

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION
Regular Meeting of February 22, 2021-7 pm

The Environmental Commission meeting for February 22, 2021 will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link

<https://us02web.zoom.us/j/89453197130?pwd=bDU5aFA3YXVWm15L0V2a2JXa0N2dz09> at 7:00 PM

Or by calling 1-646-558-8656 and entering Meeting ID: 894 5319 7130 and Passcode: 034175
Public comment will be accepted via e-mail. Please include your name and address in the e-mail and send comments to kcartoccio@bernards.org. They will be read during the public comment section.

Meeting Agenda

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC Meeting Minutes Regular and Reorganization –[January 25, 2021](#)**
- 6. Reports and Miscellaneous Correspondence**
 - a. **Correspondence**
 - i. [16 Rocky Ln](#)-NJDEP-FWW General Permit #8
 - ii. [PSE&G](#) -FWW Permit Extension
 - b. **Public Outreach Project** - Update
- 7. Old Business**
 - a. [Silver Living-ZB20-015 - 14 North Maple Ave](#)-Revised Materials.
- 8. New Business**
 - a. **Applications *Note-Verizon & Fellowship SL have separate links***
 - i. **Verizon Corporate Services Group-ZB21-001 - 300 North Maple Ave**- Major site plan approval for construction of additional parking.
 - ii. [Roti-ZB21-002 - 10 Pacer Ct](#)-6' fence in front yard; Shed in front yard.
 - iii. [Burcat-ZB21-005 - 153 Spencer Rd](#)-Variance for front yard setback (addition) and a pool not located behind rear building line of adjacent dwellings.
 - iv. [Rosentblatt-ZB21-006 - 30 Cameron Ct](#)- Pool not located behind the rear building line of adjacent dwellings.
 - v. **Fellowship Senior Living-PB20-005 - 8000 Fellowship Rd**- Preliminary & final major site plan.
- 9. Comments by Public**
- 10. Comments by Members**
- 11. Adjournment**

Kelly Julian, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



Bernards Township Environmental Commission



BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – January 25, 2021 – 7pm

CALL TO ORDER

Chairperson Ann Parsekian called the meeting to order at 7:11 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

FLAG SALUTE

All those assembled saluted the flag.

ROLL CALL

Present: Joan Bannan, Debra DeWitt, Nancy Cook, Jane Conklin, James LaMaire, Ann Parsekian, Jason Roberts, Alice Smyk, Sarah Wolfson

Absent: Emily Johnston Schlenker

Also Present: Kaitlin Cartoccio - Recording Secretary, Todd Edelstein – Resident, John Crane – Resident

APPROVAL OF MEETING MINUTES

Motion to approve the December 28, 2020 minutes made by Debra DeWitt, second by Nancy Cook. Sarah Wolfson and Jason Roberts abstained. All in favor, motion carried.

REPORTS & MISCELLANEOUS CORRESPONDENCE

- a. **3066 & 3074 Valley Road – LOI**
No comments.

- b. **Year End Report for 2020**
Sarah Wolfson commented that “wildlife” was included in “flora and fauna”. Wildlife will be taken out and flora and fauna would be kept in the report. Alice Smyk made motion to approve the report, Jane Conklin seconded. All those in favor, motion carried.

NEW BUSINESS

- a. **Rossi-ZB-21-003-14 Culberson Road – “C” Coverage Variance** for construction of an in-ground pool. Patio & cabana.

Debra Dewitt recused herself at 7:18 pm. The Environmental Commission notes the proposed lot coverage exceeds the required amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is the concern with this application, therefore site features to promote stormwater infiltration should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nj.gov/dep/gi/>). The Commission suggests that the applicant may want to consider reducing the amount of impervious surface coverage. In regards to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water



Bernards Township Environmental Commission



often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Motion by James LaMaire, seconded by Nancy Cook.

All in favor, motion carried.

b. Maschhoff-ZB-21-004-31 Clairvaux Ct – “C” Variances for in ground pool coverage – Not behind rear building line of adjacent dwelling

Debra DeWitt returned at 7:40 pm. The Environmental Commission notes the proposed lot coverage exceeds the required amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is the concern with this application, therefore site features to promote stormwater infiltration should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nj.gov/dep/gi/>). In regards to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water. The Commission also wants to note that if the pool is placed in accordance with the ordinance, trees would have to be removed. The proposed plan does not appear to require tree removal.

Motion by Jane Conklin, seconded by Debra DeWitt.

All in favor, motion carried.

c. Fellowship Village-PB-20-005-8000 Fellowship Rd – Preliminary & final major site plan.

Alice Smyk recused herself at 7:57 pm. Discussion tabled to February meeting.

Motion by Debra DeWitt, seconded by Nancy Cook.

All in favor, motion carried.

Alice Smyk returned at 7:58 pm.

PUBLIC COMMENT

Todd Edelstein mentioned a conversation with Dave Schley, met with Pat Monaco about the packet with the social security number. Suggested that new people should attend Zoning Board or Planning Board meeting. John Crane was glad to see Ann and Debra reappointed. Told new



Bernards Township Environmental Commission



members to reach out if they should need anything.

COMMENTS BY MEMBERS

Ann Parsekian asked the new members what kind of project they were interested in. Sarah Wolfson replied being interested in eliminating invasive species. Jason Roberts said he is excited for the opportunity to be a part of the Environmental Commission. Ann Parsekian then brought up a membership for the Association of New Jersey Environmental Commission. The Bernards EC has not been a member for several years. 7 members get free training from ANJEC, and ANJEC has displays and activities to loan members. In addition, there are grants and other opportunities for ECs that are members. The Commission voted unanimously to renew their membership. The Commission also received mail from Brian Pinke, an NJ Watershed Ambassador. He will be invited to an upcoming meeting. Last year the EC had 2 committees – Charter Day and Social Media. Debra DeWitt and Nancy Cook will continue on the social media committee. Ideas included a composting video and a community project. There was a discussion on either purchasing or acquiring donated monarch butterfly milkweed seeds to distribute to residents.

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ADJOURNMENT

Meeting was adjourned at 8:53 pm. Motion by James LaMaire, second by Joan Bannan. All in favor, motion carried.

