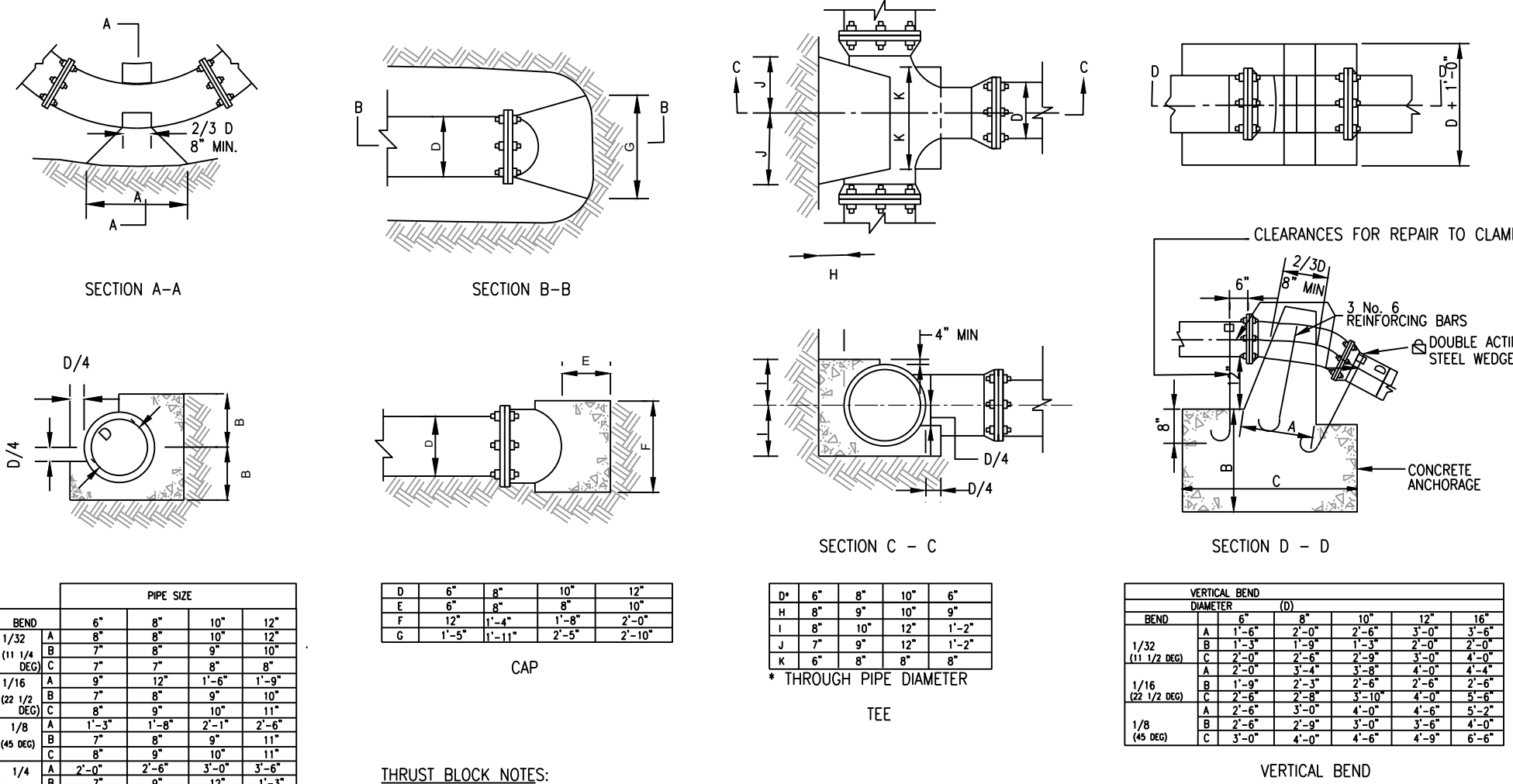
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- NOTES:
1. ALL WATER PIPE AND FITTINGS SHALL BE IN CONFORMANCE WITH TOWNSHIP OF LIVINGSTON WATER DEPARTMENT SPECIFICATIONS.

