

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION  
**Regular Meeting of November 22, 2021-7 pm**

The Environmental Commission meeting for November 22, 2021, will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link at 7:00 PM.

<https://us02web.zoom.us/j/84909093874?pwd=UWFzZ3B0R3kweFlxNIY1RkkyUmQrdz09>

Or by calling 1-646-558-8656 and entering Meeting ID: **849 0909 3874** and Passcode: **379802**

**Meeting Agenda**

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC meeting minutes regular – [October 25, 2021](#)**
- 6. Reports and Miscellaneous Correspondence**
  - a. [Application for NJDEP Freshwater Wetlands General Permit 17](#) – Fellowship Senior Living
  - b. [TWA Application – Braemar](#)
- 7. Discussion**
  - a. Intro/AmeriCorps Watershed Ambassador – Sydney Abraham
  - b. [2022 EC Meeting Dates](#)
- 8. Old Business**
  - a. **Status on Current Projects:**
    - i. Public Outreach
    - ii. Pumpkin Smash
    - iii. Farmers Meeting
    - iv. Guerilla Gardening
- 9. New Business**
  - a. **Applications**
    - i. [Faizan – ZB 21-030 62 Wisteria Way](#) – Variance for steep slope disturbance to construct new single family dwelling.
    - ii. [Finley Real Estate LLC – ZB 21-031](#) - Prelim/final site plan / “C” variances to make temporary outside dining area & associated structures permanent.
  - b. Liaison – Regional Native Pollinator Working Group -next meeting 12/9 @ 4 pm via Zoom
- 10. Comments by Public**
- 11. Comments by Members**
- 12. Adjournment**

Ellen Houlihan, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES**

**October 25, 2021 – 7:00pm**

#### **CALL TO ORDER**

Debra DeWitt called the meeting to order at 7:02 pm via Zoom conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Joan Bannan, Jane Conklin John Crane, Nancy Cook, Debra DeWitt, Corey Fischer, James LaMaire (7:05 pm), Alice Smyk, Sarah Wolfson

**Absent:** Jason Roberts

**Also Present:** Christine Andres – Recording Secretary, Todd Edelstein – Resident, Kate Katilito – Resident

#### **APPROVAL OF MEETING MINUTES**

Motion to approve EC regular meeting minutes – September 27, 2021, by Nancy Cook, second by Alice Smyk. All in favor, motion carried.

#### **REPORTS & MISCELLANEUS CORRESPONDENCE**

None

#### **Discussion**

##### **a. Shade Tree Commission/Spotted Lantern Fly**

Jack Grey, Shade Tree, lead the discussion on spotted lantern flies and ways to destroy them in their current stage (i.e., rubbing alcohol). The members concurred that pesticides are a last resort.

##### **b. Guerilla Gardening**

Sarah Wolfson informed the board on the goal of identifying neglected areas in the Township and creating better habitats for native plants. Once smaller locations are identified by residents, approvals would be required from property owners or the Public Works Department.

#### **OLD BUSINESS**

##### **a. Status on Current Projects**



## **Bernards Township Environmental Commission**



### **i. Public Outreach**

Debra Dewitt reported that “Tips of the Week’ are posted to the Townships Facebook page. (i.e., lotions, wish recycling, reduce & reuse)

### **ii. Pumpkin Smash**

The event will be held November 5<sup>th</sup> at Dog Wood Farms 12:30pm to 2:00pm. The event will be beginning with pumpkin counting and the children “smashing” the pumpkins one at a time for safety reasons.

## **NEW BUSINESS**

### **a. Applications – None**

### **b. Agricultural Committee- Farmer’s Meeting**

The topic of the annual Farmers Meeting will be Wildlife Management. The meeting will be held with the Agricultural Advisory board meeting on November 18<sup>th</sup> at 7:00 pm in the Owen Conference room at Townhall. Members of the TC, Deer Management, Environmental Commission, and Public will be invited.

## **PUBLIC COMMENT**

Todd Edelstein discussed how the pumpkins would be smashed for future events, such as a sling shot. He also had suggestions on highway 287 right cleaning methods and gorilla gardening.

## **COMMENTS BY MEMBERS**

Debra DeWitt said that the Statements of Interest were submitted to the Clerk’s office for 2022. She also thanked Ann Parsekian for all her service to the Environmental Commission. The Great Swamp Watershed plant sale will be upcoming, a volunteer is needed to coordinate the event.

Nancy Cook suggested that for future meetings applications be reviewed prior to the meeting to streamline the process. This would provide more time to discuss and implement new projects for the EC.

Sarah Wolfson recommended a group visit to the package free shop in Morristown.

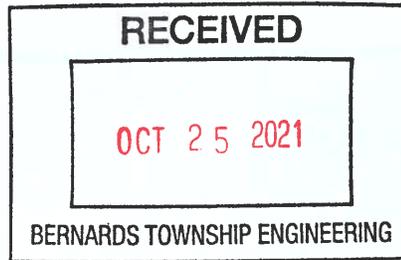
John Crane supported Nancy’s suggestion to expedite applications in the meeting discussions.

## **ADJOURNMENT**

Meeting was adjourned at pm. Motion by Alice Smyk, seconded by Nancy Cook. All in favor, motion carried. 8:11 pm.

Respectfully submitted,  
*Christine V. Andres, Meeting Secretary*

October 21, 2021



FVG 001.01

***Certified Mail***

**Bernards Township Environmental Commission**  
1 Collyer Lane  
Basking Ridge, NJ 07920

**RE: Application for NJDEP Freshwater Wetlands General Permit 17**  
**Applicant: Fellowship Senior Living, Inc.**  
**Block 9301; Lot 33**  
**Township of Bernards, Somerset County, New Jersey**

**To Whom it May Concern:**

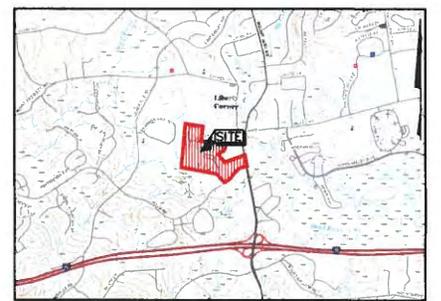
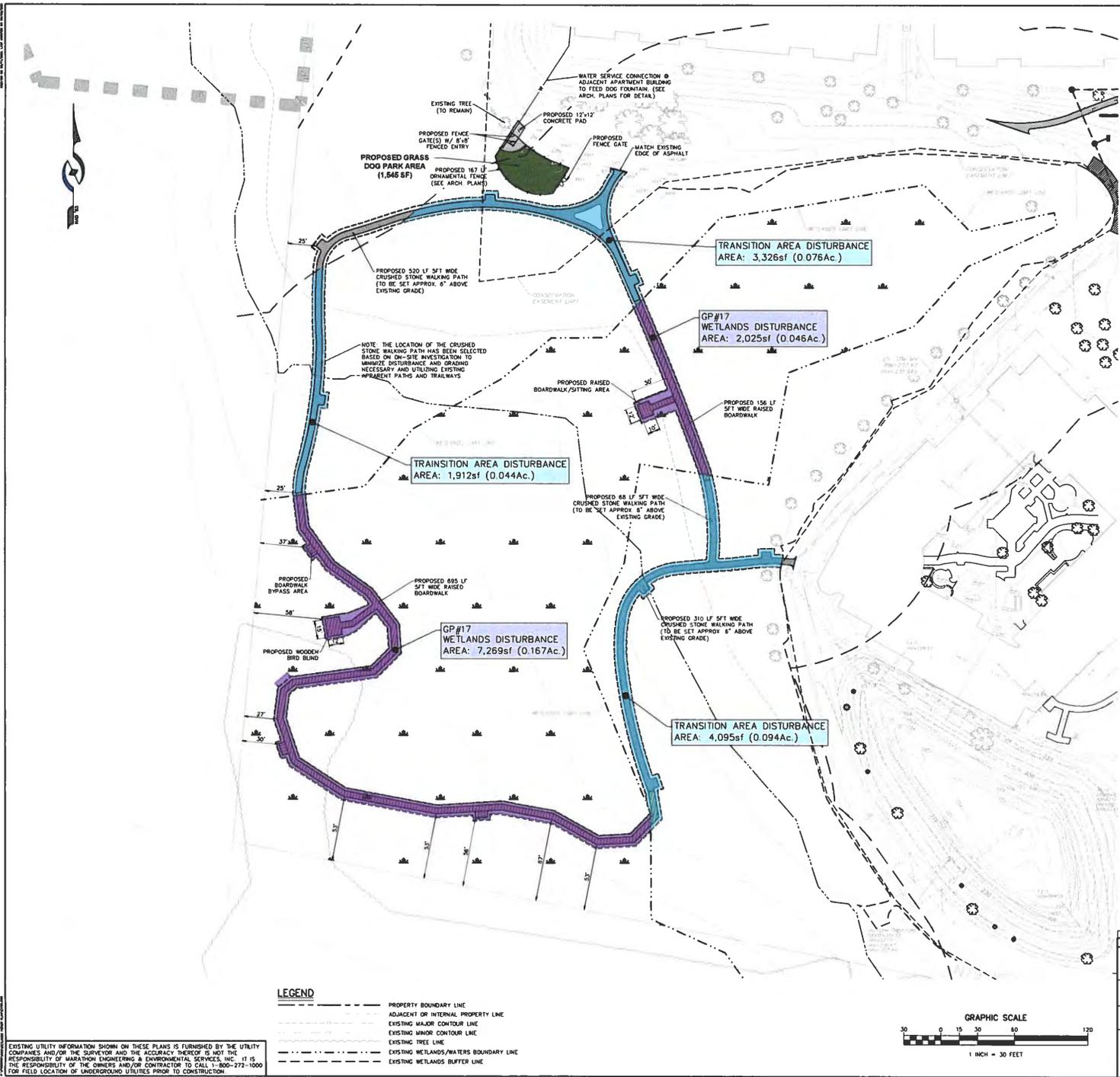
Marathon Engineering & Environmental Services, Inc. ("Marathon") is assisting Fellowship Senior Living, Inc. ("the applicant") with the above referenced application. This letter is to provide you with legal notification that a permit application has been submitted to the New Jersey Department of Environmental Protection ("NJDEP"), Division of Land Resource Protection for the project depicted on the enclosed plan.

Fellowship Senior Living, Inc. is proposing to construct a 1,749 linear foot closed loop crushed stone trail and wooden boardwalk within freshwater wetlands and transition area on the above referenced property.

The rules governing the requested permits are found in the NJDEP's Freshwater Wetlands Protection Act Rules (N.J.A.C. 7:7A). You can view or download these rules on the NJDEP's website at [www.nj.gov/dep/landuse](http://www.nj.gov/dep/landuse), or you can find a copy of these rules in the county law library in your county courthouse.

Enclosed is a copy of the site plan showing the proposed project. If you would like to inspect a copy of the complete application, it is on file at the Municipal Clerk's Office in the town in which the property is located, or you can call the NJDEP at 609-777-0454 to make an appointment to see the application at NJDEP offices in Trenton during normal business hours. In addition, an electronic copy of the initial application can be provided from the NJDEP's Trenton Office via an OPRA request by contacting <https://www.nj.gov/dep/opra/opraform.html>.

The NJDEP welcomes comments and any information that you may provide concerning the proposed development and site. If you wish to provide comments, please submit your written comments within 15 calendar days of receiving this letter to:



**U.S.G.S. BERNARDSVILLE QUAD LOCATION MAP**  
SCALE: 1" = 5,000'

**PROJECT NOTES**

**A. GENERAL SITE NOTES**

- TRACT FOR DEVELOPMENT CONSISTS OF SHEET 83, BLOCK 8301, LOT 33 OF THE OFFICIAL TAX MAP OF BERNARDS TOWNSHIP.
- TRACT FOR DEVELOPMENT IS ZONED CCRC AS INDICATED ON THE OFFICIAL ZONING MAP OF BERNARDS TOWNSHIP.
- TOTAL AREA OF TRACT = 72.568 ACRES OF LAND.
- THE PROPOSED DEVELOPMENT SHALL BE SERVED BY PUBLIC SEWER AND WATER.
- THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE CURRENT RECYCLING PROGRAM IN EFFECT IN BERNARDS TOWNSHIP.
- THE OWNER, OR HIS REPRESENTATIVE, SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CTR 1928.32 (F) (OSHA COMPETENT PERSON).

**B. SURVEY NOTES**

- VERTICAL DATUM IS IN FEET AND APPROXIMATES NGVD 1929 (SUBTRACT 1.145 FEET TO ADJUST TO NAVD 1983 PER CORSSON 8.0.1).

**C. WETLAND NOTES**

- WETLANDS SHOWN HEREON ARE REFERENCED TO A SET OF PLANS TITLED "PRELIMINARY & FINAL SITE PLAN FOR FELLOWSHIP SENIOR LIVING, BLOCK 8301, LOT 33, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY DATED OCTOBER 14, 2013."
- WETLANDS REFERENCED ABOVE, ARE PURSUANT TO NDEP FILE # 1802-92-0005.1-FWU DATED APRIL 14, 1992.
- WETLANDS TRANSITION AREA REFERENCED TO A MAP TITLED "WETLAND TRANSITION AREA WALKER APPLICATION PLAN" DATED AUGUST 11, 1983, UNREVISED AND PREPARED BY SLOUCH ENGINEERS (NDEP FILE #1802-92-0005.2-FWU-AVERAGING & FILE # 1802-92-0005.3-FWU-SPECIAL ACTIVITY).

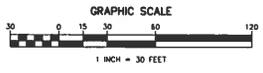
WETLANDS/WATERS DISTURBANCE SUMMARY		
EXISTING WETLANDS/WATERS AREA (ACRES)	PROPOSED PERMANENT DISTURBANCE GP #17 (ACRES)	PROPOSED WETLANDS/WATERS AREA (ACRES)
3.802	0.213	3.389

- WETLANDS DISTURBANCE TOTAL: 9,284 SF (0.213 AC)
- TRANSITION AREA DISTURBANCE TOTAL: 9,333 SF (0.214 AC)

09/20/2021	1	INITIAL SUBMISSION	ACC	GP
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR
<b>PRELIMINARY &amp; FINAL SITE PLAN</b>				
SHEET 83, BLOCK 8301, LOT 33 TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY				
<b>WETLANDS PERMIT PLAN</b>				
WALKING TRAIL				
FELLOWSHIP SENIOR LIVING, INC. 8000 FELLOWSHIP ROAD BASKING RIDGE, NJ 07920				
<b>DAVID J. FLEMING, P.E.</b> NEW JERSEY LICENSE NO. 2460331600				
09/20/2021				
FIG. 002 OF				

**MARATHON**  
Engineering & Environmental Services  
Swedesboro Office  
114 River Street, Suite 402 Swedesboro, NJ 08085  
Tel: (856) 241-8125 Fax: (856) 274-1111  
Columbiana Blvd. Swedesboro, NJ 08085

NO AS NOTED  
ACC DB  
3 OF 1  
C0103



# DRESDNER ROBIN

DRESDNER ROBIN  
1 EVERTRUST PLAZA, SUITE 901  
JERSEY CITY, NJ 07302  
201.217.9200  
WWW.DRESDNERROBIN.COM

Township of Bernards Environmental Commission  
Engineering Services Building  
277 South Maple Avenue  
Basking Ridge, NJ 07920  
Via Certified Mail

DR Project No.: 11380-001  
November 3, 2021

**Re: Public Notification – Application for a Treatment Works Approval**  
**Arbor Terrace Basking Ridge** - Braemar  
**Block 8201, Lots 22 & 23**  
**Township of Bernards, NJ**

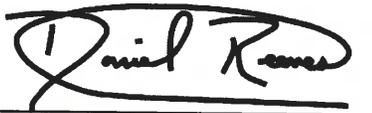
Dear Board Members:

This letter is to provide public notice that a Treatment Works Application (TWA) is being submitted to the NJDEP for the above referenced project.

The proposed project is located at 3066 and 3074 Valley Road in Bernards, New Jersey. This development proposes to demolish the existing 2-story frame buildings and other site features and construct a 2-story Assisted Living building and associated site improvements. The proposed development is for an assisted living facility with 80 units, consisting of 100 beds. A copy of the site and utility plans and TWA-1 form are enclosed for your reference.

If you have any questions or require any additional information, please contact me at (973) 559-7426 or [dreeves@dresdnerrobin.com](mailto:dreeves@dresdnerrobin.com).

Very Truly Yours,



Daniel Reeves, PE  
Project Manager





STATE OF NEW JERSEY  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
DIVISION OF WATER QUALITY

TWA - 1



Treatment Works Approval Permit Application

Refer to Instructions on Page 4 and Provide All Applicable Information. Please Print or Type.

1. APPLICANT/OWNER \*

Name Braemar Partners LLC - Cliff Stanfield Telephone ( 404 ) 402-9489  
Permanent Legal Address 117 Cypress Point  
City or Town St. Simons Island State GA Zip Code 31522 E-mail cstanfield@braemarpartners.com

\* Applicant/Owner should be the eventual owner of the proposed Treatment Works.

2. LOCATION OF ACTIVITY

Name of Facility/Site Arbor Terrace Basking Ridge  
Street Address/Location 3066-3074 Valley Road  
Lot No. 22 & 23 Block No. 8201  
City or Town Basking Ridge State NJ Zip Code 07920  
Municipality Bernards County Somerset

3. NEW JERSEY LICENSED PROFESSIONAL ENGINEER

Name Daniel Reeves, PE N.J. License No. 24GE05292000  
Name of Firm, if employee Dresdner Robin  
Mailing Address 55 Lane Road, Suite 220  
City or Town Township of Fairfield State NJ Zip Code 07004  
Telephone ( 973 ) 559-7426 Fax ( ) E-Mail dreeves@dresdnerrobin.com

4. ESTIMATED CONSTRUCTION COST AND APPLICATION FEE

A. Cost of treatment works proposed in this application \$ 124,600  
(Attach a breakdown of the cost of all items related to the construction of the proposed treatment works).  
B. Application Fee \$ 2,192.96  
(In accordance with N.J.A.C. 7:1C-1.5 et seq., made payable to Treasurer, State of NJ, Environmental Services Fund).

**5. OTHER REQUIRED PERMITS**

If any of the the following applications have been submitted for this project, provide the applicable information.

Permit Type	Application Status		Application Date (or Application No.)
	<u>Pending</u>	<u>Approved*</u>	
● Treatment Works Approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
● Exemption From Sewer Ban	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Water Quality Management Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>	_____
● CAFRA	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Stream Encroachment	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Freshwater Wetlands	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Tidal or Coastal Wetlands	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Waterfront Development	<input type="checkbox"/>	<input type="checkbox"/>	_____
● NJPDES Permits	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Pinelands Certificate	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Delaware & Raritan Canal Commission	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Hackensack/Meadowlands Commission	<input type="checkbox"/>	<input type="checkbox"/>	_____
● Other Related Approvals	<input type="checkbox"/>	<input type="checkbox"/>	_____

(\* If any of the above applications were approved, please provide a copy of the approval with this application).

**6. PROJECT DESCRIPTION (Brief Description of Proposed Treatment Works and Intended Use).**

The project is for a 2-story assisted living building with 80 units and 100 beds, and associated site improvements.

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7. APPLICANT'S AGENT (Optional)

I, Braemar Partners LLC

(Applicant/Owner's Name)

authorize to act as my agent/representative in all matters pertaining to my application the following person:

Name Daniel G. Reeves, PE Position Project Manager

Address 55 Lane Road, Suite 220 City Fairfield

State New Jersey Zip Code 07004 Telephone ( 973 ) 559-7426

Signature of Agent *Daniel Reeves* Date \_\_\_\_\_ Signature of Applicant/Owner *C. Stuhler* Date 8/2/21

8. PROPERTY OWNER'S CERTIFICATION

I hereby certify that Rica Rental Realty Group, LLC  
(Property Owner's Name)

owns the property identified in this application. As owner, I grant permission for the activity to be permitted under this application and authorize the Department of Environmental Protection to conduct on-site inspections, if necessary. If the construction activity will take place in an easement, I certify that with this application, I presently have or will obtain permission of the property owner(s) prior to initiation of construction of this proposed treatment works.

Signature of Owner *Donald J. Rica* Date 7/29/21

Print or Type: Name and Position DONALD J. RICA / MANAGING MEMBER

9. STATEMENT OF PREPARER OF PLANS, SPECIFICATIONS AND ENGINEER'S REPORT AND/OR ABSTRACT

I hereby certify that the engineering plans, specifications, and engineer's report and/or abstract applicable to this project comply with the current rules and regulations of the Department of Environmental Protection with the exceptions as noted.

Signature of Engineer *Daniel Reeves* Date \_\_\_\_\_

Print or Type: Name and Position Daniel G. Reeves, PE - Project Manager

PROFESSIONAL ENGINEER'S  
EMBOSSED SEAL



**10. PROPER CONSTRUCTION AND OPERATION CLAUSE**

I, the Applicant/Owner, Braemar Partners LLC agree that the treatment works will be properly constructed and operated in accordance with the engineering plans, specifications and conditions under which approval is granted by the Department of Environmental Protection.

CS Stanfield Signature of Applicant/Owner 8/16/21 Date

Print or Type: Name and Position Cliff Stanfield, Principal

**11. CERTIFICATION BY APPLICANT/OWNER**

I certify, under penalty of law, that the information provided in this application and the attachments is true, accurate, and complete. I am aware that there are significant civil and criminal penalties for submitting false, inaccurate, or incomplete information, including fines and/or imprisonment.

CS Stanfield Signature of Applicant/Owner 8/16/21 Date

Print or Type: Name and Position Cliff Stanfield, Principal

**INSTRUCTIONS FOR COMPLETING FORM TWA - 1**

This form should accompany all Treatment Works Approval permit applications.

1. **General Information** - (items #1 through #4, #6) Complete the requested applicant and project information.
2. **Other Required Permits** (item # 5) - Please list all permits issued for the subject project (in addition to the permits being applied for at this time).
3. **Signatures** (items #7 through #11) - All signatures must comply with N.J.A.C. 7:14A-4.9 and N.J.A.C. 7:14A-22.8. Where indicated under items #1, #10 and #11, the applicant/owner should be the eventual owner of the proposed treatment works. Item #8 shall be completed by the owner of the property.