Respectfully submitted,
Kaitlin Cartoccio, Meeting Secretary



Bernards Township Environmental Commission

TO: Zoning Board Chairperson and Members

FROM: Ann Parsekian, Chairperson
Bernards Township Environmental Commission

DATE: January 26, 2021

RE: Applications review

The Environmental Commission reviewed these applications at their January 26, 2021 meeting and forwards the following comments.

Zoning Board

Rossi ZB21-003 14 Culberson Road

The Environmental Commission has reviewed this application and offers the following comments:

1. The Environmental Commission notes the proposed lot coverage of 22.54% substantially exceeds the permitted maximum of 18%. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area-wide flooding. Site drainage is a concern with this application, therefore site features to promote stormwater infiltration are important. The NJ DEP Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners. (<http://www.nj.gov/dep/gi/>).
2. The Commission suggests that the Zoning Board discuss with the Applicant whether they may want to consider reducing the amount of impervious surface coverage.
3. The site plan depicts low walls around portions of the patio and fire pit areas, and also appears to show existing shrubbery/trees between the patio and fire pit areas and the proposed pool area. There does not seem to be a clearly defined path/walk to access the pool area. The Environmental Commission suggests that the Zoning Board clarify proposed access with the Applicant.
4. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.



Bernards Township Environmental Commission

<https://www.bernards.org/government/documents/department-documents/environmental/1645-best-management-practices-pool-water-discharge/file>

Maschoff ZB21-004 31 Clairvaux Court

The Environmental Commission has reviewed this application and offers the following comments:

1. The Environmental Commission notes that at 18.1% the proposed lot coverage substantially exceeds the permitted maximum of 15%. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area-wide flooding. Site drainage is a concern with this application, therefore adequate site features to promote stormwater infiltration are important. The NJ DEP Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners.

[\(http://www.nj.gov/dep/gi/\)](http://www.nj.gov/dep/gi/).

2. The Commission suggests that the Zoning Board discuss with the Applicant whether they may want to consider reducing the amount of impervious surface coverage.

3. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

<https://www.bernards.org/government/documents/department-documents/environmental/1645-best-management-practices-pool-water-discharge/file>

4. The Environmental Commission notes that placement of the pool within the area permitted by ordinance, as shown on the submitted Proposed Landscape Development plan to be south of the proposed location, would apparently require the removal of a number of existing trees. It would be preferable to minimize tree removal.

Cc: David Schley, Township Planner
Cyndi Kiefer, Secretary; for distribution to BOA members



Bernards Township Environmental Commission



BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION REORGANIZATION MEETING MINUTES – January 25, 2021 – 7pm

CALL TO ORDER

Chairperson Ann Parsekian called the meeting to order at 7:01 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

FLAG SALUTE

All those assembled saluted the flag.

ROLL CALL

Present: Joan Bannan (7:02 pm), Debra DeWitt, Nancy Cook, Jane Conklin (7:04pm), James LaMaire, Ann Parsekian, Jason Roberts, Alice Smyk, Sarah Wolfson

Absent: Emily Johnston Schlenker

Also Present: Kaitlin Cartoccio - Recording Secretary, Todd Edelstein - Resident, John Crane – Resident

REVIEW TOWNSHIP ORDINANCE FOR ENVIRONMENTAL COMMISSION

Ann Parsekian had sent out copies of the Environmental Commission's mission and objectives. No changes have occurred in the ordinance governing the Environmental Commission.

NOMINATION FOR CHAIRPERSON

Motion by Nancy Cook, seconded by Debra DeWitt to nominate Ann Parsekian as Chairperson of the Environmental Committee. No other nominations were heard. All were in favor, motion passed.

NOMINATION FOR VICE CHAIRPERSON

Motion by Nancy Cook, seconded by Alice Smyk to nominate Debra DeWitt as Vice Chairperson of the Environmental Committee. No other nominations were heard. All were in favor. Motion passed.

SUB-COMMITTEE APPOINTMENTS

Alice Symk nominated herself for Environmental Commission representative on the Tree Protection Committee. No other nominations were heard. All were in favor. Motion passed.

COMMENTS BY MEMBERS

Debra Dewitt was asked to be on Agricultural Advisory Committee as part of the Environmental Commission.

ADJOURNMENT

Meeting was adjourned at 7:11pm. Motion by Debra DeWitt, second by Jane Conklin. All in favor, motion carried.

Respectfully submitted, Kaitlin Cartoccio, Meeting Secretary

PK ENVIRONMENTAL
Planning & Engineering
PO Box 1066, 205 Main Street
Chatham, New Jersey 07928

Sandra E. Kehrley, PE, CFM
John P. Peel, PP

tel (973) 635-4011
fax (973) 635-4023

PUBLIC NOTICE

NJDEP Freshwater Wetlands (FWW) General Permit #8

TO: Bernards Township Clerk, Bernards Township Construction Official, Bernards Township Environmental Commission, Bernards Township Planning Board, Somerset County Planning Board, and Property Owners Within 200-Feet of Block 3602 Lot 7 in Bernards Township

DATE: January 29, 2021

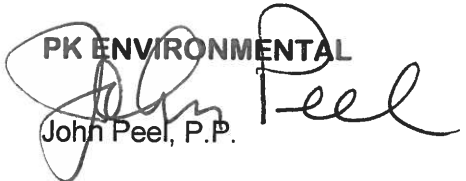
RE: NJDEP Freshwater Wetlands (FWW) General Permit #8 Application
Block 3602 Lot 7 (16 Rocky Lane)
Bernards Township, Somerset County, NJ
Applicant/Owner: Michael Davidson

This letter provides you with legal notification that Michael Davidson has submitted an application to the NJDEP Division of Land Resource Protection for authorization of a Wetlands General Permit #8 for construction of a detached 720-square foot barn/shed building within an NJDEP regulated wetland/transition area. Also enclosed is a copy of the "Site Plan – Davidson Barn/Shed", prepared by Titus Surveying & Engineering P.C.

The NJDEP welcomes comments and any information that you may provide concerning the proposed on-site septic improvements, and if there are any comments or questions regarding this application, please submit your written comments to the address below.