WATER PIPE TRENCH DETAIL

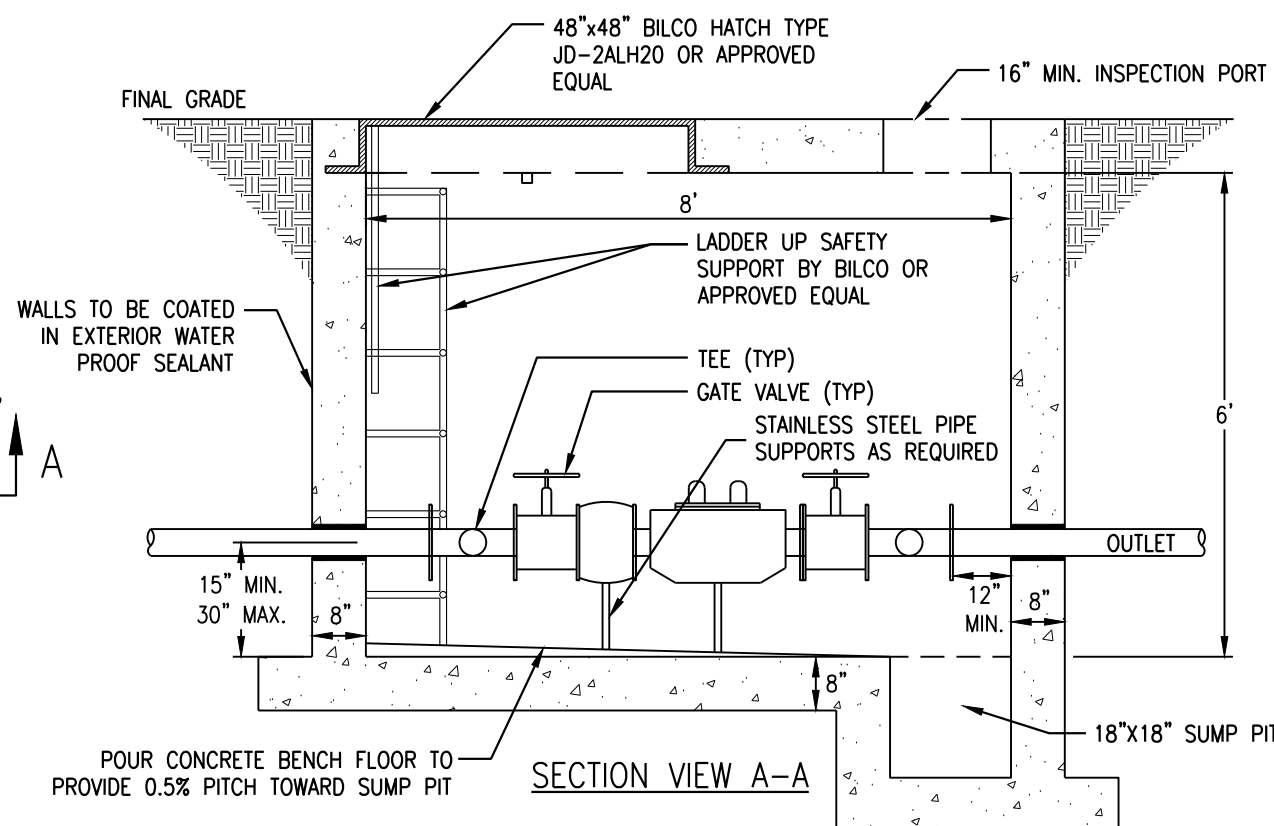
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- THRUST BLOCK NOTES:
1. ALL CONCRETE TO BE MIN. 2500 P.S.I. CONC.
 2. ALL THRUST BLOCKS TO BE CARRIED TO UNDISTURBED EARTH.
 3. THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 150 P.S.I. WATER PRESSURE AND SOIL RESISTANCE OF 2 KIPS PER SQ. FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SUBMIT FOR APPROVAL.