**Should you need assistance in completing the application, please call the appropriate phone number listed below:**

<p>◆ <b>Bureau of Construction &amp; Connection Permits</b>                  (609) 984-4429                  Municipal Treatment Works, Industrial                  Treatment Works, Sewer Extension, Sewer Ban                  Exemption, Subsurface Disposal Systems</p>	<p>◆ <b>Bureau of Nonpoint Pollution Control</b>                  (609) 633-7021                  Alternate Design Septic Systems                  (design flow less than 2,000 GPD)</p>
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# DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.  
55 LANE ROAD, SUITE 220, FAIRFIELD, NJ 07004  
TEL: 973.696.2600 FAX: 973.696.1362  
NJ CERTIFICATE OF AUTHORIZATION: 246A27926000

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

NO	DATE	DESCRIPTION	BY
06	10-07-2021	REV. PER BTSA COMMENTS	LMF
05	08-12-2021	REV. PER BTSA SUBMISSION	LMF
04	07-14-2021	REV. PER 100% CONSTRUCTION SET	DGR
03	02-23-2021	REV. ENGINEER OF RECORD	LMF
02	01-27-2021	REV. PER SOMERSET-UNION SCD COMPLETENESS	LMF
01	12-30-2020	REV. PER NJDEP SUBMISSION	LMF

OWNER (LOT 22):  
**RICA PROPERTIES, LLC**  
151 MOUNT BETHEL ROAD  
WARREN, NEW JERSEY 07059

OWNER (LOT 23):  
**RICA REALTY RENTAL GROUP II, LLC**  
151 MOUNT BETHEL ROAD  
WARREN, NEW JERSEY 07059

APPLICANT:  
**BRAEMAR PARTNERS**  
13140 FREEMANVILLE ROAD  
MILTON, GA 30004

DRAWING TITLE:  
**SITE LAYOUT PLAN**

PROJECT:  
**ARBOR TERRACE BASKING RIDGE**

LOCATION:  
3066-3074 VALLEY ROAD  
LOTS 22 & 23, BLOCK 8201  
TOWNSHIP OF BERNARDS  
SOMERSET COUNTY,  
NEW JERSEY, 07920

*Daniel Reeves*  
**DANIEL G. REEVES**  
PROFESSIONAL ENGINEER  
NJ LICENSE NUMBER 246E05292000

SCALE:  
30 15 0 30  
SCALE: 1"=30'

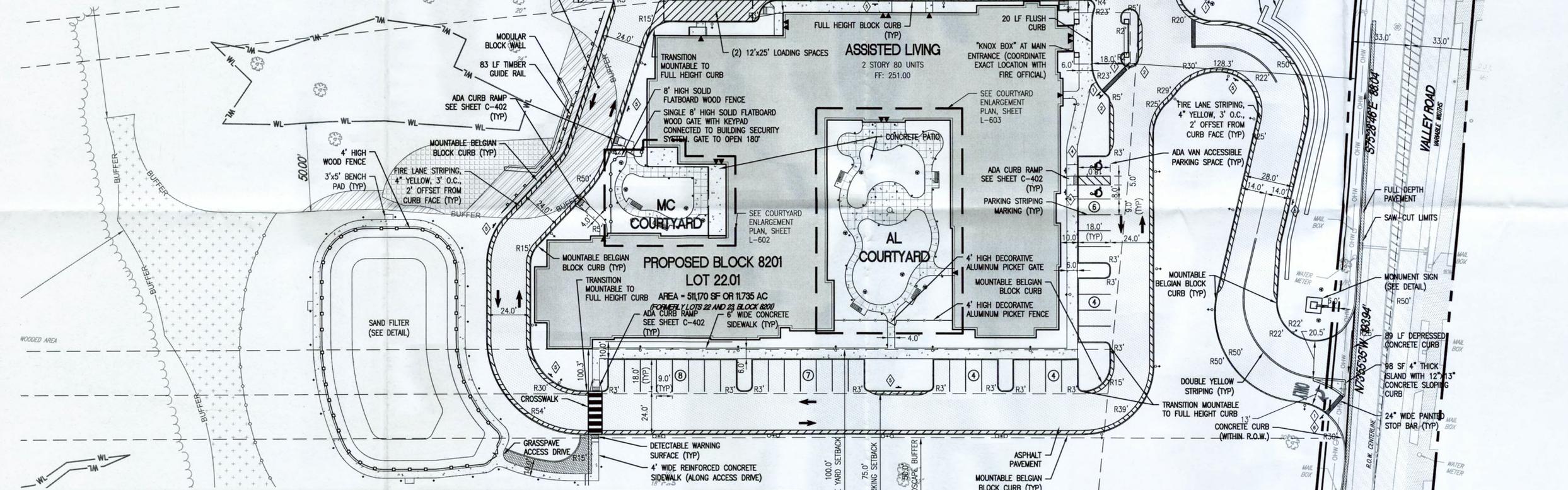
DRAWN BY: MSB CHECKED BY: DGR DRAWING NUMBER: C-301  
SCALE: 1"=30' DATE: 12-11-2020  
JOB NO: 11380-001 SHEET 02 OF 25

## SITE LEGEND

EXISTING	PROPOSED	SYMBOL
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	BUILDING
---	---	INTERIOR PARTITION
---	---	BUILDING OVERHEAD DOOR
---	---	CONCRETE CURB
---	---	DEPRESSED CURB
---	---	FLUSH CURB
---	---	CHAIN LINK FENCE
---	---	DECORATIVE FENCE
---	---	WOOD FENCE
---	---	GUIDE RAIL
---	---	BOLLARD
---	---	BOLLARD WITH LIGHT
---	---	LIGHT POLE
---	---	SIGN
---	---	SIGN SYMBOL
---	---	FULL-DEPTH PAVEMENT
---	---	SAWCUT EDGE
---	---	CONCRETE
---	---	RETAINING WALL
---	---	TREE
---	---	FRESHWATER WETLANDS
---	---	WETLANDS TRANSITION AREA

## SIGN LEGEND

MUTCD DESIGNATION	QUANTITY
R1-1; STOP	5
R5-1; DO NOT ENTER	2
N/A; VAN PARKING ONLY	1
R7-8; HANDICAPPED PARKING	2
R7-8A; VAN	2
R7-8P PENALTY SIGN	2
N/A; NO PARKING FIRE LANE	9
R3-5R; RIGHT TURN ONLY	1



### TOWNSHIP OF BERNARDS - ZONING TABLE OF BULK REQUIREMENTS

#### ASSISTED LIVING FACILITY, R-6 RESIDENTIAL ZONE

Zoning Regulation	Block 8201; Lots 22 & 23				CODE
	REQ'D/PERMITTED	EXISTING	PROPOSED	STATUS	
Conditional Uses	In the R-6 Zone Only, an Assisted Living Facility	Residential Dwellings	Assisted Living Facility	C	\$ 21-10-4 a (3,f)
The Lot or Tract on Which the Assisted Living Facility is Situated Must Front on the Count Road Known as "King George Road"	King George Road	N/A	Valley Road	V	\$ 21-12-3 m (5,b)
Min. Lot Area (Ac)	9.00	11.735	11.735	C	\$ 21-12-3 m (6,a)
Min. Lot Frontage and Width (ft)	500	440	440	V	\$ 21-12-3 m (6,b)
Max. Floor Area Ratio	15%	2%	14%	C	\$ 21-12-3 m (6,c)
Max. Impervious Coverage	20%	4%	18%	C	\$ 21-12-3 m (6,d)
Min. Setback for Buildings					\$ 21-12-3 m (6,e)
Front Yard (ft)	125	67.2	127.7	C	\$ 21-12-3 m (6,e.1,a)
Side Yard (ft)	100	29.1	100.2	C	\$ 21-12-3 m (6,e.2,a)
Rear Yard (ft)	125	735.7	>125	C	\$ 21-12-3 m (6,e.3,a)
Min. Setback for Parking					\$ 21-12-3 m (6,e)
Front Yard (ft)	125	N/A	126.3	C	\$ 21-12-3 m (6,e.1,b)
Side Yard (ft)	75	N/A	75.0	C	\$ 21-12-3 m (6,e.2,b)
Rear Yard (ft)	75	N/A	>75	C	\$ 21-12-3 m (6,e.3,b)
From Building (ft)	10	N/A	10	C	\$ 21-12-3 m (7,c)
Max. Number of Units	80	N/A	80	C	\$ 21-12-3 m (10)
Buffers in Accordance with the Requirements of \$ 21-28-2 and \$ 21-43					\$ 21-12-3 m (11)
Any Yard Abutting a Residential Zone Shall Provide a 50 ft Landscaped Buffer	50'	>50'	250'	C	\$ 21-12-3 m (11)
Min. Distance Between Accessory Buildings and Principal Buildings (ft)	10	57	N/A	C	\$ 21-12-3 m (12,b)
Lighting Requirements:					\$ 21-12-3 m (12)

Max. Height of Light Fixtures Along Driveways and Within Parking Areas (ft)	14	N/A	13	C	\$ 21-12-3 m (13,a)
Max. Height of Bollard Lighting of Any Sidewalk and Pathway (ft)	4	N/A	0.6	C	\$ 21-12-3 m (13,b)
Maximum Light Pole Spacing	Five Times Mounting Height (65')	N/A	Five Times Mounting Height (65')	C	\$ 21-41.2
Maximum Footcandles for the Average Maintained Horizontal Illumination of Vehicular Roadways for Residential Uses	0.4	N/A	1.3	V	\$ 21-41.3
Maximum Footcandles for the Average Maintained Horizontal Illumination of Sidewalks for Residential Uses	0.2	N/A	1.0	V	\$ 21-41.3
Signage Requirements:					\$ 21-12-3 m (14)
Max. Area of One Permitted Freestanding Sign Identifying Name of Development (sq ft)	24	N/A	24	C	\$ 21-12-3 m (14,a)
Max. Height of Freestanding Sign (ft)	6	N/A	6	C	\$ 21-12-3 m (14,b)
Min. Setback of Freestanding Sign From All Property and Right-of-Way Lines (ft)	5	N/A	6	C	\$ 21-12-3 m (14,c)
Max. Building Height					\$ 21-12-3 m (15)
Principal Structure (Stories)	2.5	2	2	C	\$ 21-12-3 m (15,a)
Principal Structure (ft)	35	<35	35.0	C	\$ 21-12-3 m (15,b)
Min. Loading Space (50,000 to 100,000 sq ft)	2	N/A	2	C	\$ 21-39-2.a
Min. Loading Space Size	12' x 25'	N/A	12' x 25'	C	\$ 21-39-2.b
Min. Loading Space Ht. Clearance Above Grade	12.5'	N/A	NO OBSTRUCTION	C	\$ 21-39-2.b
Additional Site Statistics:					
Building Footprint Square Footage (sq ft)	5,365		34,936		
Floor Area for Floor Area Ratio (sq ft)			69,872		
Lot Area (sq ft)	511,170		511,170		

### IMPERVIOUS COVERAGE SUMMARY

BLOCK 8201; LOTS 22 & 23	EXIST'G (SF)		PROSD (SF)		NET CHANGE (SF)
	EXTG (%)	PRSD (%)	EXTG (%)	PRSD (%)	
PERVIOUS COVERAGE	489,430	96%	418,787	82%	-70,643
IMPERVIOUS COVERAGE	21,740	4%	92,383	18%	70,643
LOT AREA (SF)	511,170				

### PARKING ANALYSIS

#### BLOCK 8201; LOTS 22 & 23

ORDINANCE	PARKING SPACE REQUIRED BREAKDOWN	TOTAL REQUIRED	EXISTING	PROPOSED	VARIANCE
\$ 21-12-3 m (7); \$ 21-4.4 Table 4.4	PROPOSED ASSISTED LIVING FACILITY PARKING REQUIREMENT: MIN. 0.5 SPACES FOR EACH UNIT TOTAL UNITS = 80 80 UNITS x 0.5 = 40 SPACES	40	N/A	42	NO
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 208.2	2 ACCESSIBLE PARKING SPACES FOR PARKING FACILITY WITH 26 TO 50 PARKING SPACES (TOTAL PARKING SPACES = 40)	2	N/A	2	NO

- NOTES:
- ALL EXISTING OR PROPOSED SIDEWALKS (INCLUDING THOSE CROSSING DRIVEWAYS), CURBING AND ADA RAMPS SHALL BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE ADA PURSUANT TO N.J.S.A. 27:17-8.
  - ALL PAVEMENT STRIPING TO BE THERMOPLASTIC.
  - DISTURBANCE SHOWN WITHIN WETLAND TRANSITION AREAS WILL REQUIRE APPROVAL OF A TRANSITION AREA AVERAGING WAIVER FROM NJDEP.
  - ACCESSIBLE ROUTES FROM THE HANDICAPPED PARKING SPACES INTO THE BUILDING SHALL COMPLY WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE. IN THE EVENT AN IMPROVEMENT DESIGNED FOR HANDICAPPED ACCESSIBILITY IS NOT SUBJECT TO THE NUCC, THE APPLICANT'S ENGINEER SHALL CERTIFY THAT THE IMPROVEMENT HAS BEEN CONSTRUCTED IN COMPLIANCE WITH ALL APPLICABLE STANDARDS AND GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT, PRIOR TO FINAL APPROVAL BY THE TOWNSHIP.

- REFERENCE:
- EXISTING CONDITIONS SHOWN BASED ON DRAWING TITLED "TOPOGRAPHIC SURVEY OF TAX LOTS 22 & 23 - BLOCK 8201, LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" CERTIFIED TO BRAEMAR PARTNERS, PREPARED BY JAMES P. DEADY SURVEYOR, LLC DATED 10/08/2020 AND LAST REVISED ON 12/01/2020.
  - WETLANDS DELINEATIONS SHOWN BASED ON FIELD WORK PERFORMED BY ENVIRONMENTAL TECHNOLOGY INC. ON 08/12/20 AND SKETCH TITLED "8-12-20/ETI DELINEATION, C-1 TO C-11" PREPARED BY ENVIRONMENTAL TECHNOLOGY INC. DATED 08/12/20.
- TURNING MOVEMENT NOTE:
- DELIVERY TRUCK TURNING MOVEMENT BASED ON SU-30 SINGLE UNIT TRUCK WITH 20.0' WHEEL BASE, 8.0' WIDTH AND 30.0' OVERALL LENGTH.



**TOWNSHIP OF BERNARDS  
COUNTY OF SOMERSET  
STATE OF NEW JERSEY**

**NOTICE OF SCHEDULED MEETINGS FOR THE 2022  
ENVIRONMENTAL COMMISSION**

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***PLEASE TAKE NOTICE that the Environmental Commission of the Township of Bernards will meet to discuss or act upon public business at 7:00 PM on each of the dates set forth below. These meetings are currently being conducted using zoom video conferencing until further notice.***

***REGULAR MEETING:***      ***January 24***  
   ***February 28***  
   ***March 28***  
   ***April 25***  
   ***May 23***  
   ***June 27***  
   ***July 25***  
   ***August 22***  
   ***September 26***  
   ***October 24***  
   ***November 28***

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***Ellen Houlihan***  
***Secretary***

***Dated: November 22, 2021***

***cc: Township Clerk***  
***Bernardsville News***  
***Courier News***

ADD'L INFO

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-030 Block: 2301 Lot: 5 Zone: R-1

Applicant: ANILA FAIZAN & FAIZAN AHMED

Address of Property: 62 WISTERIA WAY

Description: VARIANCE FOR STEEP SLOPE DISTURBANCE  
TO CONSTRUCT NEW SINGLE FAMILY  
DWELLING

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input type="checkbox"/>            | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

- 10.4.21 Original Submission Date
- 11.18.21 Completeness Deadline (45 days)
- \_\_\_\_\_ Incomplete Date
- \_\_\_\_\_ Resubmission Date
- \_\_\_\_\_ Date Complete
- 3.18.22 Time to Act (45/95/120 days)

**HEARING**

- \_\_\_\_\_ Notice to Property Owners
- \_\_\_\_\_ Date of Publication
- 12.8.21 Completeness Hearing
- 1.5.22 Public Hearing
- \_\_\_\_\_ Carried to Date
- \_\_\_\_\_ Decision - Approved/Denied
- \_\_\_\_\_ Resolution Memorialized
- \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

- 10.4.21 Environmental Comm
- \_\_\_\_\_ Fire Official
- \_\_\_\_\_ LCFAS
- \_\_\_\_\_ Police

**NOTES**

262 South Finley Ave.  
Basking Ridge  
New Jersey 07920



**Bernards Township Health Department**

T. 908.204.3070  
F. 908.204.3075  
health@bernards.org  
www.bernardshealth.org

DATE: October 29, 2021  
TO: Bernards Twp Construction Department  
FROM: Tricia Cowell, Sr. REHS  
RE: Wisteria Way  
Block 2301 Lot 5  
Bernards Township

The above referenced property had soil permeability testing done on May 14, 2021 and confirmed that the soils could support a new septic system. The Bernards Twp Health Department witnessed the soil logs.

The soil suitability classification for this property is IISr as per NJAC 7:9A.

Please contact me at (908) 204-3072 or [tcowell@bernards.org](mailto:tcowell@bernards.org) if you have any questions regarding this matter.

LOT 3

LOT 2

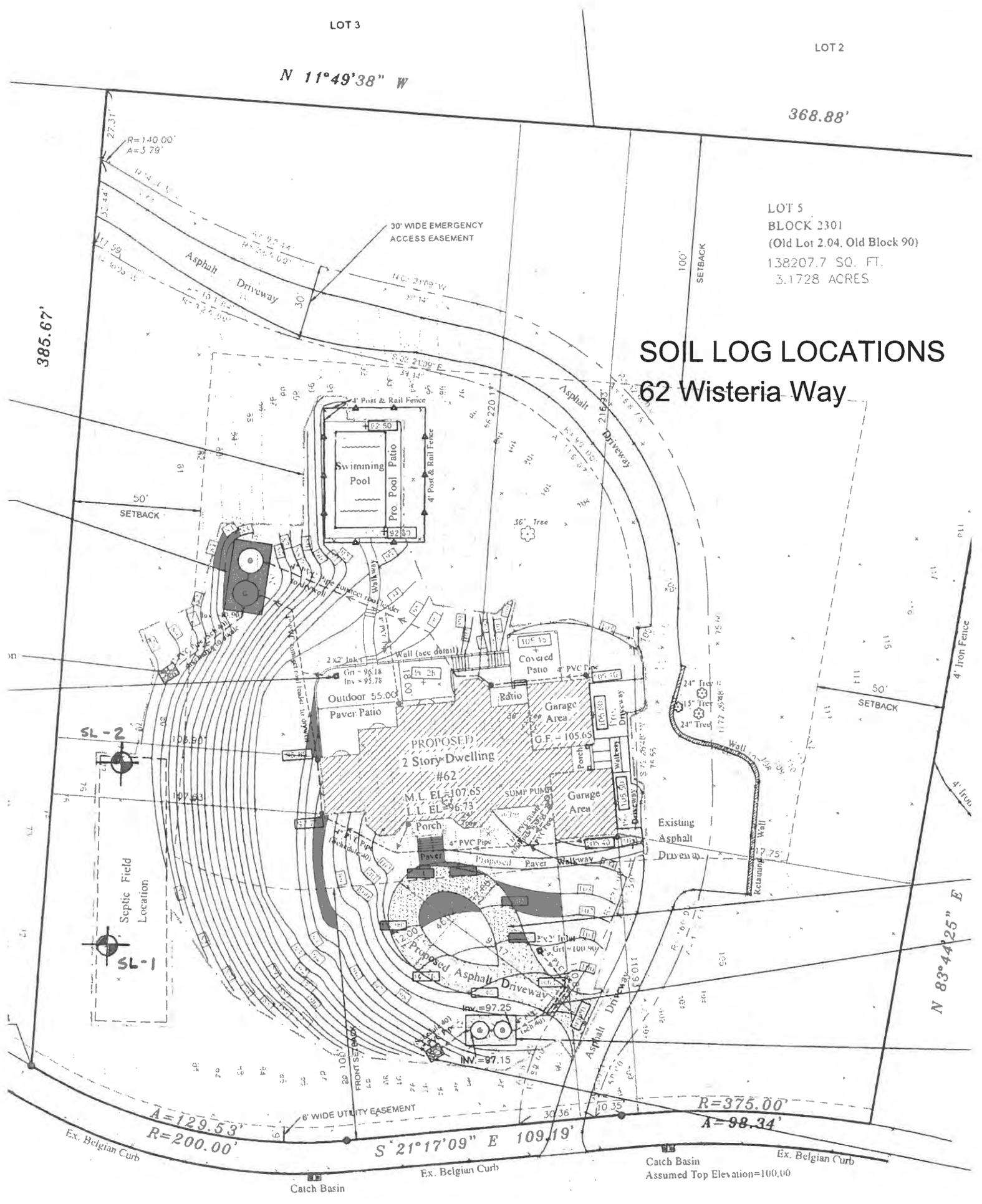
N 11°49'38" W

368.88'

LOT 5  
BLOCK 2301  
(Old Lot 2.04, Old Block 90)  
138207.7 SQ. FT.  
3.1728 ACRES

# SOIL LOG LOCATIONS 62 Wisteria Way

385.67'



SL-2

SL-1

A=129.53'  
R=200.00'

S 21°17'09" E 109.19'

R=375.00'  
A=98.34'

N 83°44'25" E

Ex. Belgian Curb

Ex. Belgian Curb

Ex. Belgian Curb

Catch Basin  
Assumed Top Elevation=100.00

Catch Basin

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-030 Block: 2301 Lot: 5 Zone: R-1

Applicant: ANILA FAIZAN & FAIZAN AHMED

Address of Property: 62 WISTERIA WAY

Description: VARIANCE FOR STEEP SLOPE DISTURBANCE  
TO CONSTRUCT NEW SINGLE FAMILY  
DWELLING

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
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| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input type="checkbox"/>            | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

10.4.21 Original Submission Date  
11.18.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
3.18.22 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
1.5.22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

10.4.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS  
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): _____ |
|--|--|

**1. APPLICANT:**   Anila Faizan & Faizan Ahmed  

Address:   11 Ridge Road, Green Brook, NJ  

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile)   732-579-7443  

Email (*will be used for official notifications*):   faizan.chairman@gmail.com  

**2. OWNER** (*if different from applicant*): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (*will be used for official notifications*): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (*will be used for official notifications*): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (*Engineer, Architect, etc. Attach additional sheet if necessary*):

Name:   Andrew Wu   Profession:   Engineer  

Address:   Formosa Engineering Inc. 168 U.S. Route 1 Edison, New Jersey 08817  

Phone:   732-632-8087   Email (*will be used for official notifications*):   awformosaeng@aol.com  

**5. PROPERTY INFORMATION:** Block(s):   2301   Lot(s):   5   Zone:   R-1  

Street Address:   62 Wisteria way, Basking Ridge   Total Area (*square feet/acres*):   138207.7 sqft/ 3.1728 acres  

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (*if yes, explain or attach Board resolution*) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (*if yes, explain*) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

No     Yes (if yes, explain) There is emergency access easement on the property

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** The property is over 3 Acres and in R-1 Zone. There is emergency access easement on the property that pass-through the middle of the property that is also contributing to the issue. This emergency access is almost never used. We want to place the house facing the street. If we do not put house facing the street it drastically impacts value of the house.

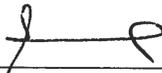
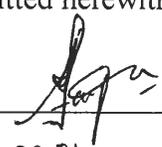
**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**  
Steep Slope ordinance section no 21-14.2

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**  
1)The house should face the street that is important for the value of the house. The emergency access easement passes through the middle of the property and forcing us to put it on the current location (that is side of easement) causing to be partially on steep slope. 2) Immediate neighbors' property located 72 wisteria way have a pool on the side. If we rotate the house, it will be facing their pool that is not desirable for obvious reasons. 3) Facing the house towards slightly northeast as proposed is sacred direction culturally and religiously for us.

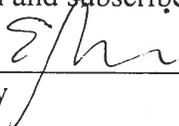
**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

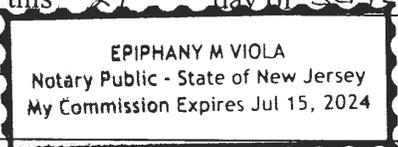
**APPLICANT(S) SIGN HERE:**

I/we, Anila Faizan and Faizan Ahmed hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):  and 

Sworn and subscribed before me, this 27<sup>th</sup> day of SEPTEMBER, 2021.

  
Notary



**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

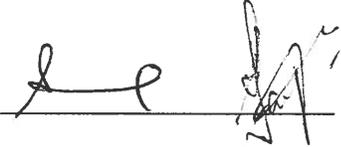
**SITE INSPECTION CONSENT FORM**

Applicant: Anila Faizan & Faizan Ahmed

Block: 2301 Lot: 5

Street Address: 62 Wisteria way, Basking Ridge

I, Anila Faizan & Faizan Ahmed, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 9/23/2021

SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED	
LOT AREA	3 acres	3.1728 acres	3.1728 acres	No Change
LOT WIDTH	250 ft.	341.32 ft.	341.32 ft.	No Change
FRONTAGE	125 ft.	337.06 ft.	337.06 ft.	No Change
FRONT YARD SETBACK	100 ft.	130.45 ft.	110.85 ft.	OK
REAR YARD SETBACK	100 ft.	160.28 ft.	216.93 ft.	OK
COMBINED SIDE YARD	100 ft.	305.28 ft.	221.65 ft.	OK
SIDE YARD	50 ft.	116.06 ft.	103.90 ft.	OK
COVERAGE	15%	9.31 %	14.95 %	OK
HEIGHT	35	<35	34'-3"	OK
<i>IF REQUIRED, GROSS FLOOR AREA</i>				
<i>IF REQUIRED, FLOOR AREA RATIO</i>				
<i>IF REQUIRED, IMPROVABLE LOT AREA</i>	25,000 ft.	12,866 ft.	20,658 ft.	