NJDEP Division of Land Resource Protection
Mail Code 501-02A, PO Box 420
Trenton, NJ 08625-0420
Attn: Somerset County Supervisor

Sincerely,

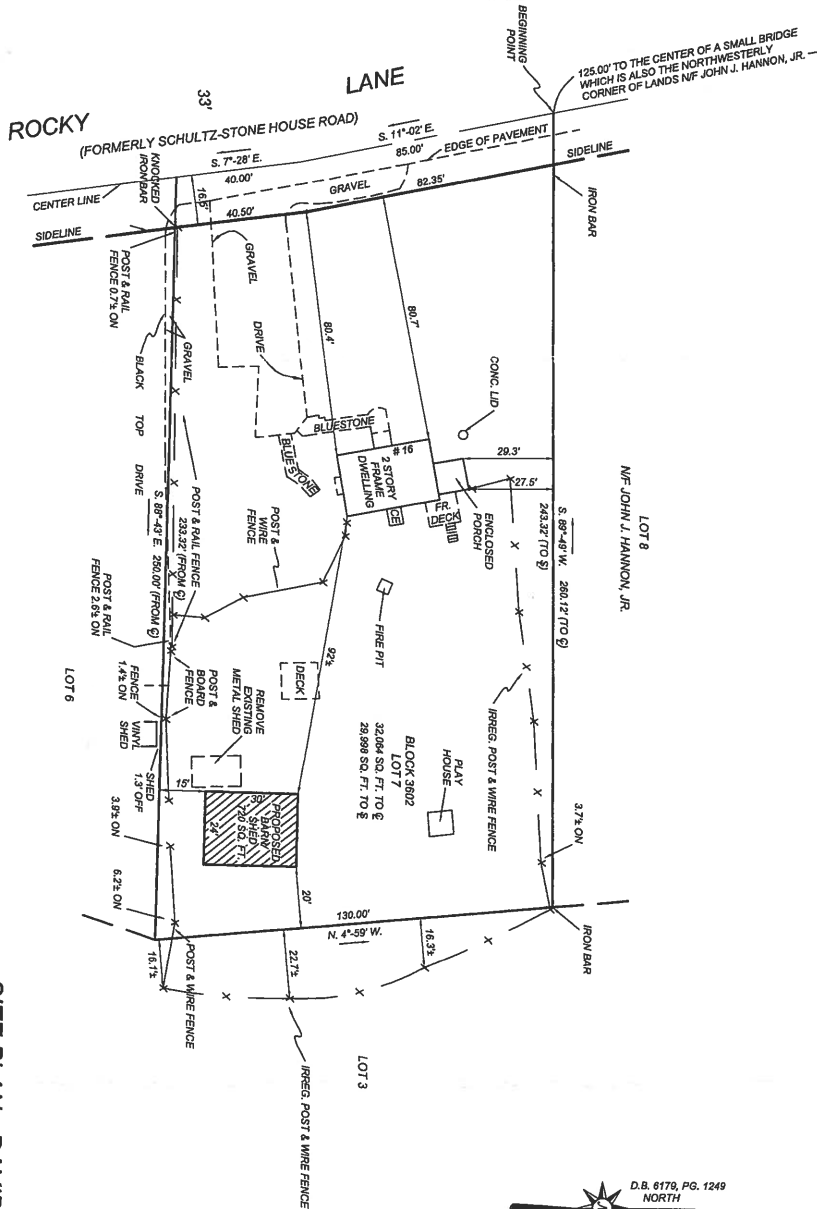
PK ENVIRONMENTAL

John Peel, P.P.

ENC

cc: NJDEP DLRP
Michael Davidson (Owner/Applicant)

CERTIFIED MAIL

Being known as Lot 7, Block 3602 on the Township of Bernards Tax Maps.



SCALE: 1 INCH = 30 FEET

- NOTES:
- 1) NO DISTURBANCE BEYOND SHED LIMITS (720 SQUARE FEET).
 - 2) ALL TEMPORARY DISTURBANCE TO BE RESTORED UPON COMPLETION.
 - 3) ROAD (ROSS BARNSHED) IS LOCATED WITHIN ADJACENT REGULATED WETLANDS.
 - 4) SURVEY INFORMATION SHOWN HEREON BASED ON A FIELD SURVEY BY THIS OFFICE.

SITE PLAN - DAVIDSON BARNSHED

LOT 7, BLOCK 3602
IN THE
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, NEW JERSEY

TITUS SURVEYING & ENGINEERING, P.C.

618 SOMERSET STREET
NORTH PLAINFIELD, NEW JERSEY 07060
PHONE: (908) 756-9047 FAX: (908) 756-9055

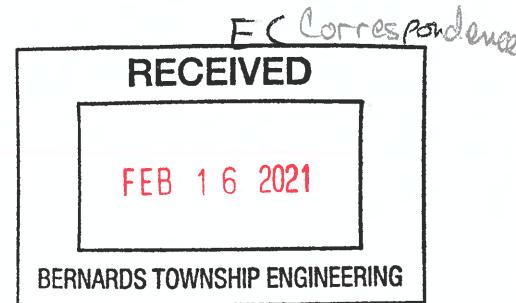
DATE	JOB NO.	BOOK	PAGE	DR. BY	CHECKED	SHEET
DECEMBER 2, 2020	4-1147-20	356	48	RTLM	WLT	1 OF 1

RICHARD G. TITUS
N.J. PROFESSIONAL
LAND SURVEYOR
LIC NO. GS33181

W. Leland Titus
W. LELAND TITUS
N.J. PROFESSIONAL
ENGINEER
LIC NO. GE31635

SHOW BUILDING JAN. 20, 2021

Delivery Projects & Construction
Public Service Electric and Gas Company
4000 Hadley Road, South Plainfield, New Jersey 07080



November 30, 2020

**Notice to: Construction Official, Environmental Commission, Planning Board,
County Planning Board, and County Soil Conservation District**

CERTIFIED MAIL

Re: Application for an Extension of Freshwater Wetlands General Permit Number 1
PSE&G Electric Overhead and Underground Transmission System ROWs Maintenance
Bergen, Burlington, Camden, Essex, Gloucester, Hudson, Hunterdon, Mercer, Middlesex,
Morris, Passaic, Salem, Somerset, Sussex, Union, and Warren Counties, New Jersey
File No. 0000-02-0031.2, FWW160001

To Whom It May Concern:

This letter is to provide you with legal notification that an application for an Extension of a Freshwater Wetlands General Permit Number 1 (FWW GP1) has been submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the maintenance of existing Public Service Electric and Gas Company (PSE&G) Electric Overhead and Underground Transmission System Rights-Of-Way, as shown on the enclosed map. A brief description of the proposed project follows:

PSE&G is required to maintain its regional electric transmission system on an ongoing basis in an effort to provide safe and reliable electric service to its approximate 2.2 million customers by the New Jersey Board of Public Utilities (BPU) and the North American Electric Reliability Corporation (NERC). This activity has been previously permitted under a "blanket" FWW GP1, issued on April 5, 2016 and set to expire on April 4, 2021 (NJDEP Permit No. 0000-02-0031.2, FWW160001). The FWW GP1 authorizes the disturbance of wetlands and State open waters necessary to perform temporary and routine maintenance and repair activities within the PSE&G Electric Overhead and Underground Transmission System Rights-of-Way including: vegetation management and maintenance; access road repair, rehabilitation or replacement; maintenance and/or reconstruction; tower and pole foundations inspections and repairs; reconductoring; and repair of underground insulation and shield tapes. The FWW GP1 also authorizes the emergency repairs within wetlands and State open waters necessary to restore service to affected areas.

The complete permit application package can be reviewed at either the municipal clerk's office or by appointment at the Department's Trenton Office. In addition, an electronic copy of the initial application can be provided via an OPRA request by contacting <https://www.nj.gov/dep/opra/opraform.html> from the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may

Government Officials

November 30, 2020

Page 2

provide concerning the proposed maintenance activities. Please submit your written comments within 45 calendar days of the date of this letter to:

New Jersey Department of Environmental Protection
Division of Land Use Regulation
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625
Attention: Application Support

If you have any questions regarding this notice, please feel free to contact me.

Very truly yours,

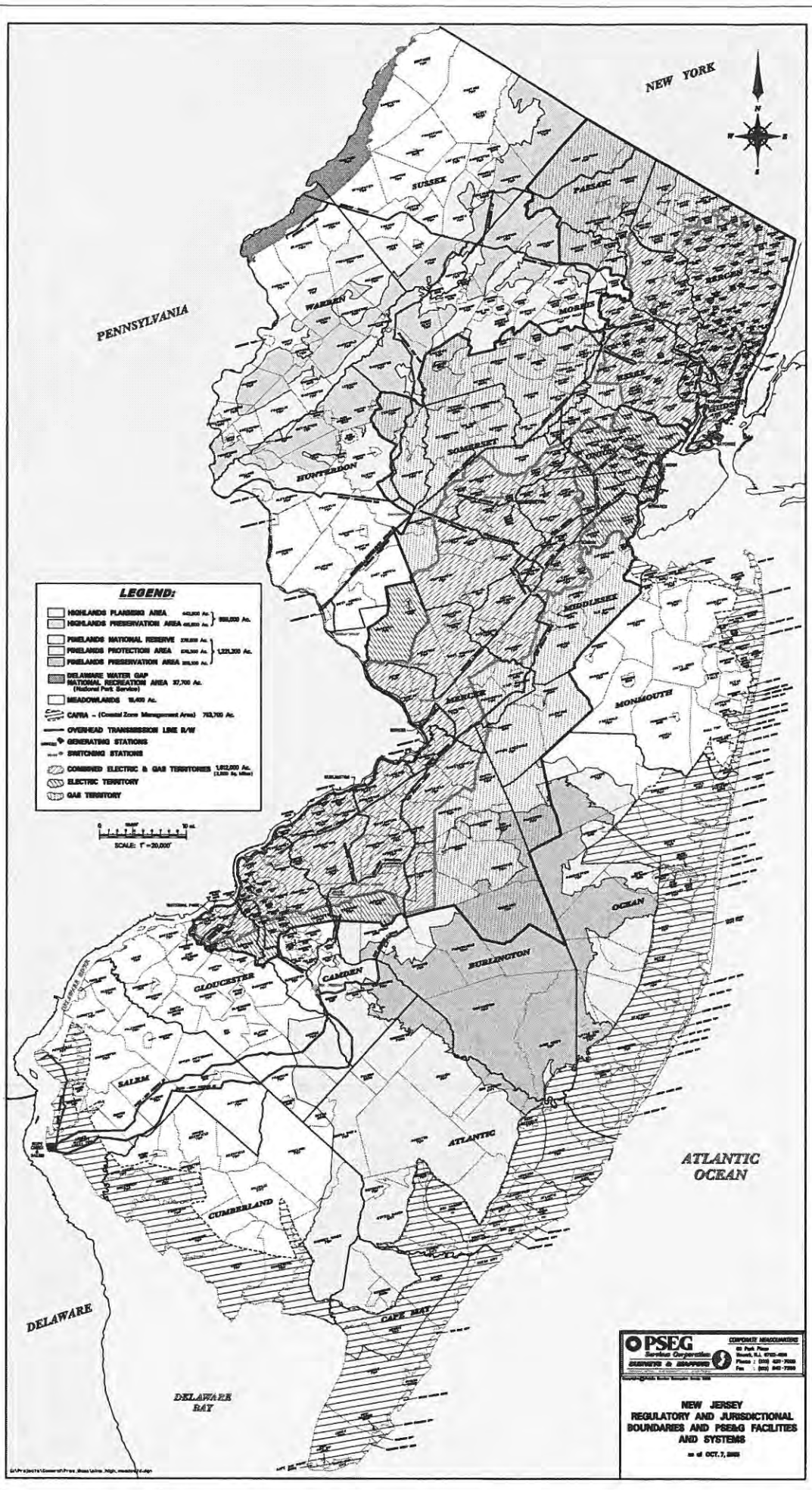
Public Service Electric and Gas Company



David W. Grossmueller, Ph.D.
Senior Permitting Specialist
PSE&G Delivery Projects & Construction
4000 Hadley Road
South Plainfield, New Jersey 07080
(908) 412-7257

DWG/kt
enclosures

cc: NJDEP Application Support



2/3 REVISED MATERIALS

**TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM**

Application No: ZB20-015 Block: 1607 Lot: 2 Zone: R-7

Applicant: SILVER LIVING LLC

Address of Property: 14 NORTH MAPLE AVENUE

Description: BULK VARIANCES + MAX LOT COVERAGE
TO RAZE EXISTING STRUCTURE, REPLACE WITH
NEW SINGLE FAMILY DWELLING

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input checked="" type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Notice to be Published (F)	<input checked="" type="checkbox"/> Imaging Fee
<input checked="" type="checkbox"/> Dimensional Statistics Form (G)	<input type="checkbox"/> Tax Map Revision Fee
<input type="checkbox"/> Contributions Disclosure Form (H)	<input checked="" type="checkbox"/> Checklist

SCHEDULING

8.17.20 Original Submission Date 60*
10.16.20 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
12.15.20 Time to Act (45/95/120 days)
60*

*COVID DEADLINES

DISTRIBUTION

8.18.20 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
10.7.20 Public Hearing
11.7.20 Carried to Date
1.6.21 CARRIED TO DATE
3.3.21 CARRIED TO DATE

NOTES

Bisogno, Loeffler & Zelley, L.L.C.