THRUST BLOCKS

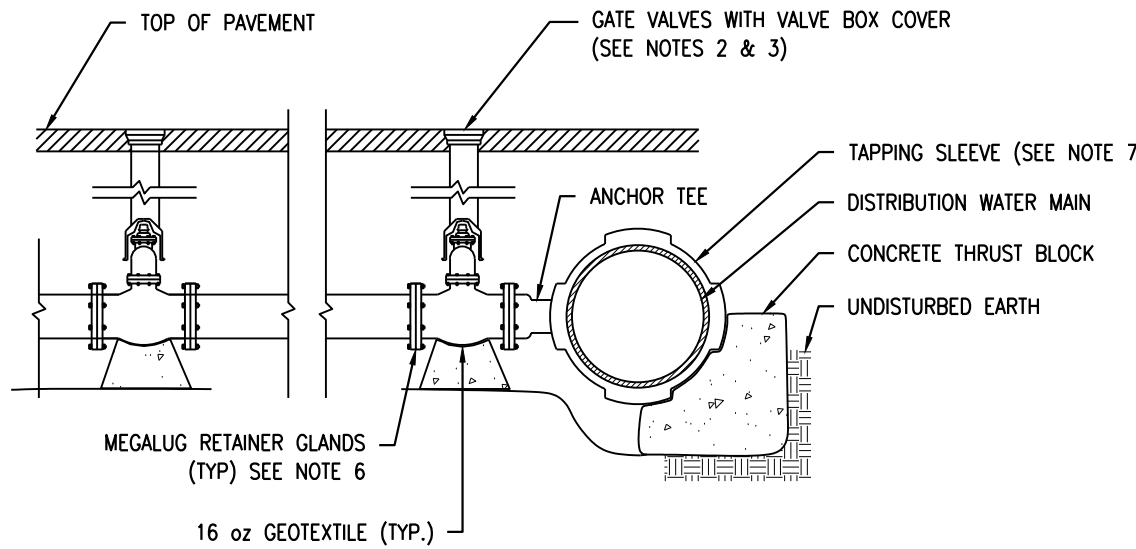
NTS



7. METER FLANGE SETS ARE PROVIDED BY THE WATER COMPANY AND INSTALLED BY THE CUSTOMER FOR 2" METERS. SHADED AREAS ARE SUPPLIED, MAINTAINED AND OWNED BY THE WATER COMPANY (INSTALLED BY CUSTOMER EXCEPT WHERE NOTED OTHERWISE). ALL AREAS ARE SUPPLIED, INSTALLED, MAINTAINED AND OWNED BY THE CUSTOMER EXCEPT WHERE NOTED OTHERWISE.
8. MAXIMUM HEIGHT OF METERS FROM FLOOR = 3'-0". MINIMUM HEIGHT OF METERS FROM FLOOR = 15".
9. ELECTRIC LINES ARE NOT TO BE GROUNDED TO WATER PIPING.
10. ALL PIPING TO BE DUCTILE IRON WITH FLANGED JOINTS IN SIZES 2" OR LARGER.
11. NO PVC PIPING.
12. ALL CONNECTIONS TO BE MADE WITHIN WATER METER PIT TO BE STAINLESS STEEL.
13. PIPE SUPPORTS TO BE MADE OF STAINLESS STEEL AND BOLTED TO FLOOR.

WATER METER PIT

NTS



- NOTE:
1. CONNECTION WITH MAIN TO BE COORDINATED WITH LIVINGSTON WATER DEPARTMENT
 2. GATE VALVES TO BE MUELLER RESILIENT WEDGE GATE VALVES WITH BLACK NUTS THAT OPEN LEFT (COUNTER-CLOCKWISE)
 3. VALVE BOX SHALL BE BINGHAM & TAYLOR 5.25" 2-PIECE VALVE BOX.
 4. VALVES TO BE PROVIDED ON EITHER SIDE OF SOUTH ORANGE AVENUE TO ALLOW FOR ISOLATED STREET CROSSINGS.
 5. WATER SERVICE LATERALS SHALL MAINTAIN A 4 FOOT MINIMUM COVER TO FINISHED GRADE.
 6. ALL WATER MAIN CONNECTIONS SHALL BE MECHANICAL JOINTS WITH MEGALUGS.
 7. TAPPING SLEEVES SHALL BE DUCTILE IRON, MECHANICAL JOINT TYPE, H-615 MUELLER TAPPING SLEEVE OR APPROVED EQUAL.
 8. ALL WATER MAINS SHALL BE DISINFECTED PRIOR TO USE IN ACCORDANCE WITH AWWA C651.
 9. ALL WATER MAINS NEED TO BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C600.

WATERMAIN CONNECTION

NTS