FORM 2B - SOIL LOG AND INTERPRETATION

PAGE OF

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

MUNICIPALITY: **BERNARDS TOWNSHIP**

BLOCK: **2301**

LOT: **5**

SOIL LOG NUMBER: **1**

METHOD (CHECK ONE):  PROFILE PIT

BORING

SOIL LOG:

DEPTH (INCHES)	MUNSEL COLOR NAME AND SYMBOL, ESTIMATED TEXTURAL CLASS, ESTIMATED VOLUME % COARSE
TOP TO BOTTOM	FRAGMENT, IF PRESENT, STRUCTURE, MOIST OR DRY CONSISTENCE, MOTTLING IF PRESENT.

(05/14/21)

0-6 DARK BROWN (10YR 3/3) FRIABLE, SUBANGULAR BLOCKY, ORGANIC SILT LOAM.

6-46 STRONG BROWN (7.5YR 5/6) FRIABLE, SUBANGULAR BLOCKY CLAY LOAM WITH 20% GRAVEL.

46-96 REDDISH BROWN (5YR 4/4) FRIABLE, SINGLE GRAIN LOAM WITH 20% GRAVEL, 25% COBBLES AND STONES, ROOTS TO 84".

96+ MACHINE REFUSAL.

NO GROUNDWATER - NO MOTTLING

GROUNDWATER OBSERVATIONS:

SEEPAGE - INDICATE DEPTH

PIT/BORING FLOODED - DEPTH AFTER HOURS:

SOIL LIMITING ZONES (CHECK APPROPRIATE CATEGORIES)

- FRACTURED ROCK SUBSTRATUM - DEPTH TO TOP
- MASSIVE ROCK SUBSTRATUM - DEPTH TO TOP 96
- EXCESSIVELY COARSE HORIZON - DEPTH TOP TO BOTTOM
- EXCESSIVELY COARSE SUBSTRATUM - DEPTH TO TOP
- HYDRAULICALLY RESTRICTIVE HORIZON - DEPTH TOP TO BOTTOM
- HYDRAULICALLY RESTRICTIVE SUBSTRATUM - DEPTH TO TOP
- PERCHED ZONE OF SATURATION - DEPTH TOP TO BOTTOM
- REGIONAL ZONE OF SATURATION - DEPTH TO TOP

SOIL SUITABILITY CLASSIFICATION: **IISr**

I HEREBY CERTIFY THAT THE INFORMATION FURNISHED ON FORM 2B OF THIS APPLICATION IS TRUE AND ACCURATE. I AM AWARE THAT FALSIFICATION OF DATA IS A VIOLATION OF THE WATER POLLUTION CONTROL ACT (N.J.S.A. 58:10A-1 ET SEQ.) AND IS SUBJECT TO PENALTIES AS PRESCRIBED IN N.J.A.C. 7:14-8

SIGNATURE OF SITE EVALUATOR *Steph LERC*

DATE: 05/14/21

SIGNATURE OF PROFESSIONAL *Steph LERC*

DATE: 05/14/21

N.J.P.E. NO. 36187

FORM 2B - SOIL LOG AND INTERPRETATION

PAGE OF

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

MUNICIPALITY: BERNARDS TOWNSHIP

BLOCK: 2301

LOT: 5

SOIL LOG NUMBER: 2

METHOD (CHECK ONE): x PROFILE PIT

BORING

SOIL LOG:

DEPTH (INCHES)  
TOP TO BOTTOM

MUNSEL COLOR NAME AND SYMBOL, ESTIMATED TEXTURAL CLASS, ESTIMATED VOLUME % COARSE  
FRAGMENT, IF PRESENT, STRUCTURE, MOIST OR DRY CONSISTENCE, MOTTLING IF PRESENT.

(05/14/21)

0-6 DARK BROWN (10YR 3/3) FRIABLE, SUBANGULAR BLOCKY, ORGANIC SILT LOAM.

6-30 STRONG BROWN (7.5YR 5/6) FRIABLE, SUBANGULAR BLOCKY CLAY LOAM WITH 20% GRAVEL.

30-96 REDDISH BROWN (5YR 4/4) FRIABLE, SINGLE GRAIN LOAM WITH 20% GRAVEL, 25% COBBLES AND STONES, ROOTS TO 84".

96+ MACHINE REFUSAL.

NO GROUNDWATER - NO MOTTLING

GROUNDWATER OBSERVATIONS:

SEEPAGE - INDICATE DEPTH

PIT/BORING FLOODED - DEPTH AFTER HOURS:

SOIL LIMITING ZONES (CHECK APPROPRIATE CATEGORIES)

- FRACTURED ROCK SUBSTRATUM - DEPTH TO TOP
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- HYDRAULICALLY RESTRICTIVE SUBSTRATUM - DEPTH TO TOP
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SIGNATURE OF SITE EVALUATOR *Steph EPC*

DATE: 05/14/21

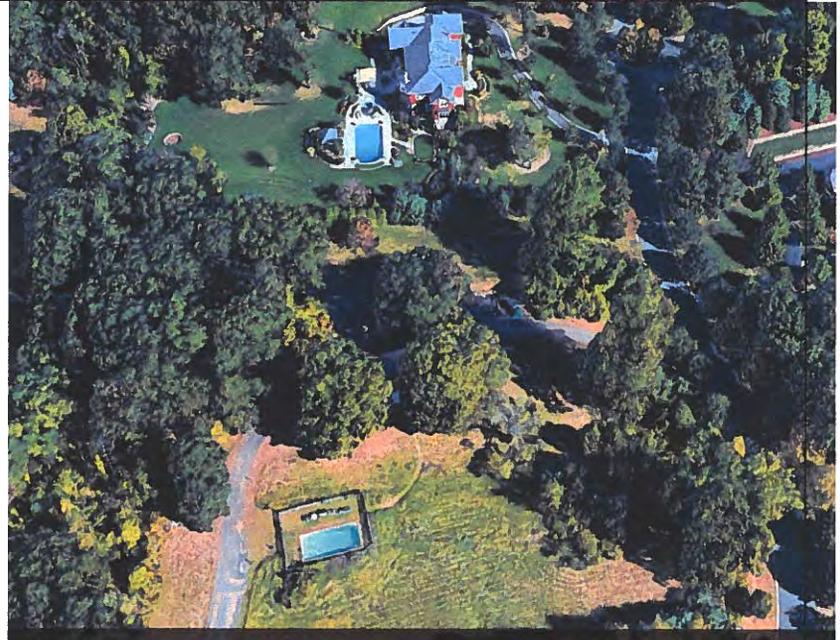
SIGNATURE OF PROFESSIONAL *Steph EPC*

DATE: 05/14/21





Pictures



**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.			
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	?		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓ N/A	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.	✓		
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		N/A	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	✓		



**LIST OF DRAWINGS**

- A1 FRONT AND REAR ELEVATIONS
- A2 SIDE ELEVATIONS
- A3 FOUNDATION PLAN
- A4 MAIN LEVEL PLAN
- A5 UPPER LEVEL PLAN
- A6 ROOF PLAN
- A7 NOTES AND PLUMBING
- A8 TYPICAL SECTION AND DETAILS
- A9 BUILDING SECTIONS AND INTERIOR ELEVATIONS

**ELECTRICAL LEGEND**

- ⊕ DUPLEX OUTLET
- ⊕ GF1 GROUND FAULT INTERRUPTING DUPLEX
- ⊕ SWITCH
- ⊕ 5-WAY, 4-WAY SWITCH
- ⊕ SURFACE MOUNTED CEILING FIXTURE
- ⊕ SURFACE MOUNTED WALL FIXTURE
- ⊕ RECESSED DOWNLIGHT
- ⊕ EXHAUST FAN WITH LIGHT
- ⊕ CEILING FAN WITH LIGHT
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR

**STANDARD SYMBOLS LEGEND**

- FRAMING DIRECTION ABOVE
- BEAM ABOVE
- ⊕ 3,200 PH (3,200 LB MIN. - FLUSH METAL HANGER)
- ⊕ DOOR
- ⊕ WINDOW
- ⊕ WOOD FRAME WALL
- ⊕ BRACED WALL PANEL SEE WALL BRACING CHART FOR ADDITIONAL INFO.
- ⊕ 4'-0" MEP
- ⊕ PORTAL FRAME SEE WALL BRACING CHART FOR ADDITIONAL INFO.
- ⊕ WALL PANEL HOLD-DOWN SEE WALL BRACING DETAILS FOR ADDITIONAL INFO.
- ⊕ BEARING WALL INTERIOR - ROOF, CEILING, AND FLOOR
- ⊕ FOUNDATION/BASEMENT WALLS
- ⊕ FOUNDATION/BASEMENT WALL MASONRY VENEER OR BEARING LEDGE

**BUILDING CHARACTERISTICS**

- NUMBER OF STORIES 2
- HEIGHT OF STRUCTURE (ABOVE MAIN LEVEL) 30'-3"
- AREA - LARGEST FLOOR 4,964 S.F.
- NEW BUILDING AREA 7,042 S.F.
- VOLUME OF NEW STRUCTURE 168,952 CU.F.
- MAX. LIVE LOAD 40 P.S.F.
- MAX. OCCUPANCY LOAD N/A

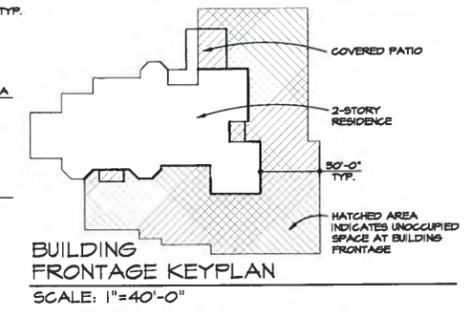
**BUILDING USE**

- USE RESIDENTIAL, 1-FAMILY
- USE GROUP R-5
- CONSTRUCT. CLASSIFICATION (PRESENT AND PROPOSED) 5-B

**LIVABLE AREA**

- MAIN LEVEL 3,708 S.F.
- UPPER LEVEL 2,878 S.F.
- TOTAL LIVABLE 6,586 S.F.
- FINISHED BASEMENT 2,771 S.F.
- GARAGE AREA 1,256 S.F.
- COVERED PORCH AREA 661 S.F.
- BALCONY AREA 224 S.F.
- BUILDING FOOTPRINT 5,625 S.F.

BUILDING FRONTAGE (INCREASE IN AREA)	PERIMETER	PERCENTAGE	BUILDING AREA
BUILDING PERIMETER	± 400'-11"		
PERIMETER W/ 30' ACCESS	± 143'-11"	46.36 %	
EXCESS FRONTAGE (± 25%)		29.36 %	
2% S.F. INCREASE PER 1% EXCESS FRONTAGE		46.12 %	+ 2,242 S.F.
BUILDING AREA LIMIT			4,800 S.F.
TOTAL ALLOWABLE			± 7,042 S.F.



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"



**REAR ELEVATION**  
SCALE 1/4"=1'-0"

REVISION	DATE	NO.
DATUM ELEVATION 0'-0" =		
<b>FRONT AND REAR ELEVATIONS</b>		
NEW RESIDENCE		
AIMED RESIDENCE		
LOT 5, BLOCK 2501		
62 MYSTERIA WAY (BERNARDS)		
BASKING RIDGE, NJ 07003		
<small>1130 Route 202 South Basking Ridge, NJ 07003-1404 Phone: (908) 757-4100 Fax: (908) 757-4654 info@archtracplus.com</small>		
<small>Rocco Campanella, RA NY Reg. No. 09178 NY Reg. No. 018833 PA Reg. No. 5-11704</small>		
<small>Marc T. Martin, RA NY Reg. No. 10913 © 2021 Architecture PLUS, pc</small>		
SCALE : AS NOTED		
DRWN BY : ER CHKD BY : KK		
DATE : 4-26-21		
PROJ. NO. : 20-115		
DWG. NO. : A1 of 9		

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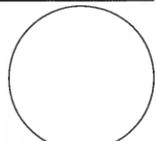


RIGHT SIDE ELEVATION  
SCALE 1/4"=1'-0"

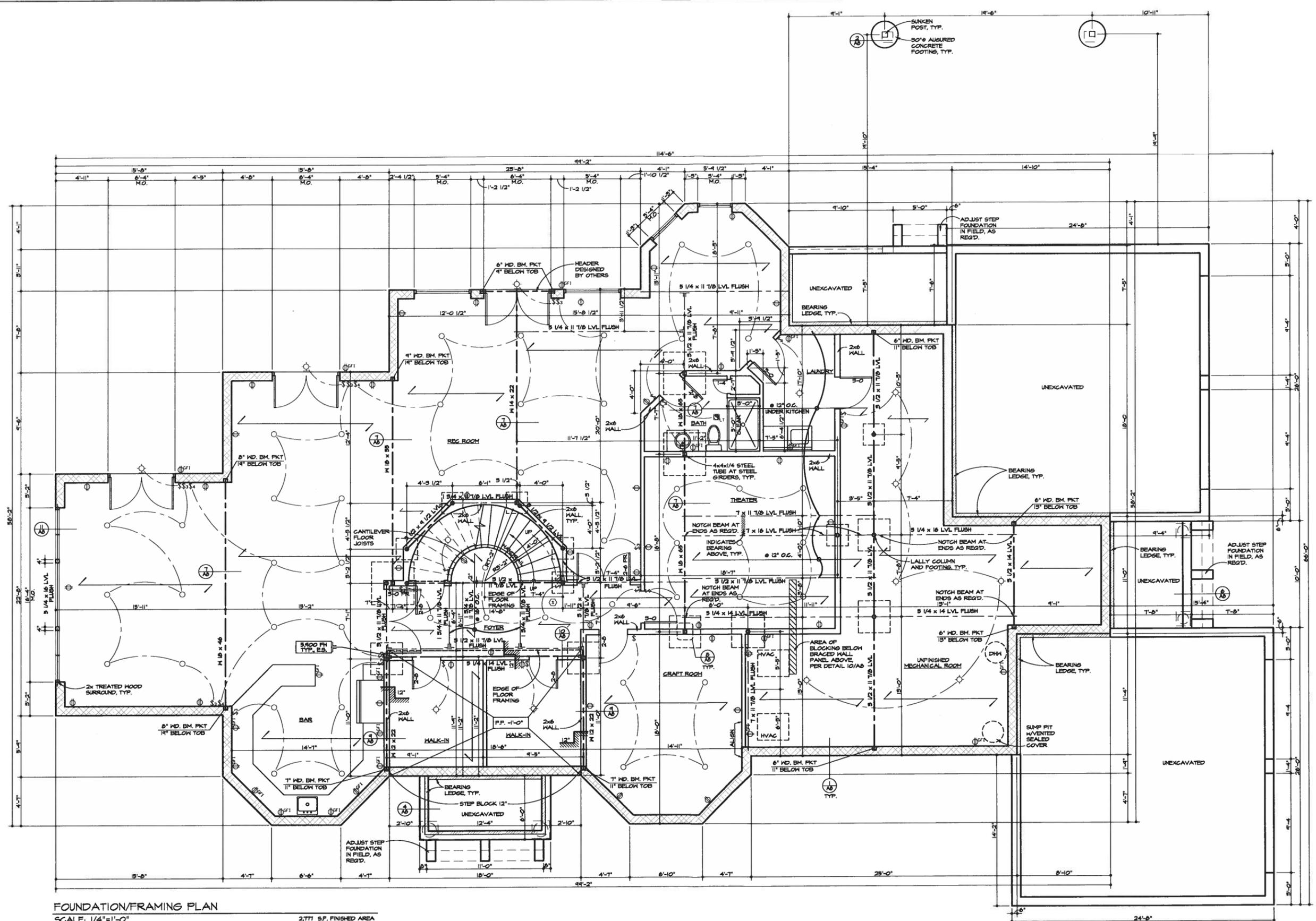
12" DIA. DECOR. COLUMN, TYP.



LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"

REVISION	DATE	NO.
DATUM ELEVATION 0'-0" ±		
SIDE ELEVATIONS		
NEW RESIDENCE		
AHMED RESIDENCE		
LOT 5, BLOCK 2501		
62 MYSTERY WAY (BERNARDS)		
BAKING RIDGE, NJ 07820		
		
<small>1130 Route 207 South Building B, Suite 3 Randall, NJ 08863-1004 Phone: (908) 707-4100 Fax: (908) 707-8446 info@architectplus.com</small>		
		
<small>Rocco Campanella, RA NJ Reg. No. 09178 NY Reg. No. 019838 PA Reg. No. S-11724 Marc T. Hutton, RA NJ Reg. No. 101919 © 2021 Architecture PLUS, PC</small>		
SCALE : AS NOTED		
DRWN BY : ER CHKD BY : KJK		
DATE : 4-26-21		
PROJ. NO. : 20-149		
DWG. NO. : A2 of 9		

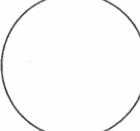
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**FOUNDATION/FRAMING PLAN**

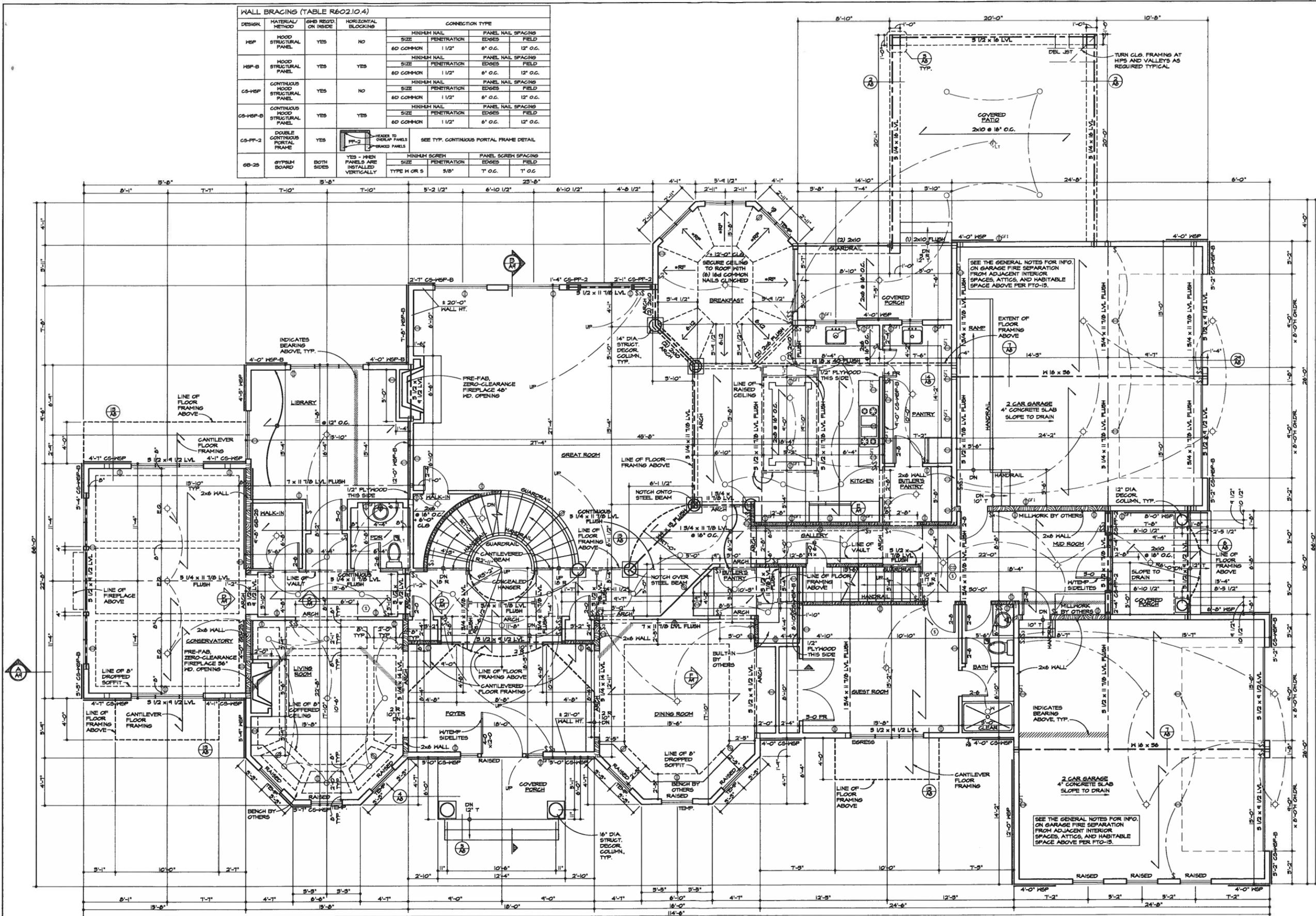
SCALE: 1/4"=1'-0" 2,771 S.F. FINISHED AREA

- NOTES:
1. TYPICAL FLOOR JOISTS ARE APA RATED 11 1/8" PFI-60 I-JOISTS @ 16" O.C., UNLESS NOTED OTHERWISE.
  2. PROVIDE DOUBLE FLOOR JOIST FLUSH HEADERS OVER ALL BASEMENT WINDOWS, UNLESS NOTED OTHERWISE.
  3. TOB = TOP OF BLOCK AT BEAM POCKETS.
  4. TYPICAL LALLY COLUMN CONCRETE FOOTING DESIGNED BY OTHERS, UNLESS NOTED OTHERWISE.
  5. LOCATE FRAMED WALLS IN LINE WITH COLUMN LINES UNLESS OTHERWISE DIMENSIONED.

REVISION	DATE	NO.
DATUM ELEVATION 0'-0"		
<b>FOUNDATION PLAN</b>		
NEW RESIDENCE		
AHMED RESIDENCE		
LOT 5, BLOCK 2501		
62 MYSTERIA WAY (BERNARDS)		
BASKING RIDGE, NJ 07020		
		
<small>1130 Route 202 South          Building B, Suite 5          Raritan, NJ 08859-1494          Phone: (908) 707-8100          Fax: (908) 707-8444          info@archplus.com</small>		
		
<small>Rocco Campanella, RA          NJ Reg. No. 09178          NY Reg. No. 019838          PA Reg. No. 511734</small>		
<small>Marc T. Maston, RA          NJ Reg. No. 10919          © 2021 Architecture PLUS, PC</small>		
SCALE	AS NOTED	
DRWN BY	ER	CHKD BY: KK
DATE	4-26-21	
PROJ. NO.	20-145	
DWG. NO.	A3 of 9	

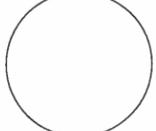
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WALL BRACING (TABLE R602.10.4)						
DESIGN	MATERIAL/METHOD	GWB REQ'D ON INSIDE	HORIZONTAL BLOCKING	CONNECTION TYPE		
				MINIMUM NAIL SIZE	PENETRATION	PANEL NAIL SPACING
HSP	WOOD STRUCTURAL PANEL	YES	NO	6D COMMON	1 1/2"	6" O.C. / 12" O.C.
HSP-B	WOOD STRUCTURAL PANEL	YES	YES	6D COMMON	1 1/2"	6" O.C. / 12" O.C.
CS-HSP	CONTINUOUS WOOD STRUCTURAL PANEL	YES	NO	6D COMMON	1 1/2"	6" O.C. / 12" O.C.
CS-HSP-B	CONTINUOUS WOOD STRUCTURAL PANEL	YES	YES	6D COMMON	1 1/2"	6" O.C. / 12" O.C.
CS-PP-2	DOUBLE CONTINUOUS PORTAL FRAME	YES	SEE TYP. PORTAL FRAME DETAIL	SEE TYP. CONTINUOUS PORTAL FRAME DETAIL		
GS-2S	GYPSON BOARD	BOTH SIDES	YES - WHEN PANELS ARE INSTALLED VERTICALLY	MINIMUM SCREW SIZE	PENETRATION	PANEL SCREW SPACING
				TYPE M OR S	5/8"	7" O.C. / 1" O.C.