Attorneys at Law
88 South Finley Avenue
Post Office Box 408
Basking Ridge, New Jersey 07920

Vincent T. Bisogno

vbisogno@baskingridgelaw.com

Paul H. Loeffler (Member N.J. & N.Y. Bars)

ploeffler@baskingridgelaw.com

Frederick B. Zelley (Member N.J. & Pa. Bars)

fzelley@baskingridgelaw.com

Paul D. Mitchell

pmitchell@baskingridgelaw.com

Telephone: (908) 766-6666

Facsimile: (908) 766-7809

January 29, 2021

Ms. Cynthia Kiefer, Administrator
Bernards Township Board of Adjustment
277 South Maple Avenue
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for Bulk Variances
Applicant: Silver Living LLC
Tax Block 1607, Lot 2 – 14 North Maple Avenue

Dear Ms. Kiefer:

As you know, this office represents Silver Living LLC, the Applicant in the above referenced Application, which is presently scheduled to be heard by the Board of Adjustment on Wednesday, March 3, 2021.

In view of the Board's comments at the first hearing and discussions with the objecting neighbor's attorney, our team has revised the architectural and engineering plans. The revised plans reflect improvement as to the following:

1. Proposed Impervious Coverage (decreased from 37.4% to 32.5%);
2. Proposed Rear Yard Setback (increased from 20.5' to 23.8');
3. Side Yard Setback (increased from 18.7' to 22.1'); and
4. Increase in the distance of the proposed retaining wall from the objecting neighbor's property line, from less to 5' to more than 20'.

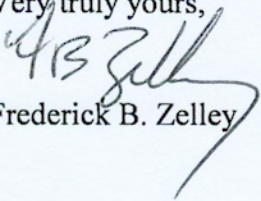
The revised plans do reflect a decrease in the North Maple Avenue Front Yard Setback (28.0'), but we believe this to be an acceptable setback given the fact that the proposed setbacks are East Allen Street not North Maple Avenue.

Enclosed herewith please find the following:

1. Revised Dimensional Statistics Sheet (17)
2. Revised Engineering Plans by Murphy & Hollows Associates (3 Sheets) (17 Sets)
3. Revised Architectural Plans by Battersby Architecture and Design (6 Sheets) (17 Sets)

Thank you for your attention and anticipated continued cooperation in this matter. If you have any questions or concerns, or if we may otherwise be of any further assistance, please do not hesitate to contact me.

Very truly yours,


Frederick B. Zelle

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Somerset County Planning Board (via regular mail, w/ encl.)
Michael Osterman, Esq. (via email and regular mail, w/ encl.)
Silver Living LLC (via email, w/o plans)
William G. Hollows, P.E. (via email, w/o plans)
Douglas Battersby, R.A. (via email, w/o plans)

SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	0.5 ac	0.19 ac	0.19 ac
LOT WIDTH	156.25'	115.89' (E. Allen)	115.89' (E. Allen)
FRONTAGE	75'	118.2' (E. Allen)	118.2' (E. Allen)
FRONT YARD SETBACK	40'	10.3' (E. Allen) 33.2' (N. Maple)	5.9' (E. Allen) 28.0' (N. Maple)
REAR YARD SETBACK	40'	30'	23.8'
COMBINED SIDE YARD	60'	N/A (Corner Lot)	N/A (Corner Lot)
SIDE YARD	20'	40.6'	22.1'
COVERAGE	20%	19.3%	32.5%
HEIGHT	35'/2.5 stories	2.5 stories	34.75'/2.5 stories
IF REQUIRED, GROSS FLOOR AREA	Not Required		
IF REQUIRED, FLOOR AREA RATIO	Not Required		
IF REQUIRED, IMPROVABLE LOT AREA	5,000 sf	4,402 sf	4,402 sf