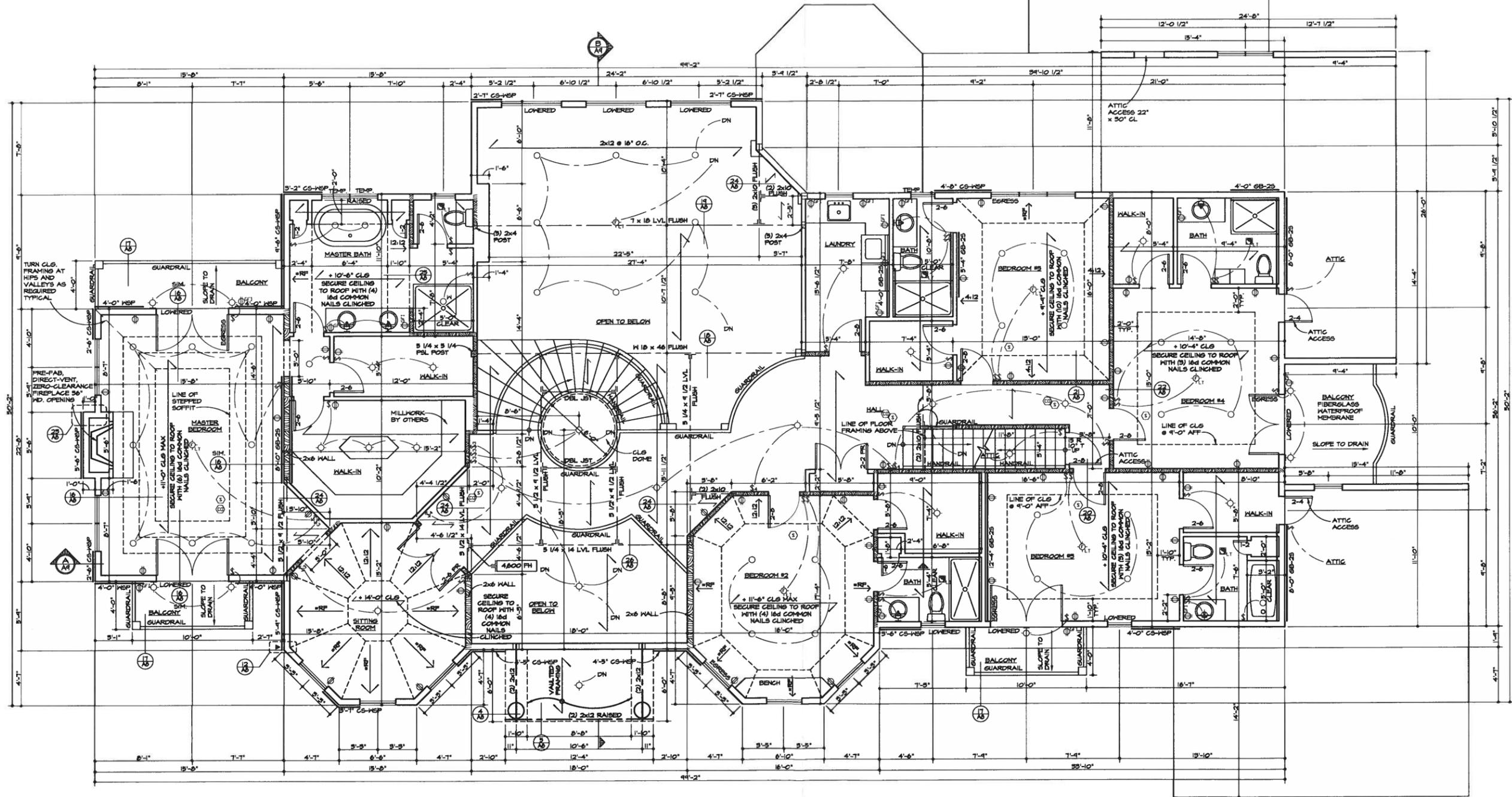
**MAIN LEVEL PLAN**  
 SCALE: 1/4"=1'-0"  
 3,708 SF.

NOTES:  
 1. TYPICAL FLOOR JOISTS ARE APA RATED 11 7/8" PRI-40 I-JOISTS @ 16" O.C., UNLESS NOTED OTHERWISE.

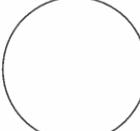
REVISION	DATE	NO.
DATE/ELEVATION 0'-0"		
<b>MAIN LEVEL PLAN</b>		
NEW RESIDENCE AHMED RESIDENCE		
LOT 5, BLOCK 2501 62 METERIA WAY (BERNARDS) BASKING RIDGE, NJ 07005		
 <b>Architecture PLUS</b>		
		
Rocco Campanella, RA		NJ Reg. No. 08178
Marc T. Maston, RA		NJ Reg. No. 019838
© 2021 Architecture PLUS, pc		PA Reg. No. S-11734
SCALE: AS NOTED		
DRWN BY: ER		CHKD BY: KK
DATE: 4-26-21		
PROJ. NO.: 20-145		
DWG. NO.: A4		9

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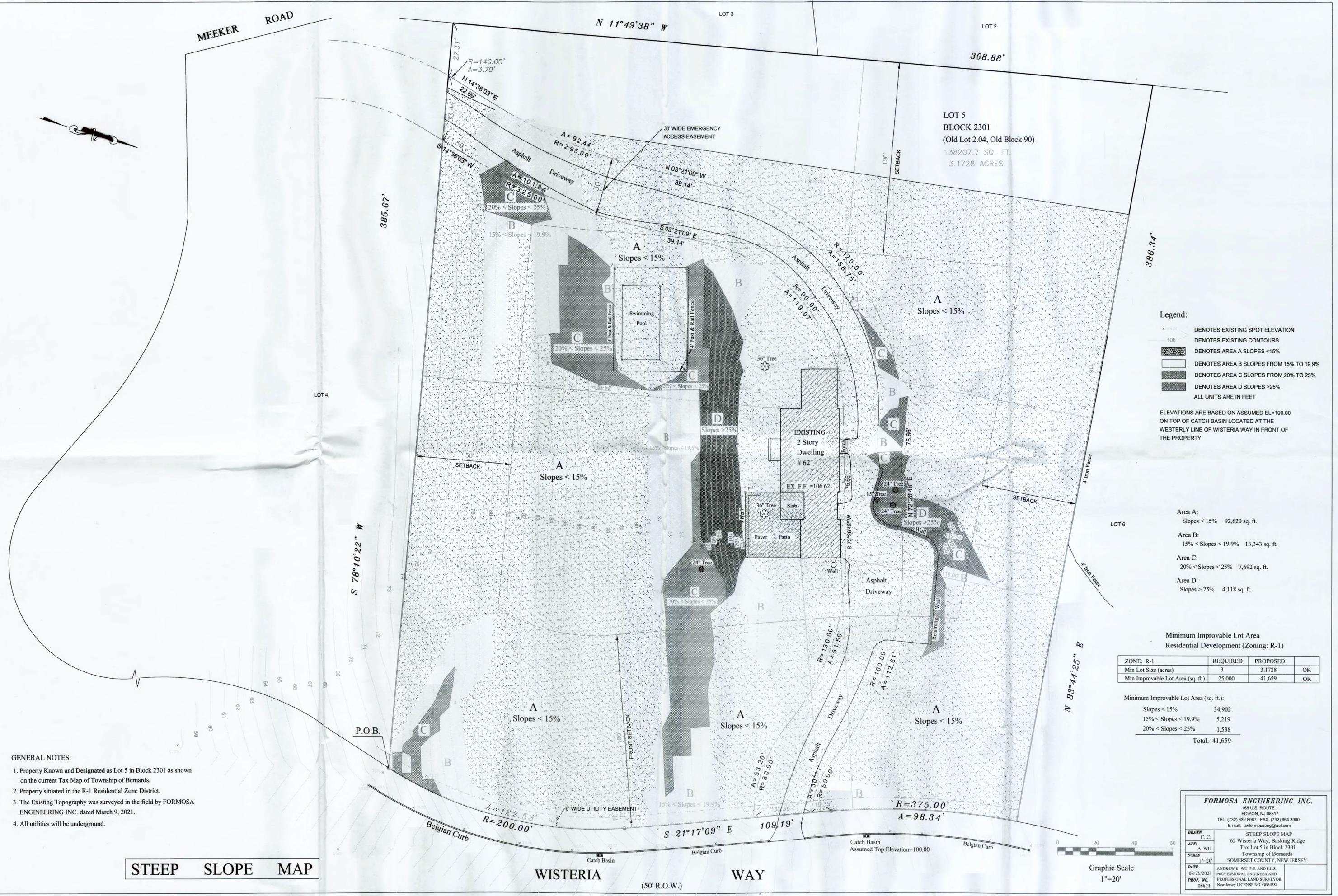
WALL BRACING (TABLE R602.10.4)					
DESIGN	MATERIAL/METHOD	GWB REQ'D. ON INSIDE	HORIZONTAL BLOCKING	CONNECTION TYPE	
				MINIMUM NAIL SIZE	PANEL NAIL SPACING
WSP	WOOD STRUCTURAL PANEL	YES	NO	MINIMUM NAIL SIZE	PANEL NAIL SPACING
				6D COMMON	1 1/2" EDGES 6" O.C. FIELD
CS-WSP	CONTINUOUS WOOD STRUCTURAL PANEL	YES	NO	MINIMUM NAIL SIZE	PANEL NAIL SPACING
				6D COMMON	1 1/2" EDGES 6" O.C. FIELD
GB-25	GYPSUM BOARD	BOTH SIDES	YES - WHEN PANELS ARE INSTALLED VERTICALLY	MINIMUM SCREW SIZE	PANEL SCREW SPACING
				TYPE N OR 5	5/8" EDGES 1" O.C. FIELD



**UPPER LEVEL PLAN**  
 SCALE: 1/4" = 1'-0"  
 2876 S.F.  
 NOTES:  
 1. TYPICAL CEILING JOISTS ARE 2 x 10 @ 16" O.C., UNLESS NOTED OTHERWISE.

REVISION	DATE	NO.
DATUM ELEVATION 0'-0"		
<b>UPPER LEVEL PLAN</b>		
NEW RESIDENCE <b>ARMED RESIDENCE</b> LOT 5, BLOCK 2301 62 MISTERA WAY (BERNARDS) BASKING RIDGE, NJ 07020		
 <b>Architecture PLUS</b>		
		
<small>1130 Route 202 South        Building B, Suite 5        Basking Ridge, NJ 07025-1034        Phone: (908) 707-4100        Fax: (908) 707-4644        info@archplus.com</small>		
<small>Rocco Campanella, RA        NJ Reg. No. 09178        Marc T. Mason, RA        NJ Reg. No. 01838        PA Reg. No. 5-11734        NJ Reg. No. 10919        © 2021 Architecture PLUS, pc</small>		
SCALE : AS NOTED		
DRWN BY : ER    CKD BY : KC		
DATE : 4-26-21		
PROJ. NO. : 20-145		
DWG. NO. : <b>A5</b> of 9		

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**Legend:**

- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES AREA A SLOPES < 15%
- DENOTES AREA B SLOPES FROM 15% TO 19.9%
- DENOTES AREA C SLOPES FROM 20% TO 25%
- DENOTES AREA D SLOPES > 25%
- ALL UNITS ARE IN FEET

ELEVATIONS ARE BASED ON ASSUMED EL=100.00 ON TOP OF CATCH BASIN LOCATED AT THE WESTERLY LINE OF WISTERIA WAY IN FRONT OF THE PROPERTY

Area A:  
Slopes < 15% 92,620 sq. ft.

Area B:  
15% < Slopes < 19.9% 13,343 sq. ft.

Area C:  
20% < Slopes < 25% 7,692 sq. ft.

Area D:  
Slopes > 25% 4,118 sq. ft.

Minimum Improvable Lot Area  
Residential Development (Zoning: R-1)

ZONE: R-1	REQUIRED	PROPOSED	
Min Lot Size (acres)	3	3.1728	OK
Min Improvable Lot Area (sq. ft.)	25,000	41,659	OK

Minimum Improvable Lot Area (sq. ft.):

Slopes < 15%	34,902
15% < Slopes < 19.9%	5,219
20% < Slopes < 25%	1,538
<b>Total:</b>	<b>41,659</b>

- GENERAL NOTES:**
- Property Known and Designated as Lot 5 in Block 2301 as shown on the current Tax Map of Township of Bernards.
  - Property situated in the R-1 Residential Zone District.
  - The Existing Topography was surveyed in the field by FORMOSA ENGINEERING INC. dated March 9, 2021.
  - All utilities will be underground.

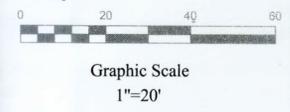
**STEEP SLOPE MAP**

**FORMOSA ENGINEERING INC.**  
188 U.S. ROUTE 1  
EDISON, NJ 08817  
TEL: (732) 632 8087 FAX: (732) 964 3900  
E-mail: awformosaeng@aol.com

**DRAWN:** C.C.  
**APP:** A.W.U.  
**SCALE:** 1"=20'  
**DATE:** 08/25/2021  
**PROJ. NO.:** 08821

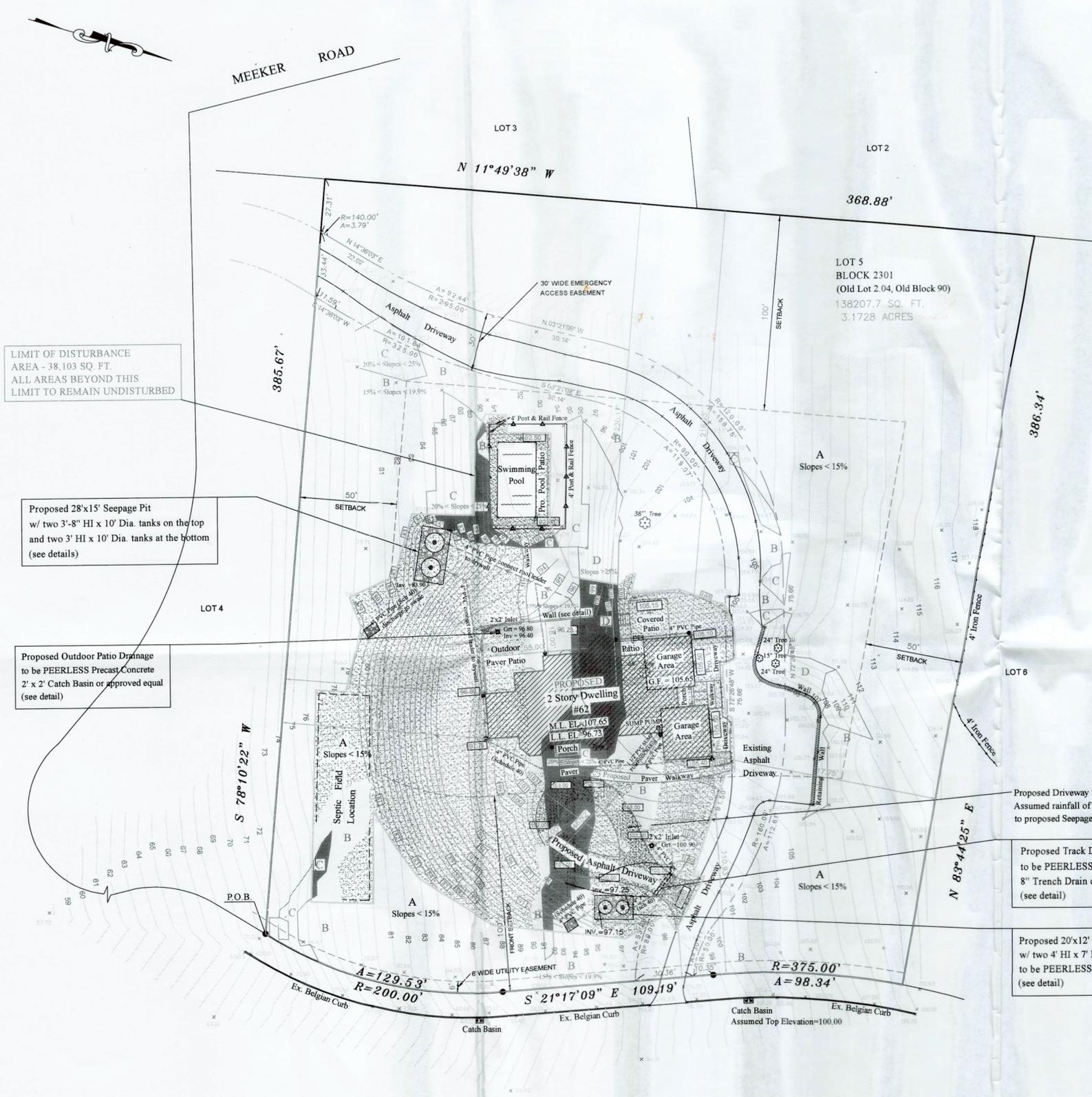
**STEPPED SLOPE MAP**  
62 Wisteria Way, Basking Ridge  
Tax Lot 5 in Block 2301  
Township of Bernards  
SOMERSET COUNTY, NEW JERSEY

ANDREW K. WU P.E. AND P.L.S.  
PROFESSIONAL ENGINEER AND  
PROFESSIONAL LAND SURVEYOR  
New Jersey LICENSE NO. GB34581



**WISTERIA WAY** (50' R.O.W.)





LIMIT OF DISTURBANCE AREA - 38,103 SQ. FT. ALL AREAS BEYOND THIS LIMIT TO REMAIN UNDISTURBED

Proposed 28'x15' Seepage Pit w/ two 3'-8" HI x 10' Dia. tanks on the top and two 3' HI x 10' Dia. tanks at the bottom (see details)

Proposed Outdoor Patio Drainage to be PEERLESS Precast Concrete 2' x 2' Catch Basin or approved equal (see detail)

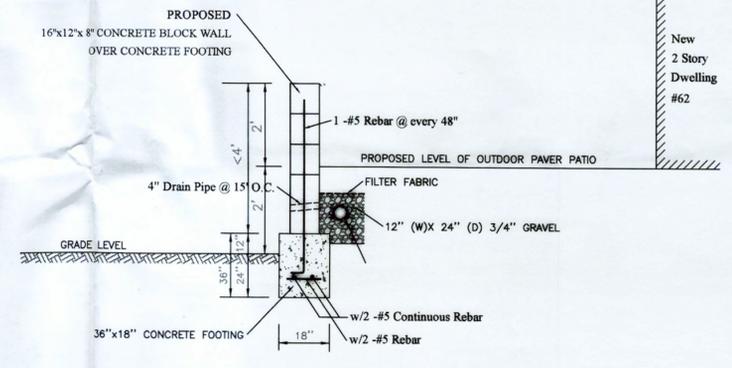
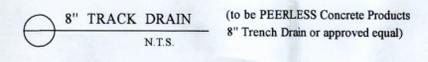
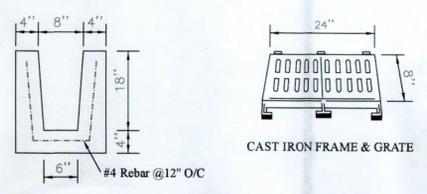
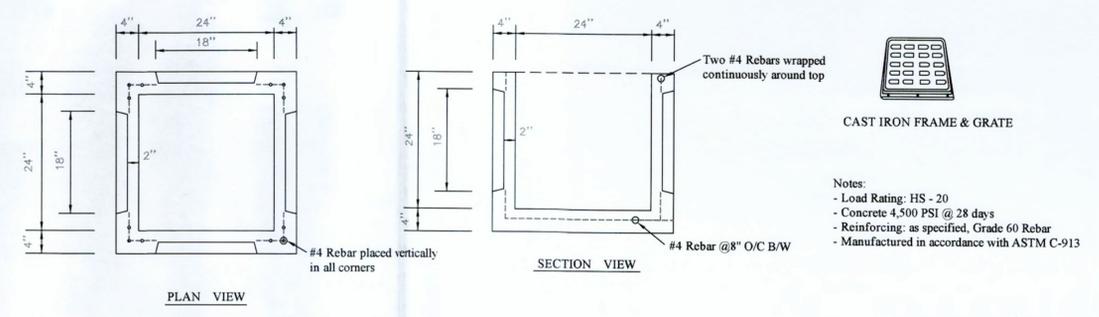
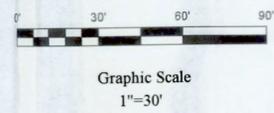
Proposed Driveway 2144 sq. ft. Assumed rainfall of this area will be directed to proposed Seepage Pit

Proposed Track Drain to be PEERLESS Concrete Products 8" Trench Drain or approved equal (see detail)

Proposed 20'x12' Seepage Pit w/ two 4' HI x 7' Dia. tanks to be PEERLESS Concrete Product (see detail)

- NOTES:**
- Property Known and Designated as Lot 5 in Block 2301 as shown on the current Tax Map of Township of Bernards.
  - Property situated in the R-1 Residential Zone District.
  - The proposed grading as shown on this Plot and Grading Plan, can tie into existing topographic contours on adjoining lots without an adverse grading or drainage impact.
  - Soil log and permeability test results report will be attached separately. The land condition is consistent and these tests are valid for the drywell.
  - All utilities will be underground.
  - No right of way improvements are proposed at this time.

**Proposed Plot and Grading Plan**



**STEEP SLOPE ON THE LOT AREA:**

- Area A: Slopes < 15% 92,620 sq. ft.
- Area B: 15% < Slopes < 19.9% 13,343 sq. ft.
- Area C: 20% < Slopes < 25% 7,692 sq. ft.
- Area D: Slopes > 25% 4,118 sq. ft.

**STEEP SLOPE IN DISTURBANCE AREA:**

- A - Slopes < 15% 27,571 sq. ft.  
% of disturbance of the total area of this slope on the lot: 27571 / 92620 = 29.77%
- B - 15% < Slopes < 19.9% 4,663 sq. ft.  
% of disturbance of the total area of this slope on the lot: 4663 / 13343 = 34.95%
- C - 20% < Slopes < 25% 3,557 sq. ft.  
% of disturbance of the total area of this slope on the lot: 3557 / 7692 = 46.24%
- D - Slopes > 25% 1,560 sq. ft.  
% of disturbance of the total area of this slope on the lot: 1560 / 4118 = 37.88%

**Legend:**

- x 106.50 DENOTES EXISTING SPOT ELEVATION
- 102 DENOTES EXISTING CONTOURS
- 102.1 DENOTES PROPOSED CONTOURS
- +105.50 DENOTES PROPOSED SPOT ELEVATION
- Area A DENOTES AREA A SLOPES <15%
- Area B DENOTES AREA B SLOPES FROM 15% TO 19.9%
- Area C DENOTES AREA C SLOPES FROM 20% TO 25%
- Area D DENOTES AREA D SLOPES >25%

ALL UNITS ARE IN FEET

ELEVATIONS ARE BASED ON ASSUMED EL=100.00 ON TOP OF CATCH BASIN LOCATED AT THE WESTERLY LINE OF WISTERIA WAY IN FRONT OF THE PROPERTY

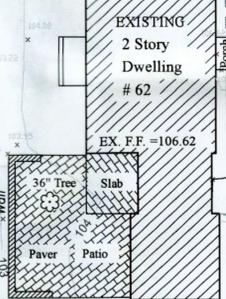
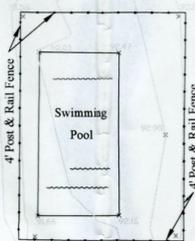
Rev. 1	08/25/2021	Per review comments from Bernards Township through email dated 07/27/2021
<b>FORMOSA ENGINEERING INC.</b>		
188 U.S. ROUTE 1 EDISON, NJ 08817 TEL: (732) 632 8087 FAX: (732) 964 3900 E-mail: <a href="mailto:awformosaeng@aol.com">awformosaeng@aol.com</a>		
<b>DRAWN</b>	C. C.	PLOT and GRADING PLAN
<b>APP.</b>	A. WU	62 Wisteria Way, Basking Ridge Tax Lot 5 in Block 2301 Township of Bernards
<b>SCALE</b>	1"=30'	SOMERSET COUNTY, NEW JERSEY
<b>DATE</b>	05/26/2021	ANDREW K. WU P.E. AND P.L.S.
<b>PROJ. NO.</b>	08821	PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR New Jersey LICENSE NO. GB34581

MEEKER ROAD

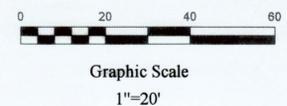
N 11°49'38" W

368.88'

LOT 5  
BLOCK 2301  
(Old Lot 2.04, Old Block 90)  
138207.7 SQ. FT.  
3.1728 ACRES



**Legend:**  
x 106.62 DENOTES EXISTING SPOT ELEVATION  
106 DENOTES EXISTING CONTOURS  
ALL UNITS ARE IN FEET  
ELEVATIONS ARE BASED ON ASSUMED EL=100.00 ON TOP OF CATCH BASIN LOCATED AT THE WESTERLY LINE OF WISTERIA WAY IN FRONT OF THE PROPERTY



- GENERAL NOTES:**
1. Property Known and Designated as Lot 5 in Block 2301 as shown on the current Tax Map of Township of Bernards.
  2. Property situated in the R-1 Residential Zone District.
  3. The Existing Topography was surveyed in the field by FORMOSA ENGINEERING INC. dated March 9, 2021.
  4. All utilities will be underground.

**References:**  
Deed: Book 5176 Page 3339-3346  
Tax map: Lot 5 in Block 2301, Township of Bernards, Somerset County, New Jersey  
File map: Being known as Lot 2.04 in Block 90 shown on "Final Plat, Pheasant Cross, Block 90 Lots 2 & 3, Township of Bernards, Block 101 Lot 4, Borough of Bernardsville, County of Somerset, State of New Jersey" and filed in the Somerset County Clerk's Office on July 10, 2002 in Book 5173 Page 1204

Existing Plot Plan

WISTERIA WAY (50' R.O.W.)

**FORMOSA ENGINEERING INC.**  
168 U.S. ROUTE 1  
EDISON, NJ 08817  
TEL: (732) 632 8087 FAX: (732) 964 3900  
E-mail: awformosaeng@aol.com

<b>DRAWN</b> C. C.	<b>TOPOGRAPHY SURVEY PLAN</b>
<b>APP.</b> A. WU	62 Wisteria Way, Basking Ridge Tax Lot 5 in Block 2301
<b>SCALE</b> 1"=20'	Township of Bernards SOMERSET COUNTY, NEW JERSEY
<b>DATE</b> 05/26/2021	ANDREW K. WU, P.E. AND P.L.S. PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR
<b>PROD. NO.</b> 08821	New Jersey LICENSE NO. GB34581

EG

ADDITIONAL MAT'LS

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-031 Block: 1801 Lot: 1 Zone: B-1

Applicant: FINLEY REAL ESTATE LLC

Address of Property: 55 SOUTH FINLEY AVENUE

Description: PRELIM/FINAL SITE PLAN / "C" VARIANCES  
TO MAKE TEMPORARY OUTSIDE DINING AREA'S  
ASSOCIATED STRUCTURES PERMANENT

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input checked="" type="checkbox"/> | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input type="checkbox"/>            | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input type="checkbox"/>            | Imaging Fee                |
| <input checked="" type="checkbox"/> | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

10/1/21 Original Submission Date  
11/15/21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
3:3:22\* Time to Act (45/95/120 days)  
 \*FROM 11/3/21

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
11/3/21 Completeness Hearing  
1/5/22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

10/4/21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

# PARKING STUDY

*For*

**Washington House**

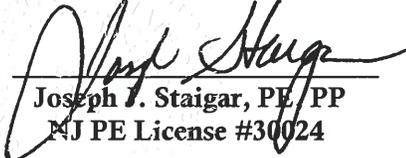
*Property Located at:*

**55 South Finley Avenue  
Block 1801 – Lot 1  
Township of Bernards, Somerset County, NJ**

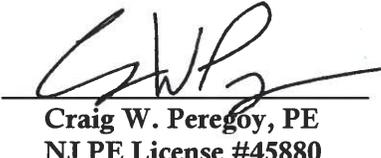
Prepared by:



1904 Main Street | 245 Main Street, Suite #110  
Lake Como, NJ 07719 | Chester, NJ 07930  
(732) 681-0760



Joseph J. Staigar, PE, PP  
NJ PE License #30024



Craig W. Peregoy, PE  
NJ PE License #45880

October 28, 2021

2023-99-001TE

## INTRODUCTION

Finley Real Estate, LLC is the owner of the property located at the northwest corner of the intersection of South Finley Avenue and Henry Street in the Township of Bernards, Somerset County, New Jersey, otherwise known as Block 1801 – Lot 1. The property is located within the B-1 – Village Business Zone. The property is currently developed with a 2.5 story building containing the 4,937 SF Washington House restaurant on the first floor and 3,171 SF of office on the upper floors. Parking is accommodated by an on-site parking lot at the rear of the building containing 23 parking spaces and an auxiliary parking lot owned by the Applicant that is located at the southeast corner of Henry Street and Rankin Avenue which contains 36 spaces. Thus, the total off-street parking provided is 59 spaces.

In August 2017, the Bernards Township Planning Board approved an increase in restaurant seating to 174 seats (150 indoor and 24 outdoor) and the reduction of off-street parking spaces provided from 60 to 59 in the two lots owned by the Applicant. However, the parking lot at the rear of the building is currently occupied by a temporary dining tent which was constructed to provide outdoor dining services while indoor dining restrictions were in place due to the COVID-19 pandemic.

It is proposed to make the dining tent permanent, which effectively eliminates the 23 on-site parking spaces at the rear of the restaurant and reduces the off-street parking to the 36 spaces available in the auxiliary lot. The proposed permanent dining tent is 5,208 SF and contains 164 seats. It is also proposed to provide 12 additional seats on the existing bluestone patio at the rear of the building. Thus, the total restaurant area will be increased to 10,145 SF and the total seating capacity will be increased to 350 seats (The Project).

Dynamic Traffic, LLC has been retained to prepare this study to assess the parking impact associated with the implementation of the site improvements and the requested parking variance. This study documents the methodology, analyses, findings and conclusions of our study and includes:

- A field inspection was conducted to obtain an inventory of conditions that effect parking at the site; e.g., tenant vacancies, inaccessible spaces, etc. and general layout.
- Existing parking data was collected via parking counts during the Friday and Saturday evening peak periods within the vicinity of the site to determine the peak availability of vacant parking spaces in the vicinity of the site.
- The parking layout and supply was compared to accepted design standards and local zoning codes.

**PARKING DEMAND**

A review of the existing conditions near the site was conducted to provide the basis for assessing the parking impact of the development.

**Local Ordinance Requirements**

The Township of Bernards sets forth a parking requirement of 1 parking space per 50 square feet or 1 parking space per 3 seats for restaurant uses, whichever is greater, and 4 parking spaces per 1,000 square feet for office uses. With 10,145 square feet of restaurant space and 3,171 square feet of office space, the total parking requirement is 216 parking spaces. Alternatively using 350 proposed seats for the restaurant and 3,171 square feet of office space, 130 parking spaces would be required. These calculations are exemplified below:

**Table I  
Parking Requirements**

Land Use	Variable	Required Spaces		Increase
		Current	Proposed	
Office	SF	13	13	0
Restaurant	SF	99	203	104
Restaurant	Seats	58	117	59
<b>Total</b>	<b>SF</b>	<b>112</b>	<b>216</b>	<b>104</b>
	<b>Seats</b>	<b>71</b>	<b>130</b>	<b>59</b>

**Existing On-Site & On-Street Parking Demand**

Parking counts were conducted on Friday, September 17, 2021 and on Saturday September 18, 2021 from 6:30 – 8:30 PM within the auxiliary parking lot and on-street within a one block distance of the Washington House restaurant. The on-site parking consists of the 36-space auxiliary parking lot located on Block 1802, Lot 2 (SE corner of West Henry Street and Rankin Avenue). Review of the collected data reveals that an average of 15 spaces in the auxiliary lot and 68 spaces on-street are available for a total of 83 vacant spaces. The full parking counts are located in the Technical Appendix.

These specific count times were selected to coincide with the peak business activity of the Washington House and the expected peak parking demands of the existing use. It should also be noted that no adjustments were made in association with the COVID-19 pandemic. A comparison of current and pre-pandemic transaction data provided by the Applicant indicates that the customer demand has met and even surpassed that of pre-pandemic levels. As such, it is the opinion of this office that the as-counted 2021 parking accumulation data accurately represents true conditions. The aforementioned transaction data is contained within the Technical Appendix.

### ITE Parking Demand

In order to better establish the actual parking demand by the proposed increase in seating, reference is made to empirical parking demand data as presented by the Institute of Transportation Engineers (ITE) within their publication *Parking Generation, 5<sup>th</sup> Edition*. This publication establishes peak parking demands for multiple land uses based upon different independent variables, such as GFA and employees. The following Table II shows the projected parking demand using ITE.

**Table II**  
**ITE Average Parking Demand**

Land Use	ITE Demand	Projected Demand
	Average	
LUC 931 – 350 Seat Quality Restaurant	0.47/seat	165
LUC 712 – 3,171 SF of Office	2.56/1,000 SF	8
<b>Total ITE Parking Demand</b>		<b>173</b>

It should be noted that these projections are conservative in that;

1. They were developed assuming no drop in occupancy/usage of the interior dining areas during those times when the alternative to dine outside (al fresco) rather than inside would be the diner's choice, if the weather conditions are comfortable. For the most part, the customer base remains the same and indoor seating is swapped for outdoor seating, resulting in no appreciable increase in total occupancy.
2. The separate office and restaurant uses will generate parking demands that do not peak coincidentally and during the same time period. The office space peaks during late morning or early afternoon (typically 10:00 -11:00 AM and 2:00 – 3:00 PM, respectively, and outside of the typical lunch-time period) when the restaurant will have little to no parking demand. Conversely, the restaurant peaks during the later evening time period when the office space will have little to no parking demand. In reality, the site will not require a maximum of 173 parking spaces based on the ITE rates since both uses will not peak at the same time.

A more realistic projection for the actual parking demand of the restaurant is one that is based on the ITE average peak parking demand. This projects a demand of 165 parking spaces for the proposed restaurant as opposed to the calculation made by Ordinance of 203 spaces.

Therefore, with a peak demand of 165 parking spaces and a supply of 36 parking spaces within the auxiliary lot, there is an overage of 129 parking spaces that would be generated by the proposed restaurant with 350 seats. Further, based on ITE parking rates and the proposed increase of 176 seats (from the existing 174 seats to the proposed 350 seats), the increase in parking demand is calculated to be 176 seats x 0.47 spaces per seat = 83 spaces, whereas there is an average of 83 vacant spaces within the auxiliary lot and on-street, as determined by the parking surveys.

It is important to note that these projections are based on the very unlikely assumption that all 350 inside and outside seats are occupied. In reality, diners choose outdoor seating in lieu of indoor seating during periods of comfortable weather; leaving indoor seating vacant and vice versa. Furthermore, the number of occupied/serviceable seats is also limited by kitchen capacity.

Based on transaction data provided by the Applicant from April 2, 2021 – September 18, 2021, the restaurant served a maximum of 332 customers over a 4-hour dinner period which averages to 83 customers or occupied seats per hour. During this time period, only the 164 outdoor seats were available to patrons which means the maximum seating occupancy was 51% (83 occupied/164 total seats = 0.51). If this ratio is applied to the proposed total of 350 seats, this translates a maximum of 179 occupied seats. Based on ITE parking rates and the projected increase of 96 occupied seats (from the existing 83 seats to the proposed 179 seats), the increase in parking demand is calculated to be 96 seats x 0.47 spaces per seat = 45 spaces.

## FINDINGS & CONCLUSIONS

### **Findings**

Based upon the detailed analyses as documented herein, the following findings are noted:

The office use and restaurant use will not have coincidental peak periods, thus the parking demand of each use can be looked at separately. Further, in order to prepare a conservative assessment of a worst case scenario, the ITE trip generation projections were utilized for the total 350 proposed seats. The ITE average parking demand projects 165 parking spaces for the 350 seat restaurant as proposed, which is an increase of 83 parking spaces when compared to the existing parking demand based on 174 seats. Furthermore, based on actual operational data it is projected that there will be an increase of 96 occupied seats, which translates to an increase of 45 parking spaces based on the ITE parking rates. The parking counts show an average of 83 available parking spaces at or in close vicinity of the site<sup>1</sup>, which is sufficient to accommodate the projected demand. During the restaurant off-peak periods, the office use will conservatively require 8 parking spaces when the restaurant generates none or minimal parking demand, which can be accommodated within the auxiliary lot during the time periods.

### **Conclusions**

The site as proposed will provide adequate parking to support the projected demand of the proposed restaurant and office use. Based upon our Parking Study as detailed in the body of this report, it is the professional opinion of Dynamic Traffic, LLC that the adjacent parking lot will not experience any significant degradation in operating conditions with the construction of The Project.

---

<sup>1</sup> Parking surveys were conducted a distance of only one (1) block distance from the site. Additional on-street parking availability was observed further south on South Finley Avenue and not included in the surveys.

## **Technical Appendix**



Location: 55 S Finley Ave  
Bernards, NJ





Location: 55 South Finley Avenue

Date: Friday 9/17/2021

Municipality: Bernards

Job #: 2023-99-001TE

State: NJ

# of Vacant Parking Spaces								
Start Time	Location*							Total Vacant Spaces
	A	B	C	D	E	F	G	
6:30 PM	5	14	9	12	9	18	6	73
6:45 PM	5	21	8	12	7	18	9	80
7:00 PM	5	20	8	12	6	18	9	78
7:15 PM	5	14	8	13	8	18	15	81
7:30 PM	6	14	9	12	7	19	16	83
7:45 PM	6	14	8	13	5	19	16	81
8:00 PM	6	7	8	12	5	19	17	74
8:15 PM	6	9	8	13	6	19	17	78

\*See Map for Count Locations



Location: 55 South Finley Avenue

Date: Saturday 9/18/2021

Municipality: Bernards

Job #: 2023-99-001TE

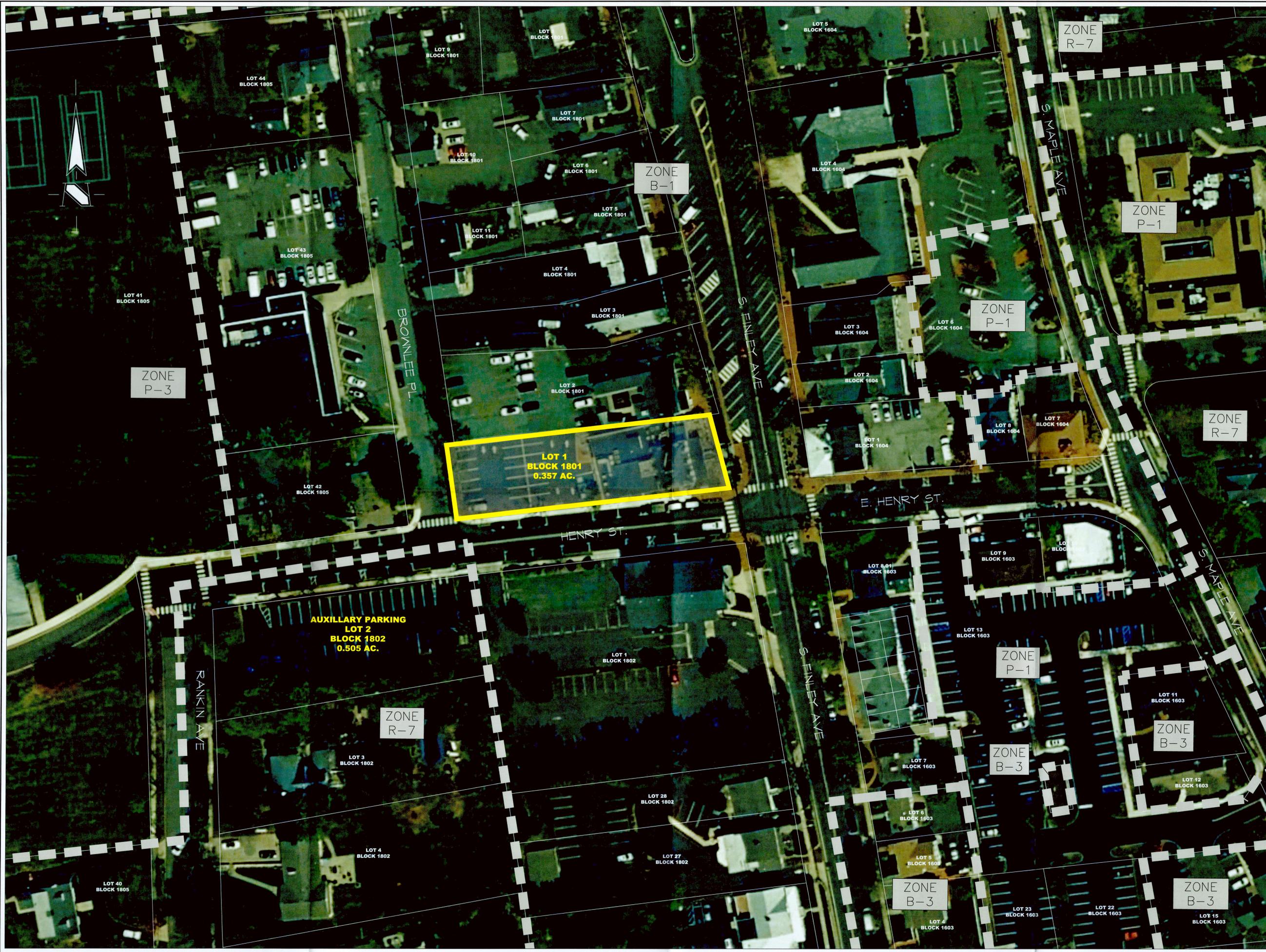
State: NJ

<b># of Vacant Parking Spaces</b>								
<b>Start Time</b>	<b>Location*</b>							<b>Total Vacant Spaces</b>
	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>	<b>G</b>	
<b>6:30 PM</b>	6	15	14	14	7	18	17	<b>91</b>
<b>6:45 PM</b>	5	16	12	14	5	19	15	<b>86</b>
<b>7:00 PM</b>	6	14	12	14	7	19	15	<b>87</b>
<b>7:15 PM</b>	6	15	12	14	6	17	14	<b>84</b>
<b>7:30 PM</b>	6	9	11	14	10	18	18	<b>86</b>
<b>7:45 PM</b>	6	11	12	14	7	18	21	<b>89</b>
<b>8:00 PM</b>	6	13	13	14	5	18	19	<b>88</b>
<b>8:15 PM</b>	6	13	13	14	6	18	20	<b>90</b>

\*See Map for Count Locations

Washington House Cover Data (as per Breadcrumb POS System) Date Range: 5/6/2016 - 10/21/2016 (Fridays Only) 1 Cover = 1 Person					Washington House Cover Data (as per Breadcrumb POS System) Date Range: 5/7/2016 - 10/22/2016 (Saturdays Only) 1 Cover = 1 Person				
DATE	DAY	Lunch Covers	Dinner Covers	Total Covers	DATE	DAY	Lunch Covers	Dinner Covers	Total Covers
5/6/2016	Friday	64	186	250					
5/13/2016	Friday	41	161	202	5/7/2016	Saturday	86	219	305
5/20/2016	Friday	36	114	150	5/14/2016	Saturday	84	196	280
5/27/2016	Friday	37	119	156	5/21/2016	Saturday	139	235	374
6/3/2016	Friday	42	164	206	5/28/2016	Saturday	46	99	145
6/10/2016	Friday	92	144	236	6/4/2016	Saturday	41	149	190
6/17/2016	Friday	86	175	261	6/11/2016	Saturday	76	178	254
6/24/2016	Friday	76	112	188	6/18/2016	Saturday	65	137	202
7/1/2016	Friday	26	97	123	6/25/2016	Saturday	67	188	255
7/8/2016	Friday	35	128	163	7/2/2016	Saturday	28	73	101
7/15/2016	Friday	38	123	161	7/9/2016	Saturday	61	120	181
7/22/2016	Friday	42	121	163	7/16/2016	Saturday	30	115	145
7/29/2016	Friday	26	106	132	7/23/2016	Saturday	117	156	273
8/5/2016	Friday	34	112	146	7/30/2016	Saturday	20	58	78
8/12/2016	Friday	48	94	142	8/6/2016	Saturday	30	78	108
8/19/2016	Friday	35	159	194	8/13/2016	Saturday	54	125	179
8/26/2016	Friday	44	104	148	8/20/2016	Saturday	58	118	176
9/2/2016	Friday	45	101	146	8/27/2016	Saturday	17	134	151
9/9/2016	Friday	53	151	204	9/10/2016	Saturday	52	164	216
9/16/2016	Friday	57	138	195	9/17/2016	Saturday	102	187	289
9/23/2016	Friday	41	199	240	9/24/2016	Saturday	53	188	241
9/30/2016	Friday	49	136	185	10/1/2016	Saturday	31	150	181
10/7/2016	Friday	55	170	225	10/8/2016	Saturday	51	162	213
10/14/2016	Friday	57	199	256	10/15/2016	Saturday	63	143	206
10/21/2016	Friday	119	172	291	10/22/2016	Saturday	53	181	234
	Avg	51	139			Avg	59	148	
	Max	119	199			Max	139	235	
	Min	26	94			Min	17	58	
	Median	44	136			Median	54	150	

Washington House Cover Data (as per Breadcrumb POS System) Date Range: 4/2/2021 - 9/17/2021 (Fridays Only) 1 Cover = 1 Person					Washington House Cover Data (as per Breadcrumb POS System) Date Range: 4/3/2021 - 9/18/2021 (Saturdays Only) 1 Cover = 1 Person				
DATE	DAY	Lunch Covers	Dinner Covers	Total Covers	DATE	DAY	Lunch Covers	Dinner Covers	Total Covers
4/2/2021	Friday	105	172	277	4/3/2021	Saturday	202	192	394
4/9/2021	Friday	122	200	322	4/10/2021	Saturday	149	246	395
4/16/2021	Friday	121	186	307	4/17/2021	Saturday	228	246	474
4/23/2021	Friday	98	251	349	4/24/2021	Saturday	97	269	366
4/30/2021	Friday	127	246	373	5/1/2021	Saturday	176	299	475
5/7/2021	Friday	148	301	449	5/8/2021	Saturday	236	290	526
5/14/2021	Friday	132	235	367	5/15/2021	Saturday	194	325	519
5/21/2021	Friday	108	289	397	5/22/2021	Saturday	167	258	425
5/28/2021	Friday	143	201	344	5/29/2021	Saturday	76	237	313
6/4/2021	Friday	134	284	418	6/5/2021	Saturday	135	299	434
6/11/2021	Friday	159	219	378	6/12/2021	Saturday	176	332	508
6/18/2021	Friday	220	320	540	6/19/2021	Saturday	117	240	357
6/25/2021	Friday	120	235	355	6/26/2021	Saturday	122	187	309
7/2/2021	Friday	118	267	385	7/3/2021	Saturday	142	188	330
7/9/2021	Friday	101	274	375	7/10/2021	Saturday	195	202	397
7/16/2021	Friday	79	205	284	7/17/2021	Saturday	106	228	334
7/23/2021	Friday	133	243	376	7/24/2021	Saturday	97	277	374
7/30/2021	Friday	98	262	360	7/31/2021	Saturday	90	286	376
8/6/2021	Friday	116	239	355	8/7/2021	Saturday	64	218	282
8/13/2021	Friday	64	207	271	8/14/2021	Saturday	103	266	369
8/20/2021	Friday	123	246	369	8/21/2021	Saturday	123	257	380
8/27/2021	Friday	111	194	305	8/28/2021	Saturday	152	287	439
9/3/2021	Friday	130	264	394	9/4/2021	Saturday	117	243	360
9/10/2021	Friday	106	315	421	9/11/2021	Saturday	160	289	449
9/17/2021	Friday	123	198	321	9/18/2021	Saturday	157	284	441
	Avg	122	242			Avg	143	258	
	Max	220	320			Max	236	332	
	Min	64	172			Min	64	187	
	Median	121	243			Median	142	258	



REVISIONS		
NO.	DATE	DESCRIPTION



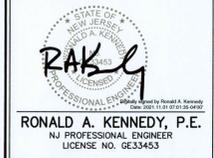
**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
 T: (908) 234-0309  
 F: (908) 719-3320

NJ Certificate of Authorization  
 No. 24GA2803400

Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Harris, P.L.S.  
 Robert C. Morris  
 Robert C. Moschello, P.E.