14 N. MAPLE AVE.
TOWNSHIP OF BERNARDS,
NJ 07920

DOUGLAS G. BATTERSBY
LIC #21AI02032000

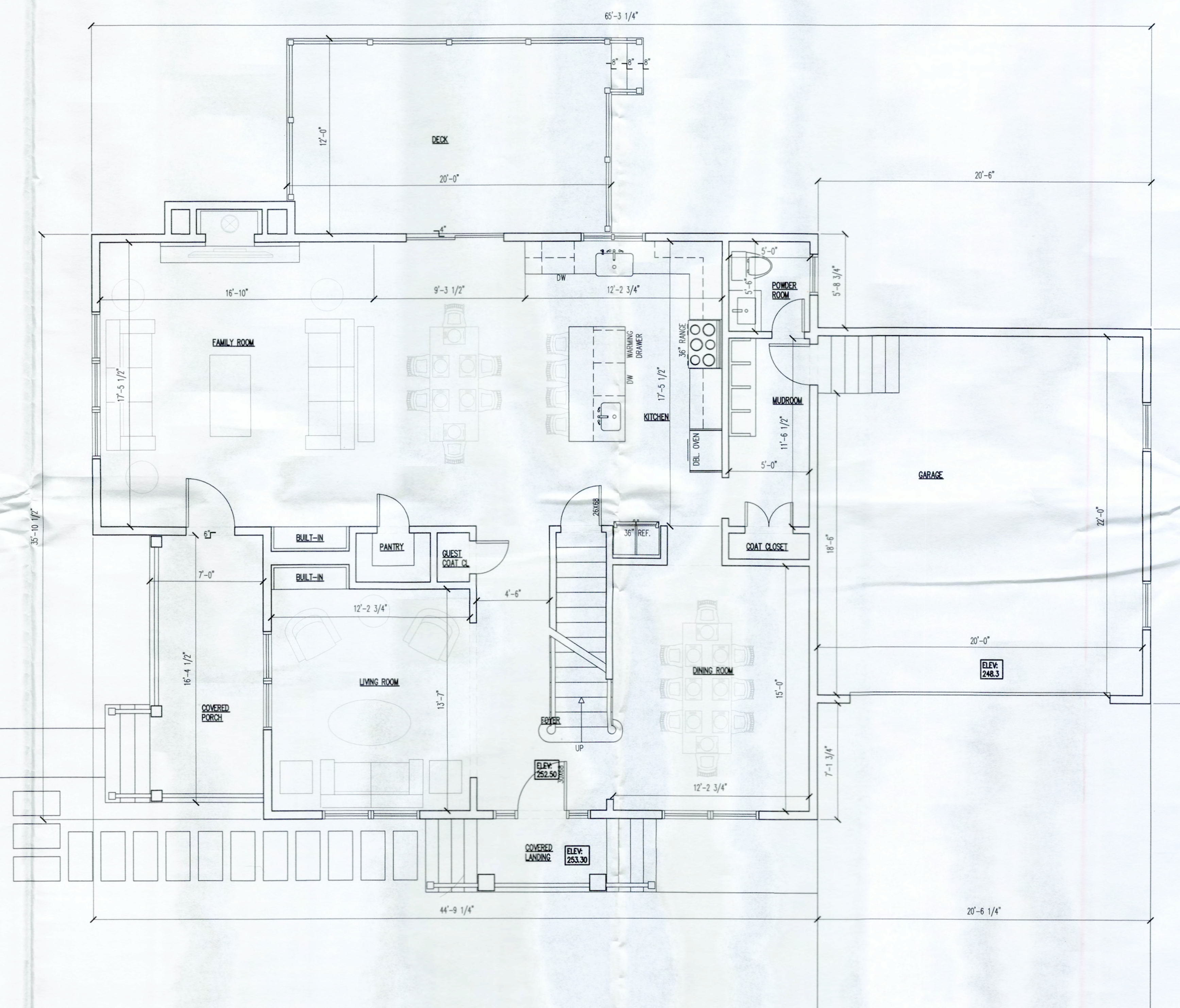
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14 N. MAPLE AVE.

PROJECT NUMBER: 009089

1ST FLOOR
CONSTRUCTION
PLAN

A-01



1
A-01

1ST FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

14 N. MAPLE AVE.
TOWNSHIP OF BERNARDS,
NJ 07920

DOUGLAS G. BATTERSBY
LIC #21AI02032000

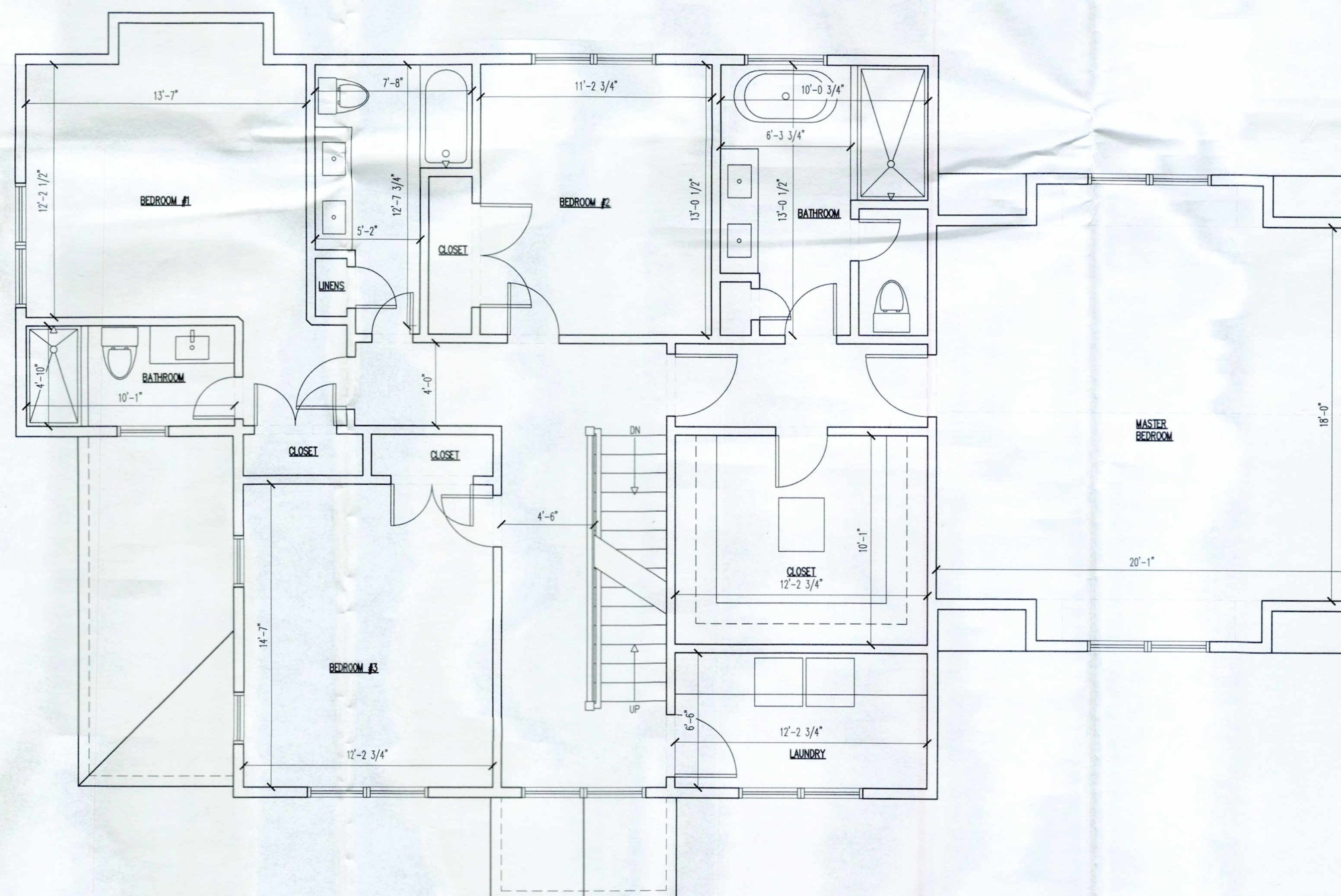
	REVIEW	2/24/2020
	VARIANCE	7/28/2020
	VARIANCE	1/27/2021