**PROJECT**

**WASHINGTON HOUSE**

LOT 1 BLOCK 1801

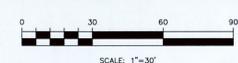
BERNARDS TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

**SHEET TITLE**

PRELIMINARY AND FINAL  
 MAJOR SITE PLAN

**AERIAL EXHIBIT**

DATE	OCTOBER 29, 2021
SCALE	1" = 30'
DRAWN	EMF
CHKD.	CRF
JOB NO.	1108-01
SHEET NO.	1 OF 1



EC

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-031 Block: 1801 Lot: 1 Zone: B-1

Applicant: FINLEY REAL ESTATE LLC

Address of Property: 55 SOUTH FINLEY AVENUE

Description: PRELIM/FINAL SITE PLAN / "C" VARIANCES  
TO MAKE TEMPORARY OUTSIDE DINING AREAS  
ASSOCIATED STRUCTURES PERMANENT

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input checked="" type="checkbox"/> | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input type="checkbox"/>            | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input type="checkbox"/>            | Imaging Fee                |
| <input checked="" type="checkbox"/> | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

10/1/21 Original Submission Date  
11/15/21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
3:3:22\* Time to Act (45/95/120 days)  
 \*FROM 11/3/21

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
11/3/21 Completeness Hearing  
1/5/22 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

10/4/21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS  
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input checked="" type="checkbox"/> Site Plan - Preliminary / Final          | <input type="checkbox"/> Other (specify): _____                  |

**1. APPLICANT:** Finley Real Estate, LLC

Address: PO Box 411, Basking Ridge, NJ 07920

Phone: (home) 973-425-1228 (work) \_\_\_\_\_ (mobile) \_\_\_\_\_

Email (will be used for official notifications): mads@scandicbuilders.com

**2. OWNER (if different from applicant):** Not applicable.

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** David Burton Brady, Esq.

Address: Brady & Correale, LLP, PO Box 2136, Morristown, NJ 07962

Phone: 973-267-3500 Email (will be used for official notifications): lawman.brady@gmail.com

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**

Name: Ronald A. Kennedy, P.E. Profession: Engineer

Address: Gladstone Design, Inc., 256 Main Street, Box 400, Gladstone, NJ 07934

Phone: 908-234-0309 Email (will be used for official notifications): rkennedy@gladstonedesign.com

**5. PROPERTY INFORMATION:** Block(s): 1801 Lot(s): 1 Zone: B-1

Street Address: 55 South Finely Avenue Total Area (square feet/acres): 15,548 to ROW

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (if yes, explain or attach Board resolution) See attached Project Report.

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

[ ] No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

See attached Project Report.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):** \_\_\_\_\_

See attached Project Report.

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

See attached Project Report.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Mads Jepsen on behalf of Finley Real Estate, LLC and \_\_\_\_\_ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and \_\_\_\_\_

Sworn and subscribed before me, this 30 day of September, 2021.

[Signature]  
Notary  
Attorney at Law State of New Jersey

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: Finley Real Estate, LLC

Block: 1801 Lot: 1

Street Address: 55 South Finely Avenue

I, Mads Jepsen, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:

  
\_\_\_\_\_  
Mads Jepsen, on behalf of  
Finley Real Estate, LLC

Date: 9/29/2021

**SUBMIT ORIGINAL + 2 COPIES**  
**For Corporations, LLC, LLP ONLY**

**STATEMENT OF OWNERSHIP**

Corporate or Partnership  
Name of Applicant Finley Real Estate, LLC

Address 55 South Finley Avenue, Basking Ridge, New Jersey 07920

The following is a list of all shareholders and/or partners owning beneficially or having registered in their names not less than ten percent (10%) of the stock of the corporation or interest in a partnership involved in an application hereinabove referred to:

Name Jepsen Family, LLC

Name \_\_\_\_\_

Address: 55 South Finley Avenue

Address: \_\_\_\_\_

Basking Ridge, NJ 07920

\_\_\_\_\_

Name \_\_\_\_\_

Name \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Name \_\_\_\_\_

Name \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Name \_\_\_\_\_

Name \_\_\_\_\_

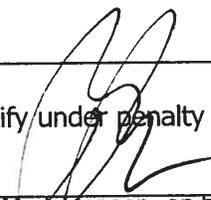
Address: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

I hereby certify under penalty of perjury that the foregoing is true:

Signature:   
Mads Jepsen, on behalf of  
Finley Real Estate, LLC

Date: 9/29/2021

SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000	15,548 to ROW	15,548 to ROW
LOT WIDTH	50	66	66
FRONTAGE	50	372	372
FRONT YARD SETBACK	10	11.2	11.2
REAR YARD SETBACK	10	127.9	3.2
COMBINED SIDE YARD			
SIDE YARD	10	0	0
COVERAGE	75%	93% to ROW	93% to ROW
HEIGHT	35	43.25	43.25
<i>IF REQUIRED,</i> GROSS FLOOR AREA		81.08	13,316
<i>IF REQUIRED,</i> FLOOR AREA RATIO	25%	52.1%	85.6%
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA			

**SUBMIT ORIGINAL + 2 COPIES**  
**Not for "Bulk" or "C" variances**

**FORM G**

**TOWNSHIP OF BERNARDS**  
**PLANNING BOARD/ZONING BOARD OF ADJUSTMENT**  
**CONTRIBUTION DISCLOSURE STATEMENT**

**Contribution Disclosure Statement Required.** Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

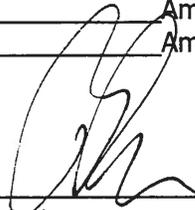
Applicant: Finley Real Estate, LLC Application: \_\_\_\_\_

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

I made no contributions.

I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature:   
Name: Mads Jepsen  
Title: Member  
Firm: Finley Real Estate, LLC  
Address: 55 South Finely Avenue  
Basking Ridge, NJ 07920

Date: 9/29/2021

**SUBMIT ORIGINAL + 2 COPIES**  
**Not for "Bulk" or "C" variances**

**FORM G**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD/ZONING BOARD OF ADJUSTMENT  
CONTRIBUTION DISCLOSURE STATEMENT**

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Applicant: Finley Real Estate, LLC Application: \_\_\_\_\_

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

I made no contributions.

I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: *Ronald A. Kennedy* Date: 9/29/2021  
Name: Ronald A. Kennedy, P.E.  
Title: President  
Firm: Gladstone Design, Inc.  
Address: 265 Main Street, PO Box 400  
Gladstone, NJ 07934

**APPENDIX B. ARTICLE III**

**Checklist**

**Application for Preliminary Approval of a Major Subdivision or Site Plan (See Article VII for Details)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist(s). If the application involves a wireless telecommunications tower and/or antennas, all items listed on the Wireless Telecommunications Facilities Checklist must be also be submitted.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	Title block indicating:	X		
	a. Name of development and street location.	X		
	b. Name and address of applicant, owner and authorized agent, if any.	X		
	c. Name and address of professional(s) preparing plans including signature, date, license number and seal.	X		
	d. Tax map block and lot numbers.	X		
	e. Date of plan preparation and revision box with date of each revision.	X		
	f. Development application number.	X		
	g. Written and graphic scale.	X		
6	Signature of applicant and, if applicant is not owner, signed consent of the owner.	X		
7	Name and address of the attorney representing parties, if any, and the name of each client represented.	X		
8	Signature blocks as required by the Map Filing Law.		X	
9	North arrow giving reference meridian.	X		
10	Copies of any protective covenants or deed restrictions applying to the subject property, including a statement as to whether such covenants or deeds are of record. A copy or abstract of the deed or deeds or other instruments by which title is derived with the names of all owners must also be provided.	X		
11	A key map showing the entire tract and its relation to the surrounding areas, including all roads, zone boundaries and municipal boundaries within one-half (1/2) mile of the subject property at a scale of one (1) inch equals not more than two thousand (2,000) feet.	X		
12	A zoning schedule indicating the zone(s) within which the property is located and required, existing & proposed conditions relative to lot area, width, frontage, yard setbacks, lot coverage, height, floor area, floor area ratio, density, open space, parking, loading, signs, etc.	X		
13	A list of required and obtained regulatory approvals and permits.	X		
14	A list of requested variances and exceptions.	X		
15	The location and dimensions of existing & proposed property lines, existing streets, streets shown on the Township's official map or master plan, structures (indicating the use of each structure and whether existing structures will remain or be removed), building setbacks, rights-of-way, easements, parking & loading areas, driveways, railroads, bridges, culverts, drain pipes, gas transmission lines, overhead utilities, historic sites/structures, wooded areas, watercourses, flood plains, wetlands or other environmentally sensitive areas on and within 200' of the subject property.	X		
16	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to § 21-14.1.a.			X

No.	Item	Submitted	Not Applicable	Waiver Requested
17	Plans & profiles of proposed utility layouts, including water supply, sewage disposal, stormwater drainage, gas, telephone and electricity, showing feasible connections to existing or proposed systems. Plans for individual on-site water supply and/or sewage disposal systems shall be accompanied by the necessary local, county and/or state agency approvals. If service will be provided by an existing utility company, a letter from that company stating that service will be available before occupancy is required.		X	
18	The locations of percolation tests on each existing/proposed lot and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if sewage disposal is to be handled by individual septic system(s). For each lot, the applicant shall submit test locations and written approvals from the Health Department for both a primary and secondary septic disposal field. The applicant must show on the development plan the locations and dimensions of both septic disposal fields.		X	
19	All means of vehicular and pedestrian access to the site from public streets, including locations and dimensions of driveways and curbs and any traffic signs, signals, channelization, acceleration and deceleration lanes or other traffic control devices.	X		
20	Site identification sign and street sign locations and details.			X
21	Existing & proposed topographic contour intervals based on U.S.C. & G.S. datum on and within 200' of the subject property as follows: - up to 3% grade = 1' intervals                      - over 3% grade = 2' intervals	X		
22	A steep slope map in accordance with § 21-14.2.b, if the property contains any existing slopes of 15% or greater.		X	
23	Spot and finished elevations at all property corners.	X		
24	A landscaping plan showing shade trees, screening, buffering, existing vegetation and limits of clearing, a planting schedule, details of plantings, landscape treatments and other amenities, etc. (see § 21-54.4 for detailed requirements).			X
25	A tree identification plan and an application for tree removal permit including the following (see § 21-45.3 for detailed requirements):	X		
	a. Location of existing tree canopy and labeling of the canopy areas to be removed and to be preserved.	X		
	b. Location of individual trees with a DBH equal to or greater than six inches identified by size and species within the limit of disturbance and 30 feet beyond the limit of disturbance, labeled to be removed or to be preserved.	X		
	c. Location of individual trees with a DBH equal to or greater than ten inches identified by size and species within the property boundaries, labeled to be removed or to be preserved.	X		
	d. Tree protection details.		X	
	e. A list of all trees to be removed and, if replacement trees are required, a schedule in accordance with the table in § 21-45.1 indicating the number of replacement trees required and the number of replacement trees proposed.		X	
26	A lighting plan in accordance with Section 21-41, including the location, type, height, graphic details and specifications of all existing & proposed lighting. The plan shall show the proposed illumination in footcandle values throughout the site and shall identify the average maintained horizontal illumination in vehicular areas and in sidewalk areas.			X
27	A soil erosion and sediment control plan, if required pursuant to Section 21-27.		X	
28	A solid waste management plan and a recycling plan, including locations and details of outdoor refuse and recycling storage areas and means of screening, in accordance with Sections 21-40 and 21-40A.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
29	Plans and profiles of proposed driveways.		X	
30	Plans, typical cross-sections, centerline profiles, tentative grades, curb radii and details of all streets on the site or off the site which are proposed to be improved, including curbing, sidewalks and drainage structures.		X	
31	Construction details in accordance with Township standards.		X	
32	Existing & proposed easements or land reserved for or dedicated to public use, utility use or for the common use of property owners in the development, including a statement of the limits and purpose of the easement rights or dedicated land.		X	
33	Existing & proposed sight triangles.		X	
34	Development staging plans.		X	
35	Existing & proposed block and lot numbers.	X		
36	The area in square feet and to the nearest tenth of an acre of all existing and proposed lots.	X		
37	A sketch of the proposed or possible layout or disposition of remaining lands, if any.		X	
38	General soil information including soil logs.			X
39	Source and date of the current property survey and a copy of the survey showing all existing tract boundary or lot lines with lengths of courses to hundredths of a foot and bearings to half minutes, the error of closure not to exceed one (1) to ten thousand (10,000). The tract boundary or lot lines shall be clearly delineated. All bearings shall be in the New Jersey Plane Coordinate System, with coordinates shown on at least three (3) corners.	X		
40	Appropriate certification blocks as required by the Map Filing Law		X	
41	Monumentation as specified by the Map Filing Law.		X	
42	Metes and bounds description showing dimensions, bearings, curve data, length of tangents, radii, arcs, chords and central angles for all centerlines and rights-of-way and centerline curves on streets.	X		
43	Plans and computations for any storm drainage systems, including locations, details and specifications of all storm sewer lines, catch basins, inlets, manholes, culverts, headwalls, dry wells, ground water recharge basins, detention basins, etc. and existing and proposed drainage area maps.		X	
44	When a stream is proposed for alteration, improvement or relocation or when a drainage structure or fill is proposed over, under, in or along a running stream, intermittent stream, swale or drainageway, evidence of approval or of the request for approval, required modifications or lack of jurisdiction over the improvement by the New Jersey Department of Environmental Protection shall accompany the application (see § 21-54.4 for additional required details).		X	
45	When ditches, streams or watercourses are to be altered, improved or relocated, the method of stabilizing slopes and measures to control erosion and siltation, as well as typical ditch sections and profiles, shall be shown.		X	
46	For a site plan, preliminary elevations and plans of all buildings and structures, showing windows, doors, architectural treatment, roof treatment, roof appurtenances and screening, floor elevations and proposed methods of energy conservation and the locations, dimension and legend(s) of all proposed signs. For a subdivision, the approximate basement and first floor elevation for each house.			X (partial)
47	A list of names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class or at least 10% of the interest in the partnership, as the case may be.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
48	A Project Report, which may be submitted separately or as part of the Environmental Impact Assessment, including the following (see § 21-54.6 for details). Where individual maps or exhibits are submitted separately to satisfy other checklist requirements, they may be referenced in the Project Report.	X		
	a. Project Description and Statistics Report.	X		
	b. Land Classification Map and Report.	X		
	c. Natural Features Report.	X		
	d. Open Space Plan and Report.	X		
	e. Land Coverage and Drainage Plan and Report.	X		
	f. Soil Erosion and Sedimentation Control Plan and Report.	X		
	g. Sewer and Water Plan and Report.	X		
	h. Circulation Plan and Traffic Report.	X		
	i. Utilities Plan and Report.	X		
	j. Development Schedule Plan.	X		
	k. Variances and Exceptions Report.	X		
	l. Easements and Covenants Report.	X		
49	An Environmental Impact Assessment, including the following (see § 21-54.6.m for details).			X
	a. Plan and description of the development plan.			X
	b. Inventory of existing natural resources.			X
	c. Assessment of environmental impacts.			X
	d. Unavoidable adverse environmental impacts.			X
	e. Steps to minimize environmental damage.			X
	f. Alternatives.			X
	g. Details and matters to be evaluated:			X
	(1) Sewerage facilities.			X
	(2) Water supply.			X
	(3) Storm water.			X
	(4) Stream encroachments.			X
	(5) Floodplains.			X
	(6) Solid waste disposal.			X
	(7) Air pollution.			X
	(8) Traffic.			X
	(9) Social/economic factors.			X
	(10) Aesthetics.			X
	(11) Licenses, permits, etc.			X
	(12) A copy of the development plan and application form.			X
50	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
51	Contribution Disclosure Statement, if required pursuant to Section 21-7A.	X		
52	A plan showing all the details required in the procedures of Table 401-A, entitled Maximum Permitted Lot Yield & Minimum Improvable Lot Area Standards, Residential Development, R-1 Through R-7 Zones.		X	
53	For each proposed dwelling, cross sections shall be provided from the center of the road to the rear of the house in existing and proposed conditions; cross sections shall be provided perpendicular to the road through the center of the dwelling to a point 50' to the rear of the dwelling; the cross section shall be provided at a scale of 1" = 10' horizontal and 1" = 10' vertical.		X	
54	A fire service plan, showing on a separate plan sheet(s) information relating to fire safety and emergency response, including: existing and proposed water lines, fire department connections, hydrants and cisterns; widths and turning radii of streets, driveways, parking aisles, emergency access roads and fire lanes; public building entrances; parking spaces; and stormwater drainage basins.	X		

**APPENDIX C. ARTICLE III**

**Checklist**

**Application for Final Approval of a Major Subdivision or Site Plan**

**(See Article VII for Details)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	All items required for preliminary approval as set forth in § 21-54.4, unless previously waived by the Board.	X		
2	All additional items required by the Board as a condition of preliminary approval.		X	
3	A certificate from the tax collector indicating that taxes are paid.	X		
4	All required application and escrow deposit fees.	X		
5	Final detailed architectural renderings of each building and sign, including front, side and rear elevations.			X
6	Final cross-sections, profiles and established grades of all streets, aisles, lanes and driveways and construction documents for all public improvements.		X	
7	Final plans and profiles of all storm sewers.		X	
8	Final plans and profiles of all sanitary sewers.		X	
9	Final plans and profiles of all water mains.		X	
10	All dimensions of the exterior boundaries of any subdivision, balanced and closed to a precision of one to 10,000, and the dimensions of all lot lines to within one to 20,000. All dimensions, angles and bearings must be tied to at least two permanent monuments not less than 300 feet apart and all information shall be indicated on the plat. At least one corner of the subdivision shall be tied to U.S.C. and G.S. benchmarks with data on the plat as to how the bearings were determined.		X	
11	Proposed street names.		X	
12	A Final Application Comparison Report, including:		X	
	a. The number and type of dwelling units.		X	
	b. The amount of nonresidential floor space.		X	
	c. The type of community facilities and/or structures.		X	
	d. The amount of open space to be preserved.		X	
	e. The nature and cost of public improvements.		X	
	f. The anticipated value of residential and nonresidential construction.		X	
	g. Finalized landscaping and tree removal information pursuant to Sections 21-43 through 21-45.		X	
	h. A comparison to the preliminary development approval, indicating the nature and reasons for any changes to the preliminary approval.		X	

No.	Item	Submitted	Not Applicable	Waiver Requested
13	Organization documents, including:		X	
	a. Articles of incorporation, by-laws and membership rules/regulations for any homeowner's association, condominium association or other organization to maintain the common open space or community facilities.		X	
	b. A copy of the master deed detailing the rights and privileges of individual owners of common property.		X	
	c. A copy of all materials submitted to the Department of Community Affairs as required by the New Jersey Planned Real Estate Development Full Disclosure Act Regulations and evidence of the status of acceptance of and/or approval by the Department of Community Affairs.		X	
	d. Covenants or easements restricting the use of the common open space or elements.		X	
	e. Covenants or agreements requiring homeowners or residents to pay the organization for the maintenance of the common open space and/or community facilities. This shall include a proposed schedule of membership fees for at least the first three years of operation.		X	
14	All easements or covenants affecting any land in the development.	X		
15	All maintenance agreements under which private roads and other facilities will be maintained, refuse collected and other supplementary services provided, if there is to be no homeowners' association, condominium association, open space organization or similar arrangement.		X	
16	An offer of dedication including all legal requirements for valid dedication to the Township or, where appropriate, to another governmental body of roads or other improvements intended for public ownership.	X		

# GLADSTONE DESIGN, Inc.

---

Consulting Engineers  
Land Surveyors  
Landscape Architects  
Land Planners

265 Main Street, P.O. Box 400  
Gladstone, New Jersey 07934  
T: (908) 234-0309  
F: (908) 719-3320  
www.gladstonedesign.com

Ronald A. Kennedy, P.E.; P.P.; CME; LEED AP  
Kurt T. Hanie, P.L.S.  
Robert C. Morris  
Robert C. Moschello, P.E.

September 21, 2021  
1108-01

Re: Preliminary and Final Major Site Plans  
Washington House  
Lot 1, Block 1801  
55 South Finley Avenue  
Bernards Township, Somerset County, New Jersey

## **Rider to Application**

**The Applicant respectfully requests that the Bernards Township Board of Adjustment grant the following waivers for items on the Site Plan Checklist that have not been provided with this application:**

### **Preliminary Site Plan Checklist**

<b><u>Item</u></b>	<b><u>Reason</u></b>
16	A completeness waiver is being requested from the requirement to provide a wetlands absence determination. This is a developed property with no nearby wetlands according to a review of the NJDEP Geoweb and confirmed through visual observation.
20	A completeness waiver is being requested from the requirement to provide site identification signs. No signage is proposed as part of this project.
24	A completeness waiver is being requested from the requirement to provide a landscaping plan. No impact to landscaping shall be impacted by this project.
26	A completeness waiver is being requested from the requirement to provide a lighting plan. No impact to existing exterior lighting is proposed by this project.
38	A completeness waiver is being requested from the requirement to provide general soil information and soil logs. This project is solely to make permanent an existing tent. No soil disturbance is proposed.
46	A partial completeness waiver is being requested from the requirement to provide architectural elevations. Instead, photographs of the existing tent are included as an attachment to this application. An architectural floor plan of the tent seating is provided as a supplemental drawing.



- 48 A completeness waiver is being requested from the requirement to provide a Project Report. This project is solely to make permanent an existing tent. Preparation of a Project Report would be beyond the scope of this project.
- 49 A completeness waiver is being requested from the requirement to provide an Environmental Impact Assessment in accordance with Section 21-54.6.m.1. This project is solely to make permanent an existing tent and will create no additional environmental impacts beyond those experienced under the current site conditions.

**Final Site Plan Checklist**

<b><u>Item</u></b>	<b><u>Reason</u></b>
05	A completeness waiver is being requested from the requirement to provide architectural renderings and elevations. Instead, photographs of the existing tent are included as an attachment to this application.

**The following variances are being requested from the Bernards Township Land Use Ordinance:**

<b><u>Code</u></b>	<b><u>Variance</u></b>
Table 402	A variance is being requested for a maximum floor area ratio of 85.6% where the ordinance allows a maximum of 25.0%. A variance for a maximum floor area ratio of 47.8% was previously granted as part of Docket No. 03-03, as memorialized by the Bernards Township Board of Adjustment on March 7, 2003.
Section 21-22.1	A variance is being requested to allow for 36 parking spaces to be provided where the ordinance requires 216 spaces. A variance to allow 59 provided parking spaces was previously granted as part of Application #PB17-004, as memorialized by the Bernards Township Planning Board on August 22, 2017.
Table 506	A variance is being requested for a rear yard setback of 3.2 feet where the ordinance requires a minimum of 10 feet.

**PROJECT REPORT  
FOR  
WASHINGTON HOUSE**

**LOT 1, BLOCK 1801  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, NEW JERSEY**

**Prepared by:**

**GLADSTONE DESIGN, INC.**

Consulting Engineers | Land Surveyors | Landscape Architects | Land Planners

265 Main Street, P.O. Box 400  
Gladstone, New Jersey 07934

September 24, 2021



**WASHINGTON HOUSE  
PROJECT REPORT**

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**FIGURES**

KEY MAP ..... FIGURE 1  
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**PLANS**

LOT DEVELOPMENT PLAN ..... SHEET 1 OF 1

# WASHINGTON HOUSE PROJECT REPORT

## INTRODUCTION

This Project Report has been prepared for the property located at 55 South Finley Avenue in Bernards Township, New Jersey, home to the Washington House restaurant, to support the associated application for Preliminary and Final Site Plan approval with variances from the Bernards Township Board of Adjustment. This report has been prepared in accordance with the criteria specified in Section 21-54.6 of the Bernards Township Land Development Ordinance entitled "Support Documentation."

## BACKGROUND INFORMATION

The Washington House property is located on Lot 1, Block 1801 in Bernards Township, Somerset County, New Jersey. The site is located in the heart of the downtown Basking Ridge village business district with frontage along South Finley Avenue to the east, West Henry Street to the south, and Brownlee Place to the west (see **Figure 1**). The total tract area is 0.357 acres to the right-of-way line and 0.413 acres to the deed line in the center of South Finley Avenue. The site is within the B-1 (Village Business Zone) zoning designation.