14 N. MAPLE AVE.

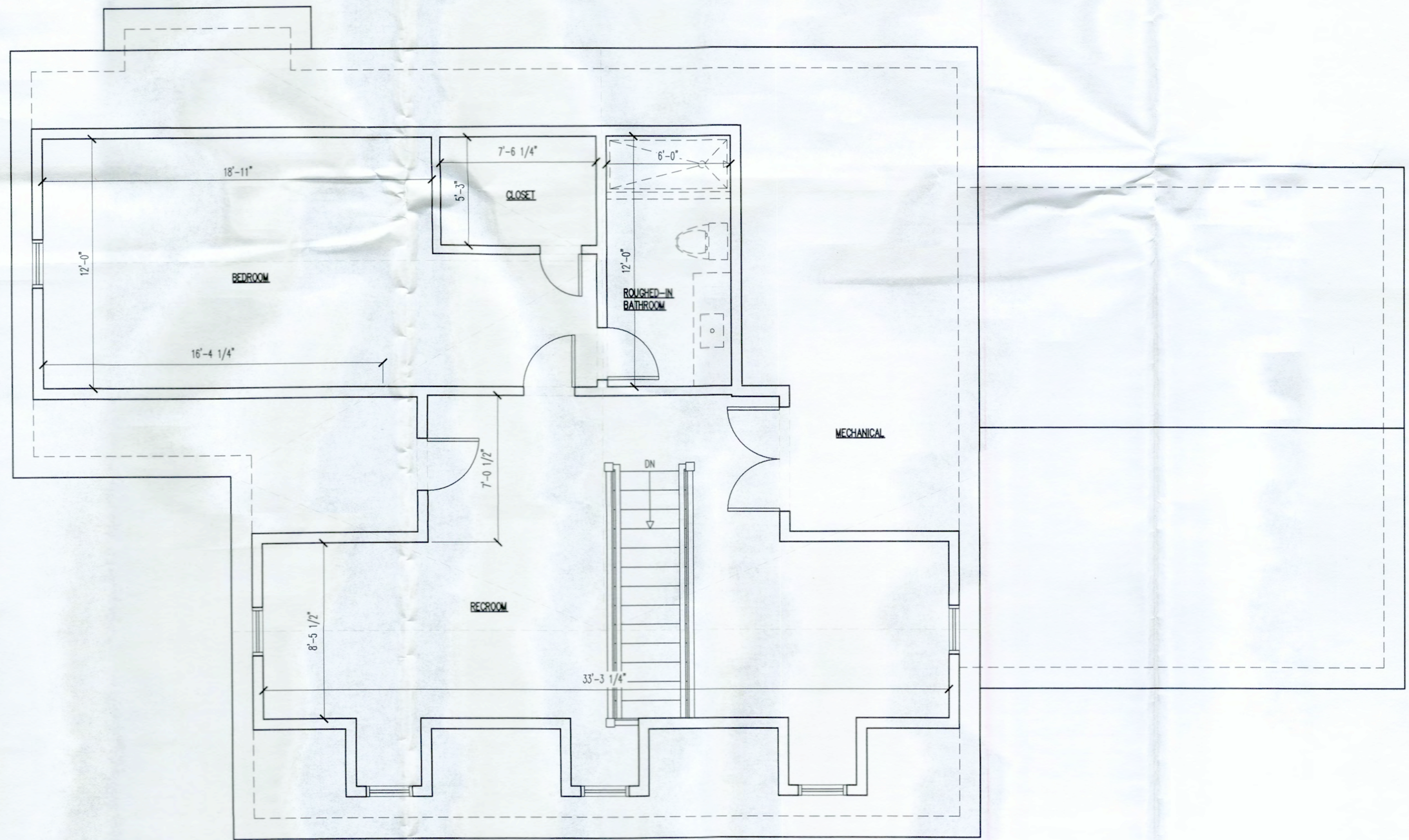
PROJECT NUMBER: 009089

2ND FLOOR CONSTRUCTION PLAN

A-02



1 2ND FLOOR CONSTRUCTION PLAN
A-02 SCALE: 1/4" = 1'-0"



1
A-03
ATTIC CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

BATTERSBY
ARCHITECTURE AND DESIGN

4 RAMAPO VALLEY ROAD
P.O. BOX 370
OAKLAND, NJ 07436

(201) 316-7478 / Doug@BattersbyAD.com

PROJECT ADDRESS:

14 N. MAPLE AVE.
TOWNSHIP OF BERNARDS,
NJ 07920

ARCHITECT SEAL/SIGNATURE

DOUGLAS G. BATTERSBY
LIC #21A102032000

ISSUANCE

REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:

14 N. MAPLE AVE.

PROJECT NUMBER: 009089

SHEET NAME:

ATTIC
CONSTRUCTION
PLAN

SHEET NUMBER:

A-03

(N)RIDGE
ELEV. 34.15 FT. ABOVE AVG. GRADE

(N)ATTIC CLG.
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR
ELEV. 9'-11 1/8" ABOVE
2ND FL.

(N)2ND FLOOR CLG.
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR
ELEV. 10'-1 3/4" ABOVE
1ST FL. (263.96)

(N)1ST FLOOR CLG.
ELEV. 9'-1 1/8"

(N)1ST FLOOR
ELEV. 0'-0" (252.5)

(N)BASEMENT CLG.
ELEV. -1'-0"

AVERAGE GRADE
ELEV. (249.36)

(N)BASEMENT FLOOR
ELEV. -9'-0"

(N)RIDGE
ELEV. 34.15 FT. ABOVE AVG. GRADE

(N)ATTIC CLG.
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR
ELEV. 9'-11 1/8" ABOVE
2ND FL.