The subject property is developed with a three-story building and associated parking. The Washington House restaurant occupies the first floor and exterior patios. Offices occupy the upper two floors. Parking is provided by an on-site parking lot in the rear of the building and an auxiliary parking lot located on Lot 2, Block 1802. The auxiliary parking lot sits caddy-corner to the restaurant with access off West Henry Street to the north and the street address of 2 Rankin Avenue. The auxiliary parking lot is located within the R-7 (1/2-acre Residential Zone) zoning designation. Parking is prohibited as a principal use within the R-7 zone. A "d(1)" use variance was granted for the parking lot as part of a Board of Adjustment approval on April 3, 1985.

This site has been the subject of several prior Site Plan approvals, summarized as follows:

1. The site received Preliminary and Final Site Plan approval on August 22, 2017 from the Bernards Township Planning Board (Application #PB17-004) to allow an increase in restaurant seating and a reduction in parking spaces provided from 60 to 59 spaces.
2. The site received Preliminary and Final Site Plan approval on December 22, 2015 from the Bernards Township Planning Board (application #PB15-001) to allow construction of two outdoor at-grade decks and a trash enclosure in the auxiliary parking lot (Lot 2, Block 1802), and to allow a reduction in parking spaces provided from 72 to 60 spaces.
3. The site received Preliminary and Final Site Plan approval on July 9, 2003 from the Bernards Township Board of Adjustment (#03-03) to construct a wireless telecommunications antenna facility.
4. The site received Site Plan approval on March 3, 1999 from the Bernards Township Board of Adjustment (#98-24) to construct two additions to the building: first, to expand the restaurant bathroom and dining seating by 12 additional seats; and second, to accommodate new kitchen equipment.
5. The site received Site Plan approval on April 3, 1985 from the Bernards Township Board of Adjustment (#85-01) to utilize the front porch for 20 additional restaurant seats and to enlarge the second floor to accommodate a food storage area.

# WASHINGTON HOUSE PROJECT REPORT

## PROJECT REPORT

### Project Description and Statistics Report

The site received a special use permit on October 19, 2020 and a certificate of approval from the construction code division on December 2, 2020 for the installation of a 50-ft x 100-ft temporary tent for outdoor dining in the rear parking lot. The purpose of this application is to obtain Preliminary and Final Major Site Plan approval with variances from the Bernards Township Board of Adjustment to make permanent the existing, temporary dining tent and associated structures erected at the site. As part of this project, a second means of egress for diners, in the form of an on-grade staircase, will be provided out the rear of the tent in the northwest corner of the site.

The tent and auxiliary structures will add 5,208 square feet of additional floor area bringing the total floor area on the site to 13,316 square feet or an 85.6% floor area ratio. A variance is being requested from Table 402 for a maximum floor area ratio of 85.6% where the ordinance allows a maximum of 25.0%.

The existing restaurant has a capacity of 174 seats (150 indoor and 24 outdoor). The tent to be made permanent will add an additional 164 seats and the existing rear bluestone patio can accommodate an additional 12 seats for a total proposed restaurant capacity of 350 seats. Bernards Township sets forth a parking requirement for restaurants as the greater of 1 parking space per 3 seats or 1 parking space per 50 square feet of floor area. In this case the 10,145 square feet of floor area creates the greater parking demand of 203 spaces. In addition, 13 spaces are required for the 3,171 square feet of office floor area, bringing the total parking requirement to 216 spaces. A variance is being requested from Section 21-22.1 to allow for 36 spaces to be provided where the ordinance required 216 spaces.

The dining tent and associated structures have been erected over the existing asphalt parking lot, there is no proposed land disturbance and no change in the total impervious coverage across the site.

For a complete tabulation of zoning requirements, see the calculation tables on the Lot Development Plan, Sheet 1 of 1.

### Land Classification Map and Report

The property is comprised entirely of Unrestricted lands, meaning no lands on the property are classified as Environmentally Restricted, lands within a floodway or with slopes more than 25%, or Restricted, lands within a special flood hazard area, R-5 Lowlands, or with slopes between 15% and 25%, as defined by the Bernards Township Land Development Ordinance Article II.

Based on the United States Department of Agriculture Web Soil Survey, the entire site is part of the Pen silt loam (PenB) soil group. Penn silt loam is a 2 to 6 percent sloping soil series consisting of fine-loamy residuum weathered from acid reddish shale, siltstone, and fine-grain sandstone classified as Hydrologic Soil Group 'C'. The depth to the water table is more than 80 inches and the capacity of the most limiting layer to transmit water is very low to moderately low. No further soil investigations were performed on the site because the project proposes no land disturbance.

The property is developed, with no woodlands, significant tree masses, or waters. All existing trees are to remain. The location and diameter breast height of all existing trees is depicted on the Lot Development Plan, Sheet 1 of 1.

## WASHINGTON HOUSE PROJECT REPORT

### Natural Features Report

There are no notable natural features or environmental constraints on the property. This project proposes no tree removal nor impact to existing landscaping.

### Open Space Plan and Report

The property is developed. No areas of the site are designated as open space.

### Land Coverage and Drainage Plan and Report

The dining tent and associated structures have been erected over the existing asphalt parking lot; therefore, this project proposes no land disturbance and no change in total impervious coverage across the site. This project qualifies as an Exempt Development as defined in the Bernards Township Drainage Ordinance (Section 21-42). Complete coverage calculations are included on the Lot Development Plan, Sheet 1 of 1.

### Soil Erosion and Sedimentation Control Report

This project proposes to make permanent an existing tent erected over an asphalt parking lot, there is no proposed land disturbance associated with this project. As such, this project does not require approval from the Somerset-Union Soil Conservation District.

### Sewer and Water Plan and Report

This project proposes no change to the existing sewer and water services provided to the site.

### Circulation Plan and Traffic Report

The property has frontage along two Township right-of-ways: West Henry Street and Brownlee Place. In addition, the property has frontage along the County Route 613, South Finley Avenue. Street parking is available along both West Henry Street and South Finley Avenue. Patrons of the Washington House can access the restaurant through the front entrance on South Finley Avenue, or directly access the dining tent via a side entrance off Henry Street. As part of this project, a second means of egress for diners, in the form of an on-grade staircase, will be provided out the rear of the tent in the northwest corner of the site towards Brownlee Place.

As previously described, the total parking requirement for the site is 216 spaces. A variance is being requested from Section 21-22.1 to allow for 36 spaces to be provided where the ordinance required 216 spaces. To support the variance, a comprehensive parking study is underway and shall be submitted prior to the Board hearing under separate cover. A traffic professional shall provide testimony at the hearing.

### Utilities Plan and Report

This project proposes no change to the existing utility services provided to the site.

### Development Schedule Plan

Construction of the dining tent and associated structures was completed under the special use permit issued on October 19, 2020. The only new construction proposed is for the on-grade staircase to provide a second means of egress out the rear of the tent.

### Variations and Exceptions Report

This project is seeking the following variations from the Bernards Township Land Development Ordinance:

1. A variance is being requested from Table 402 for a maximum floor area ratio of 85.6% where the ordinance allows a maximum of 25.0%.

## **WASHINGTON HOUSE PROJECT REPORT**

2. A variance is being requested from Section 21-22.1 to allow for 36 parking spaces to be provided where the ordinance requires 216 spaces.
3. A variance is being requested from Table 506 for a rear yard setback of 3.2 feet where the ordinance requires a minimum of 10 feet.

This site has been the subject of several prior Site Plan approvals and has previously received variances for maximum floor area ratio (1999, 1985), parking (2017, 2015, 1999) and building setbacks (1999). The following is a comprehensive description of the variances previously granted:

### 2017 Approval:

1. A variance was granted from Section 21-22.1 to allow for 59 parking spaces to be provided where the ordinance requires 112 spaces.

### 2015 Approval:

1. A variance was granted from Section 21-22.1 to allow for 60 parking spaces to be provided where the ordinance requires 112 spaces.

### 2003 Approval:

1. A variance was granted from Section 21-10.6.a.1 to construct a wireless telecommunications facility where the ordinance does not allow this use in the B-1 zone.
2. A variance was granted from Table 402 for a maximum height of 43.25 feet where the ordinance allows a maximum of 35 feet.

### 1999 Approval:

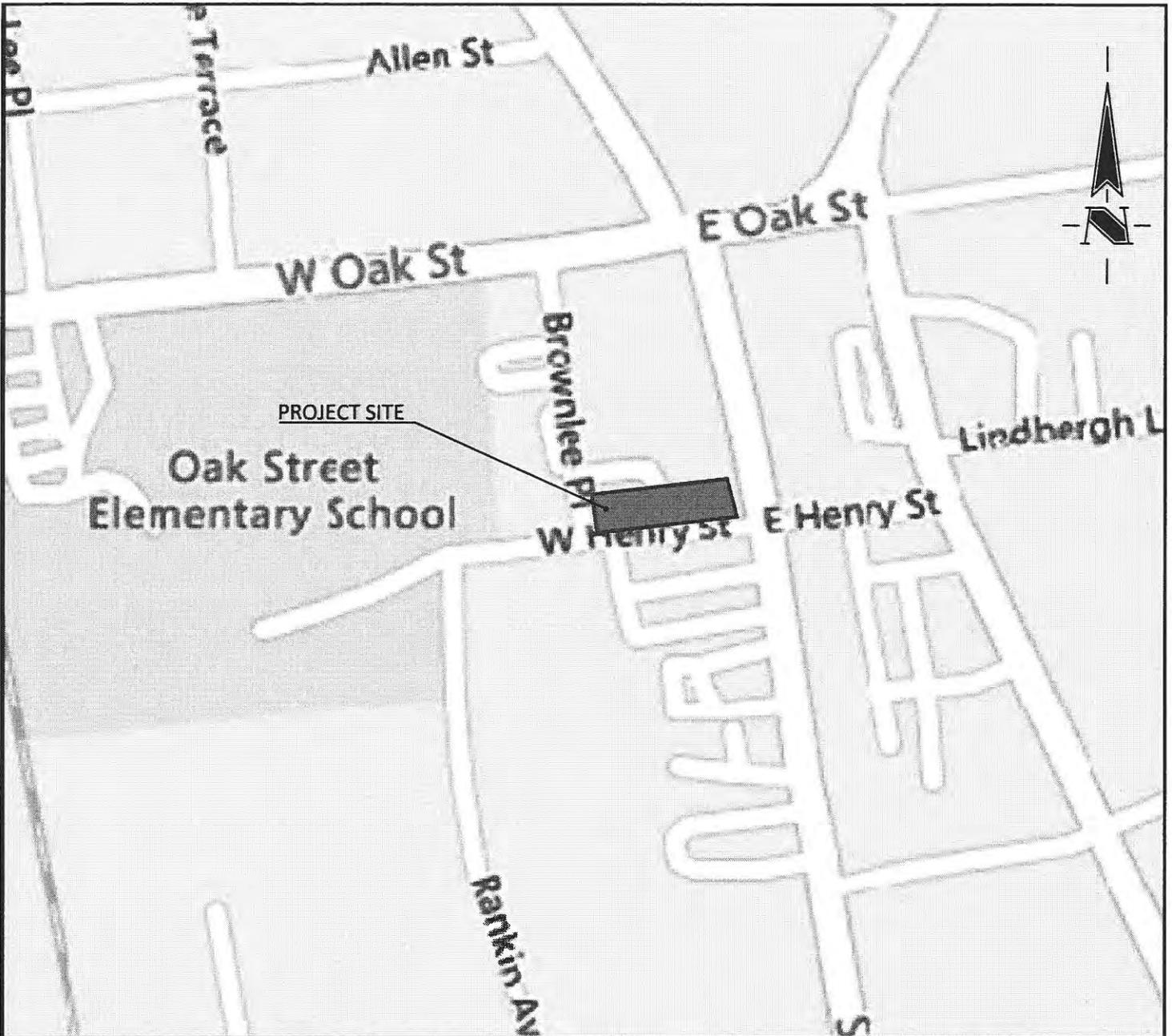
1. A variance was granted from Table 402 for a maximum floor area ratio of 47.8% where the ordinance allows a maximum of 25.0%.
2. A variance was granted from Table 402 for a maximum lot coverage of 85.1% where the ordinance allows a maximum of 75%.
3. A variance was granted from Table 506 for a front yard setback of 1 foot where the ordinance requires a minimum of 10 feet.
4. A variance was granted from Table 402 for a lot area of 15,959.6 square feet where the ordinance requires a minimum of 20,000 square feet.
5. A variance was granted from Section 21-22.1 to allow for 72 parking spaces to be provided where the ordinance requires 110 spaces.

### 1985 Approval:

1. A variance was granted from Table 402 for a maximum floor area ratio of 47.5% where the ordinance allows a maximum 25.0%.

### Easements and Covenants Report

This project proposes no new easements or covenants to be imposed upon the use of the land, structures, or other improvements within the development.



**NOTES:**

1. KEY MAP FROM BING MAPS.
2. OUTLINE OF PROPERTY IN QUESTION APPROXIMATE FROM BERNARDS TOWNSHIP TAX MAP.



SCALE : 1"=250'

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## GLADSTONE DESIGN, Inc.

Consulting Engineers  
Land Surveyors  
Landscape Architects  
Land Planners

265 Main Street P.O. Box 400  
Gladstone, New Jersey 07934  
Telephone (908) 234-0309  
Facsimile (908) 719-3320

NJ Certificate of Authorization  
No. 24GA28034400

## WASHINGTON HOUSE

BLOCK 1801 LOT 1  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, N.J.

SHEET TITLE:

KEY MAP

REFERENCE:

BING MAPS

DWN.

EMF

CHKD.

CRF

SCALE

1"=500'

DATE

09-24-21

FIG. NO.

1

JOB NO.

1108-01

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PROJECT SITE

PO



NOTES:

- 1. QUAD MAP FROM UNITED STATES GEOLOGICAL SURVEY.
- 2. OUTLINE OF PROPERTY IN QUESTION APPROXIMATE FROM BERNARDS TOWNSHIP TAX MAP.



SCALE : 1"=250'

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## WASHINGTON HOUSE

BLOCK 1801 LOT 1  
 BERNARDS TOWNSHIP  
 SOMERSET COUNTY, N.J.

SHEET TITLE:

U.S.G.S. QUAD MAP

REFERENCE:

UNITED STATES GEOLOGICAL SURVEY

DWN.

EMF

CHKD.

CRF

SCALE

1"=250'

DATE

09-24-21

FIG. NO.

2

JOB NO.

1108-01

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PROJECT SITE



**NOTES:**

1. AERIAL MAP TAKEN FROM THE OFFICIAL STATE OF NEW JERSEY GEOGRAPHIC INFORMATION NETWORK, 2020.
2. OUTLINE OF PROPERTY IN QUESTION APPROXIMATE FROM BERNARDS TOWNSHIP TAX MAP.



SCALE : 1"=250'

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## WASHINGTON HOUSE

BLOCK 1801 LOT 1  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, N.J.

**SHEET TITLE:**

AERIAL MAP

**REFERENCE:**

NEW JERSEY  
GEOGRAPHIC  
INFORMATION NETWORK  
ARCGIS

**DWN.**

EMF

**CHKD.**

CRF

**SCALE**

1"=250'

**DATE**

09-24-21

**FIG. NO.**

3

**JOB NO.**

1108-01

**TENT PHOTOGRAPHS REPORT  
FOR  
WASHINGTON HOUSE**

**LOT 1, BLOCK 1801  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, NEW JERSEY**

**Prepared by:**

**GLADSTONE DESIGN, INC.**

Consulting Engineers | Land Surveyors | Landscape Architects | Land Planners

265 Main Street, P.O. Box 400  
Gladstone, New Jersey 07934

September 24, 2021





*Photo No. 1: Existing tent from adjacent lot, looking south.*



*Photo No. 2: Existing tent from Brownlee Place, looking east.*



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**WASHINGTON HOUSE**

LOT 1, BLOCK 1801  
 BERNARDS TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

Photos Taken: 08/25/21

Date Prepared: 09/24/21

Prepared By: EMF

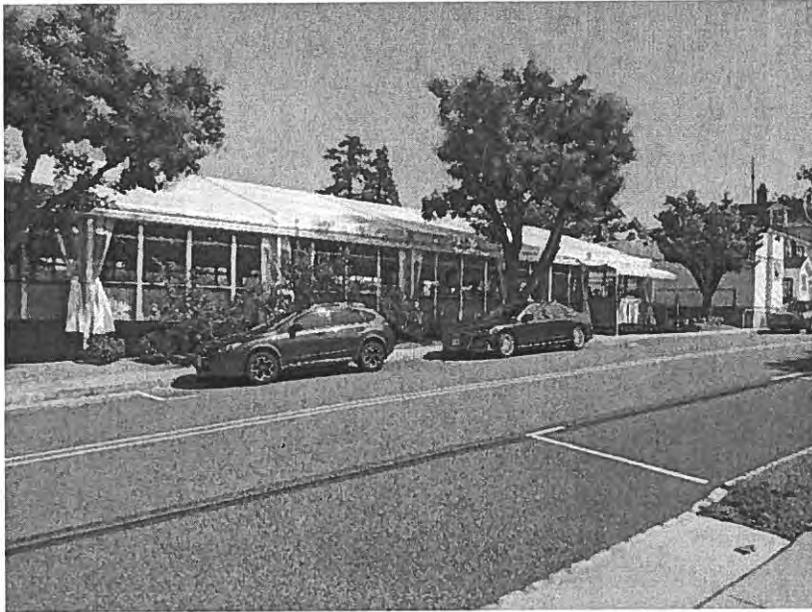
Checked By: CRF

Proj. No.:

**1108-01**

Photo Nos.:

**1 & 2**



*Photo No. 3: Existing tent from West Henry Street, looking north.*



*Photo No. 4: Auxiliary parking lot, looking southwest.*



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 Gladstone, New Jersey 07934  
 (908) 234-0309

**WASHINGTON HOUSE**

LOT 1, BLOCK 1801  
 BERNARDS TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

Photos Taken: 08/25/21  
 Date Prepared: 09/24/21  
 Prepared By: EMF  
 Checked By: CRF

Proj. No.:  
**1108-01**

Photo Nos.:  
**3 & 4**



PHOTO LOCATIONS (TYP.)  
PROJECT SITE

**NOTES:**

1. AERIAL MAP TAKEN FROM THE OFFICIAL STATE OF NEW JERSEY GEOGRAPHIC INFORMATION NETWORK, 2020.
2. OUTLINE OF PROPERTY IN QUESTION APPROXIMATE FROM BERNARDS TOWNSHIP TAX MAP.



SCALE : 1"=250'

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## WASHINGTON HOUSE

BLOCK 1801 LOT 1  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, N.J.

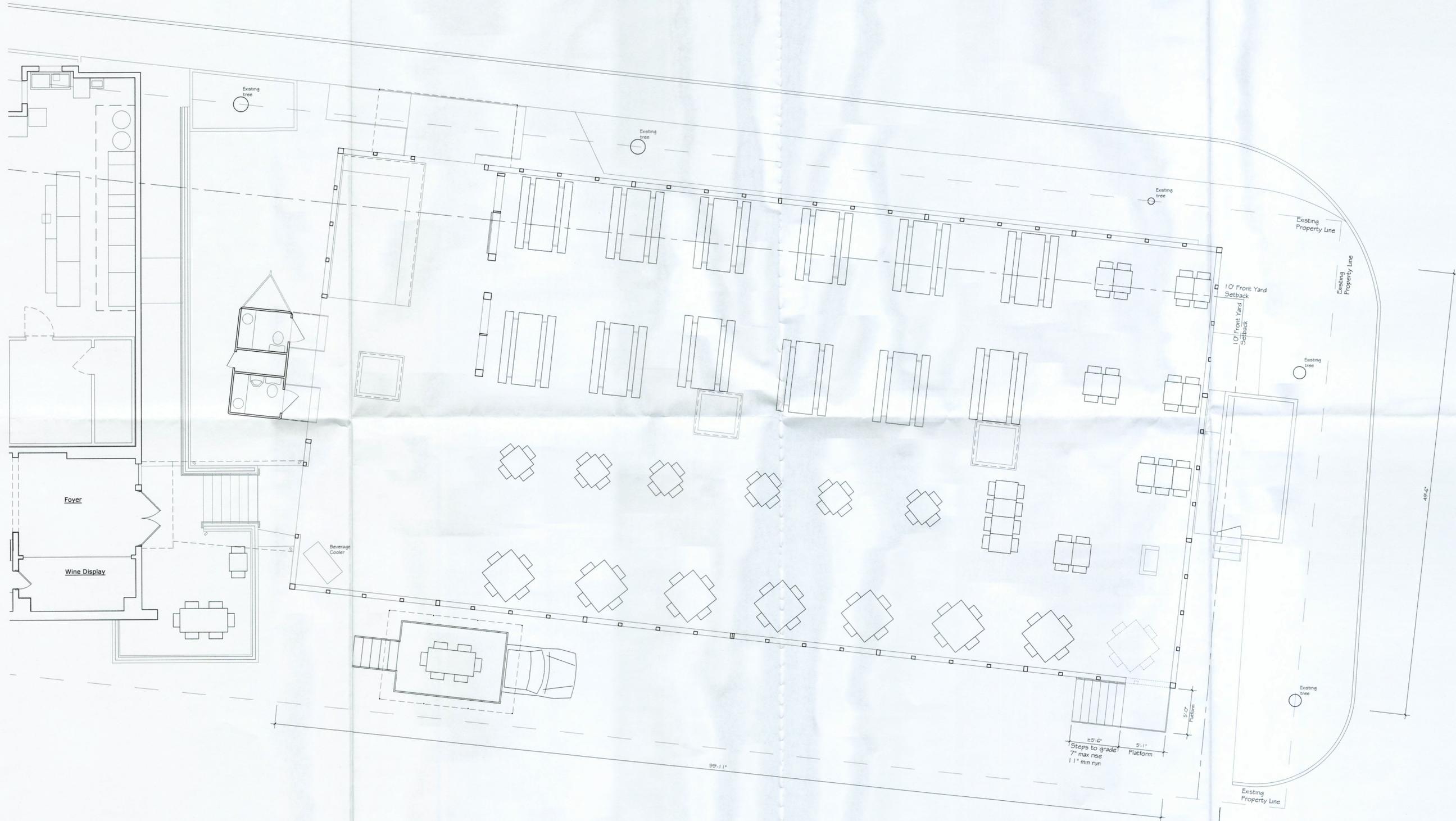
**SHEET TITLE:**

PHOTO LOCATIONS ON  
AERIAL MAP

**REFERENCE:**

NEW JERSEY  
GEOGRAPHIC  
INFORMATION NETWORK  
ARCGIS

DWN.	EMF
CHKD.	CRF
SCALE	1"=250'
DATE	09-24-21
FIG. NO.	4
JOB NO.	1108-01




**Pavilion Seating**  
SC3/2"=1'-0"

PROJECT LOCATION:

PROJECT Proposed Outdoor Pavilion for:  
**THE WASHINGTON HOUSE**  
 55 South Finley Avenue  
 Basking Ridge, New Jersey 07920


**JOSEPH M. MARCHESE**  
**ARCHITECTS**  
 P.O. Box 184  
 Kenil, NJ 07847  
 PH: 973-252-7746 FX: 973-252-7747  
JMMARCHESIOFFICE@GMAIL.COM

SEAL  
 NJ LIC. 21A01487100

REVISIONS  
 25 June 21 Design Rev  
 28 June 21 Extg Layout

DATE  
 DRAWN BY JMM  
 JOB NO. 2135

**DS-1**

# WASHINGTON HOUSE

## BERNARDS TOWNSHIP SOMERSET COUNTY, NEW JERSEY

### PROPERTY OWNERS WITHIN 200 FEET

BLOCK	LOT	PROPERTY OWNER	UTILITIES
1802	3	DUMASKALA, BANANA & UMAKANT 1 LINDENHURST RD BASKING RIDGE, NJ 07920	ALCONGIN GAS TRANSMISSION CO. 1 LINDENHURST RD STONY POINT, NY 10880
1802	2	FINLEY REAL ESTATE LLC PO BOX 336 BASKING RIDGE, NJ 07920	BELL ATLANTIC CORPORATION SECRETARY, 16TH FLOOR 1717 ARCH PHILADELPHIA, PA 19102
1802	1	WASHINGTON PROPERTY TAX PROCESSING 1 PO BOX 2609 COLUMBIA, CA 92028	JCP&L/SPU SERVICE TAX DEPT PO BOX 1811 MORRISTOWN, NJ 07962-1911
1801	5	SAP PROPERTY MGMT LLC 2FASCARELLA PO BOX 114 BASKING RIDGE, NJ 07920	PUBLIC SERVICE ENERGY & GAS CO MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, 200 NEWARK, NJ 07102
1801	4	FE PROPERTIES LLC PO BOX 114 BASKING RIDGE, NJ 07920	VERIZON COMMUNICATIONS ENGINEERING 290 W WYPLESANT AVE, STE 1400 LIVINGSTON, NJ 07039-2763
1801	3	BRUSH, BARBARA & T & LOPINZI, D/TRST PO BOX 114 BASKING RIDGE, NJ 07920	NEW JERSEY AMERICAN WATER CO DONNA SOKOL, CO SUPERVISOR NJ-AMERICAN WATER COMPANY, INC. 1025 LAUREL OAK ROAD WOODHURST, NJ 08043
1801	2	SAP PROPERTY MGMT LLC PO BOX 114 BASKING RIDGE, NJ 07920	CABLEVISION OF PARTIAN VALLEY 275 CENTINALE AVE, ONR805 PISCATAWAY, NJ 08855
1804	6	BERNARDS TOWNSHIP OF ONE COLLETER BASKING RIDGE, NJ 07920	RE. MARGUERITE PENDERVILLE CONSTRUCTION DEPT BERNARDS TWP SEWERAGE AUTHY 1 COLLETER LN BASKING RIDGE, NJ 07920
1804	4	UNITED METHODIST CHURCH OF B.R. 22 S FINLEY AVE BASKING RIDGE, NJ 07920	ENVIRONMENTAL DISPOSAL CORP WILLIAM HALEY, PRESIDENT 601 STATE HWY 202/208 BERNARDSVILLE, NJ 07921
1804	3	BASKING RIDGE 2001 LLC 1728 MARKET ST A-400 PHILADELPHIA, PA 19103	NEW JERSEY BELL TELEPHONE CO EDWARD A. STONE II, SECRETARY VERIZON LEGAL DEPT 540 BRADDOCK STREET, ROOM 2001 NEWARK, NJ 07101
1804	2	BASKING RIDGE 2001 LLC 1728 MARKET ST A-400 PHILADELPHIA, PA 19103	VERIZON BUSINESS/CD ROBERT DE WALT DEPT 2400 N GLENVIEW DR ROCKAWAY, NJ 07866
1804	1	QUALITY LLC PO BOX 331 DOVER, NJ 07804	SOMERSET COUNTY PLANNING BOARD PO BOX 3008 SOMERSET, NJ 08876
1803	13	BERNARDS TOWNSHIP OF ONE COLLETER BASKING RIDGE, NJ 07920	
1801	11	REYNOLDS, DANA R & MICHAEL 28 BRONLEE PLACE BASKING RIDGE, NJ 07920	
1801	42	KONEN LLC 1 BRONLEE PLACE BASKING RIDGE, NJ 07920	
1805	43	POSTAL SERVICE 23 BRONLEE PLACE BASKING RIDGE, NJ 07920	
1803	25.07	F.F.B.R. A NEW JERSEY PARTNERSHIP PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.08	F.F.B.R. ASSOCIATES PARTNERSHIP PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.09	FINLEY MAPLE ASSOCIATES LLC PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.03	MAM FERRETTI'S REAL ESTATE HOLDINGS PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.04	ROMAR PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.05	ROMAR PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	25.06	ROMAR PO BOX 408, 89 S FINLEY AVE BASKING RIDGE, NJ 07920	
1803	8.01	66 SOUTH FINLEY LLC 300 TANGLEWOOD DRIVE CATAUNO BASKING RIDGE, NJ 07920	
1803	8.02	BRONLEE CONDOMINIUMS 88 S FINLEY AVE BASKING RIDGE, NJ 07920	

**DRAWING INDEX**  
SHEET NO. TITLE  
1 OF 1 LOT DEVELOPMENT PLAN

**SUPPLEMENTAL DRAWINGS**  
SHEET NO. TITLE  
1 OF 1 BOUNDARY & TOPOGRAPHIC SURVEY  
1 OF 1 FIRE SERVICE PLAN  
DS-1 PAVILION SEATING

**PRIOR VARIANCES GRANTED (2017 APPROVAL):**  
1. A VARIANCE WAS GRANTED FROM SECTION 21-108.1 TO ALLOW FOR 36 PARKING SPACES TO BE PROVIDED WHERE THE ORDINANCE REQUIRES 216 SPACES.  
2. A VARIANCE IS BEING REQUESTED FROM TABLE 506 FOR A REAR YARD SETBACK OF 3.2 FEET WHERE THE ORDINANCE REQUIRES A MINIMUM OF 10 FEET.

**PRIOR VARIANCES GRANTED (2015 APPROVAL):**  
1. A VARIANCE WAS GRANTED FROM SECTION 21-22.1 TO ALLOW FOR 60 PARKING SPACES TO BE PROVIDED WHERE THE ORDINANCE REQUIRES 112 SPACES.

**PRIOR VARIANCES GRANTED (2003 APPROVAL):**  
1. A VARIANCE WAS GRANTED FROM SECTION 21-108.1 TO CONSTRUCT A WIRELESS TELECOMMUNICATIONS FACILITY WHERE THE ORDINANCE DOES NOT ALLOW THIS USE IN THE B-1 ZONE.  
2. A VARIANCE WAS GRANTED FROM TABLE 402 FOR A MAXIMUM HEIGHT OF 43.25 FEET WHERE THE ORDINANCE ALLOWS A MAXIMUM OF 35 FEET.

**PRIOR VARIANCES GRANTED (1999 APPROVAL):**  
1. A VARIANCE WAS GRANTED FROM TABLE 402 FOR A MAXIMUM FLOOR AREA RATIO OF 47.8% WHERE THE ORDINANCE ALLOWS A MAXIMUM OF 25.0%.  
2. A VARIANCE WAS GRANTED FROM TABLE 402 FOR A MAXIMUM LOT COVERAGE OF 63.1% WHERE THE ORDINANCE ALLOWS A MAXIMUM OF 75%.  
3. A VARIANCE WAS GRANTED FROM TABLE 406 FOR A FRONT YARD SETBACK OF 1 FOOT WHERE THE ORDINANCE REQUIRES A MINIMUM OF 10 FEET.  
4. A VARIANCE WAS GRANTED FROM TABLE 402 FOR A LOT AREA OF 15,958.8 SQUARE FEET WHERE THE ORDINANCE REQUIRES A MINIMUM OF 20,000 SQUARE FEET.  
5. A VARIANCE WAS GRANTED FROM SECTION 21-22.1 TO ALLOW FOR 72 PARKING SPACES TO BE PROVIDED WHERE THE ORDINANCE REQUIRES 110 SPACES.

**PRIOR VARIANCES GRANTED (1985 APPROVAL):**  
1. A VARIANCE WAS GRANTED FROM TABLE 402 FOR A MAXIMUM FLOOR AREA RATIO OF 47.8% WHERE THE ORDINANCE ALLOWS A MAXIMUM OF 25.0%.

**ZONING REQUIREMENTS (B-1 - VILLAGE BUSINESS ZONE)**

REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA TO DEED	17,999 S.F. 10,548 S.F.	17,999 S.F. 10,548 S.F.
MAXIMUM LOT COVERAGE TO DEED	75 %	90.2 %
MINIMUM FLOOR AREA RATIO TO DEED	25 %	93.0 %
MAXIMUM FLOOR AREA RATIO TO DEED	75 %	45.0 %
MAXIMUM HEIGHT	35 FT.	43.25 FT.
MINIMUM FRONT YARD SETBACK	10 FT.	11.2 FT.
MINIMUM REAR YARD SETBACK	10 FT.	10 FT.
MINIMUM SIDE YARD SETBACK	10 FT.	10 FT.
MINIMUM FRONTAGE	50 FT.	32 FT.
MINIMUM LOT WIDTH	50 FT.	66 FT.

**EXISTING NON-CONFORMING CONDITION TO REMAIN**  
VARIANCE GRANTED TO 47.8% (1999 APPROVAL)  
VARIANCE GRANTED TO 43.25 FT (2003 APPROVAL)  
VARIANCE REQUESTED AS PART OF THIS APPLICATION

**LOT COVERAGE**

EXISTING (TO DEED)	EXISTING (TO R.O.W.)	PROPOSED (TO DEED)	PROPOSED (TO R.O.W.)
BUILDING	4,958 S.F.	4,958 S.F.	4,958 S.F.
PAVEMENT	8,928 S.F.	2,325 S.F.	2,317 S.F.
SIDEWALK	2,044 S.F.	1,432 S.F.	1,432 S.F.
PATIO	744 S.F.	744 S.F.	744 S.F.
TENT	1,409 S.F.	2,208 S.F.	2,208 S.F.
TOTAL	16,234 S.F.	13,268 S.F.	14,453 S.F.
	(0.37 AC)	(0.33 AC)	(0.33 AC)

NOTE: FLOOR AREAS PROVIDED BY PROJECT ARCHITECT, JOSEPH M. MANHORN ARCHITECT

**REQUIRED PARKING SUMMARY (SECTION 21-22.1)**

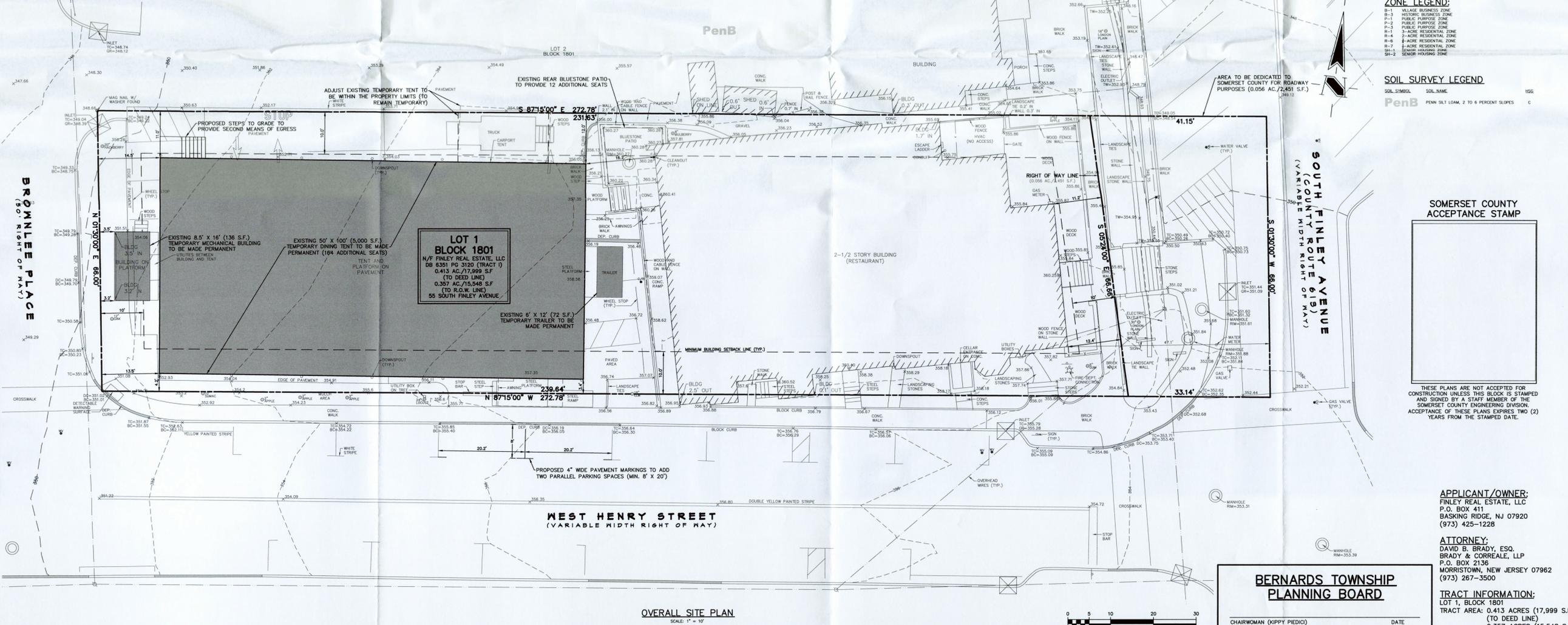
USE	REQUIRED PARKING SPACES	EXISTING SPACES	NET REQUIRED SPACES
OFFICE	4 SPACES PER 1,000 S.F. OF FLOOR AREA	0	4
RESTAURANT	GREATER OF 1 SPACE PER 3 SEATS OR 10.0 S.F. OF FLOOR AREA	10.0 S.F.	0
TOTAL		10.0	4

32 PARKING SPACES ARE CURRENTLY PROVIDED IN THE MAIN LOT TO BE REMOVED BY THE PERMANENT TENT AND 36 SPACES ARE CURRENTLY PROVIDED IN THE AUXILIARY PARKING LOT TO REMAIN (LOT 2, BLOCK 1802)  
VARIANCE REQUESTED AS PART OF THIS APPLICATION



**REVISIONS**

NO.	DATE	DESCRIPTION

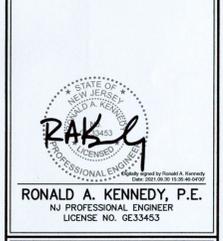


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NJ Certificate of Authorization  
No. 24GA28034400

Ronald A. Kennedy, P.E., P.P., C.M.E. LEED AP  
Kurt T. Hanic, P.L.S.  
Robert C. Morris  
Robert C. Moschella, P.E.



PROJECT: WASHINGTON HOUSE  
LOT 1 BLOCK 1801  
BERNARDS TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET TITLE: PRELIMINARY AND FINAL MAJOR SITE PLAN  
LOT DEVELOPMENT PLAN

DATE: SEPTEMBER 17, 2021

SCALE	AS NOTED	JOB NO.
		1108-01

DRAWN	EMF	SHEET NO.
		1 OF 1

CHKD.	CRF

# PRELIMINARY AND FINAL MAJOR SITE PLAN

**BERNARDS TOWNSHIP PLANNING BOARD**

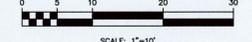
CHAIRWOMAN (KIPPY PIEDIC)	DATE
SECRETARY (CYNDI KEIFER)	DATE
BOARD ENGINEER (LARRY PLEVER, P.E.)	DATE

**APPLICANT/OWNER:**  
FINLEY REAL ESTATE, LLC  
P.O. BOX 411  
BASKING RIDGE, NJ 07920  
(973) 425-1228

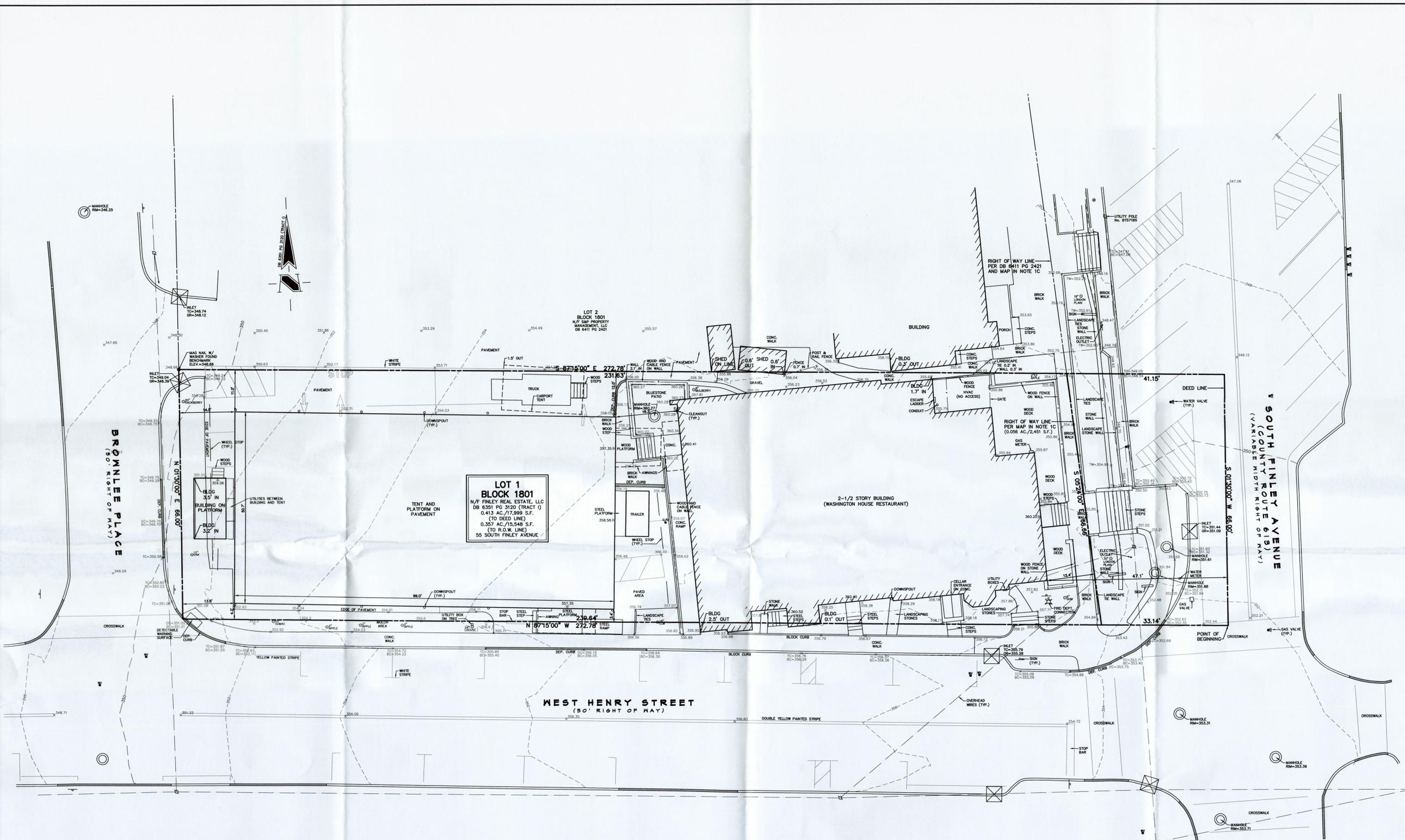
**ATTORNEY:**  
DAVID B. BRADY, ESQ.  
BRADY & CORREALE, LLP  
P.O. BOX 2136  
MORRISTOWN, NEW JERSEY 07962  
(973) 267-3500

**TRACT INFORMATION:**  
LOT 1, BLOCK 1801  
TRACT AREA: 0.413 ACRES (17,999 S.F.)  
(TO DEED LINE)  
0.357 ACRES (15,548 S.F.)  
(TO R.O.W. LINE)

TOWNSHIP OF BERNARDS  
SOMERSET COUNTY, NEW JERSEY  
TAX MAP SHEET: 5  
ZONE: B-1 (VILLAGE BUSINESS)



SCALE: 1" = 10'



**LOT 1  
BLOCK 1801**  
N/F FINLEY REAL ESTATE, LLC  
DB 6351 PG 2120 (TRACT I)  
0.413 AC, 17,899 S.F.  
(TO DEED LINE)  
0.357 AC, 15,348 S.F.  
(TO E.O.W. LINE)  
55 SOUTH FINLEY AVENUE

**WEST HENRY STREET**  
(50' RIGHT OF WAY)

**SOUTH FINLEY AVENUE**  
(COUNTY ROUTE 619)  
(VARIABLE WIDTH RIGHT OF WAY)

**GENERAL NOTES:**

- THIS MAP WAS PREPARED IN ACCORDANCE WITH THE FOLLOWING:
  - REPORT ON TITLE ISSUED BY DOWNES RETRIEVALS LLC, FILE NO. M18247, DATED SEPTEMBER 18, 2018.
  - MAP ENTITLED "SURVEY OF PROPERTY, LOT NO. 1 BLOCK NO. 1801, TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, NEW JERSEY," DATED DECEMBER 30, 2014, PREPARED BY MORGAN ENGINEERING & SURVEYING.
  - MAP ENTITLED "PARTIAL SURVEY OF SOUTH FINLEY AVENUE IN BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY," DATED NOVEMBER 28, 2012, PREPARED BY HATCH MOTT MACDONALD.
  - DEEDS FILED IN THE SOMERSET COUNTY CLERK'S OFFICE AS SHOWN HEREON.
  - TOWNSHIP OF BERNARDS TAX MAP SHEET 18.
- UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. IT IS NOT THE INTENT OF THIS SURVEY TO LOCATE, DELINEATE OR OTHERWISE DEFINE SUBSURFACE CONDITIONS EITHER NATURAL OR MANMADE, EXCEPT AS MAY BE SHOWN. SUB-SURFACE UTILITY CONDITIONS AND LOCATIONS ARE NOT CERTIFIED AND MUST BE FIELD VERIFIED VIA TEST PITS AND UTILITY COMPANY MARKINGS.
- VERTICAL DATUM BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) ESTABLISHED BY DIFFERENTIAL GPS METHODS VIA THE NGS CORS SYSTEM.
- ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY.
- THE PROPERTY APPEARS ON THE NATIONAL FLOOD INSURANCE PROGRAM-FIRM FLOOD INSURANCE RATE MAP, SOMERSET COUNTY, NEW JERSEY, PANEL 58 OF 501, MAP NUMBER 340350000E, EFFECTIVE DATE SEPTEMBER 28, 2007 AND IS LOCATED IN ZONE X.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (C45-9-36.3) AND N.J.A.C. 13-40-5.1(g).
- PREMISES SURVEYED SUBJECT TO THE FOLLOWING:
  - DEED BOOK 5275 PAGE 3833 - MEMORANDUM OF AGREEMENT (NOT PLOTTABLE).
  - DEED BOOK 5966 PAGE 1434 - MEMORANDUM OF AMENDMENT TO SITE AGREEMENT (NOT PLOTTABLE).
  - DEED BOOK 6130 PAGE 1098 - WIRELESS COMMUNICATION EASEMENT AND ASSIGNMENT AGREEMENT (NOT PLOTTABLE).
  - RIGHTS, PUBLIC AND PRIVATE IN AND TO ANY STREETS, ROADS, LANES OR HIGHWAYS ABUTTING, CROSSING OR BOUNDING THE SUBJECT PREMISES.
  - RIGHTS OF OTHERS TO DRAIN THROUGH OR OTHERWISE USE ANY BROOK, STREAM OR WATERCOURSE RUNNING ALONG OR THROUGH THE SUBJECT PREMISES.
  - EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD.

REVISIONS		
NO.	DATE	DESCRIPTION



**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
Land Surveyors  
Landscape Architects  
Land Planners

265 Main Street, P.O. Box 400  
Gladstone, New Jersey 07934  
T: (908) 234-0309  
F: (908) 719-3320

NJ Certificate of Authorization  
No. 24GA28034400

Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
Kurt T. Hanie, P.L.S.  
Robert C. Morris  
Robert C. Moschello, P.E.

**KURT T. HANIE, P.L.S.**  
NJ PROFESSIONAL LAND SURVEYOR  
LICENSE No. GS40376

PROJECT  
**55 SOUTH FINLEY AVENUE**  
LOT 1 BLOCK 1801  
TOWNSHIP OF BERNARDS  
SOMERSET COUNTY  
NEW JERSEY

SHEET TITLE  
**BOUNDARY & TOPOGRAPHIC SURVEY**

DATE: AUGUST 03, 2021  
SCALE: 1" = 10'  
JOB NO.: 1108-01  
DRAWN: JAC  
SHEET NO.:  
CHKD: KTH  
1 OF 1





REVISIONS		
NO.	DATE	DESCRIPTION



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 Kurt T. Hanig, P.L.S.  
 Robert C. Morris  
 Robert C. Moschella, P.E.

**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE NO. GE33453

PROJECT

**WASHINGTON HOUSE**

LOT 1 BLOCK 1801

BERNARDS TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE

PRELIMINARY AND FINAL  
 MAJOR SITE PLAN

**FIRE SERVICE PLAN**

DATE: SEPTEMBER 17, 2021

SCALE: 1" = 30'

JOB NO.: 1108-01

DRAWN: EMF

SHEET NO.: 1 OF 1

CHKD: CRF