(N)2ND FLOOR CLG.
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR
ELEV. 10'-1 3/4" ABOVE
1ST FL. (263.96)

(N)1ST FLOOR CLG.
ELEV. 9'-1 1/8"

(N)1ST FLOOR
ELEV. 0'-0" (252.5)

(N)BASEMENT CLG.
ELEV. -1'-0"

AVERAGE GRADE
ELEV. (249.36)

(N)BASEMENT FLOOR
ELEV. -9'-0"

3 LEFT ELEVATION
A-04 SCALE: 1/4" = 1'-0"

(N)RIDGE
ELEV. 34.15 FT. ABOVE AVG. GRADE

(N)ATTIC CLG.
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR
ELEV. 9'-11 1/8" ABOVE
2ND FL.

(N)2ND FLOOR CLG.
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR
ELEV. 10'-1 3/4" ABOVE
1ST FL. (263.96)

(N)1ST FLOOR CLG.
ELEV. 9'-1 1/8"

(N)1ST FLOOR
ELEV. 0'-0" (252.5)

(N)BASEMENT CLG.
ELEV. -1'-0"

AVERAGE GRADE
ELEV. (249.36)

(N)BASEMENT FLOOR
ELEV. -9'-0"

2 RIGHT ELEVATION
A-04 SCALE: 1/4" = 1'-0"

1 FRONT ELEVATION
A-04 SCALE: 1/4" = 1'-0"

BATTERSBY
ARCHITECTURE AND DESIGN

4 RAMAPO VALLEY ROAD
P.O. BOX 370
OAKLAND, NJ 07436

(201) 316-7478 / Doug@BattersbyAD.com

PROJECT ADDRESS:

14 N. MAPLE AVE.
TOWNSHIP OF BERNARDS,
NJ 07920

ARCHITECT SEAL/SIGNATURE:

DOUGLAS G. BATTERSBY
LIC #21A102032000

ISSUANCE

REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:

14 N. MAPLE AVE.

PROJECT NUMBER: 009089

SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-04

PROJECT ADDRESS:
14 N. MAPLE AVE.
TOWNSHIP OF BERNARDS,
NJ 07920

ARCHITECT SEAL/SIGNATURE:

DOUGLAS G. BATTERSBY
LIC #21A102032000

ISSUANCE

REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:
14 N. MAPLE AVE.

PROJECT NUMBER: 009089

SHEET NAME:

EXTERIOR
ELEVATION

SHEET NUMBER:

A-05

(N)RIDGE
ELEV: 34.15 FT. ABOVE AVG. GRADE

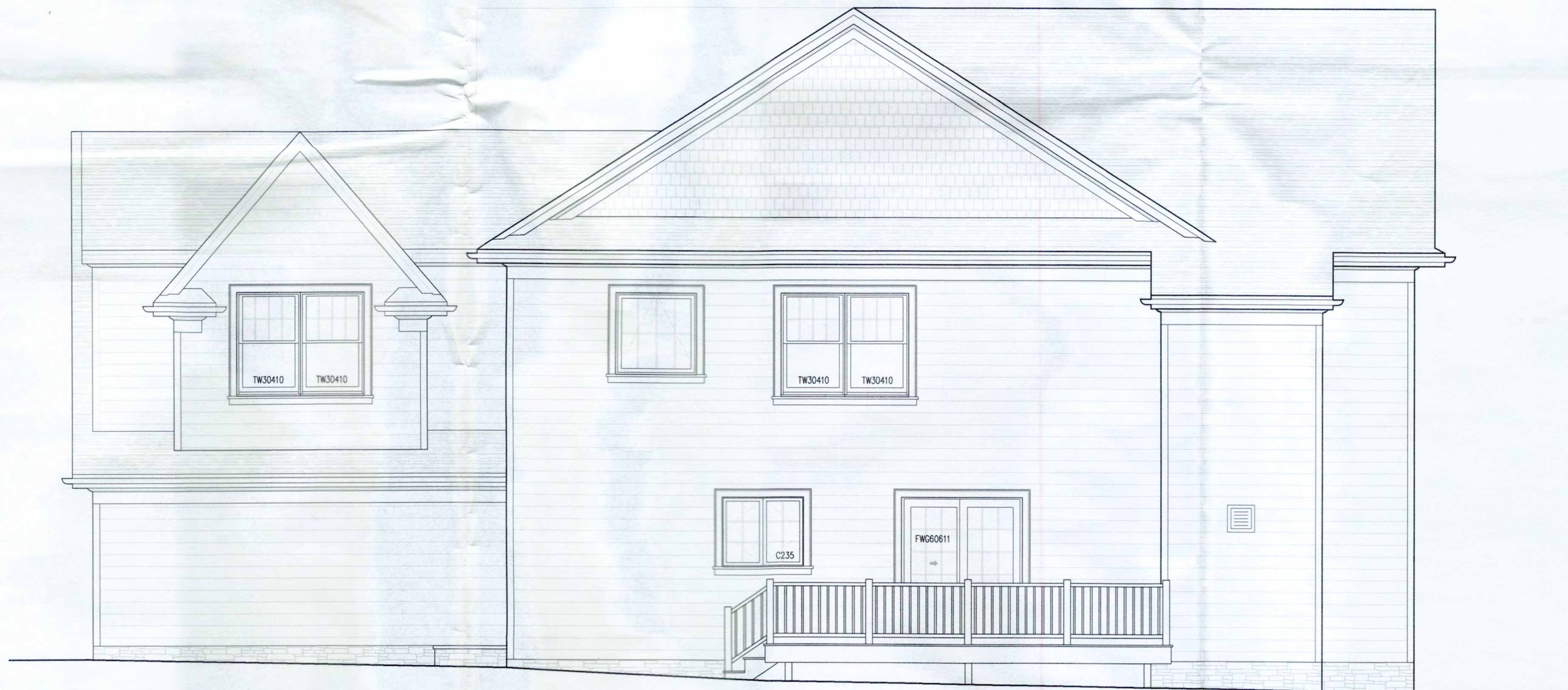
(N)ATTIC CLG.
ELEV: 7'-6" ABOVE ATTIC FL.

(N)ATTIC FLOOR
ELEV: 9'-11 1/8" ABOVE
2ND FL.
(N)2ND FLOOR CLG.
ELEV: 9'-1 1/8" ABOVE 2ND FL.

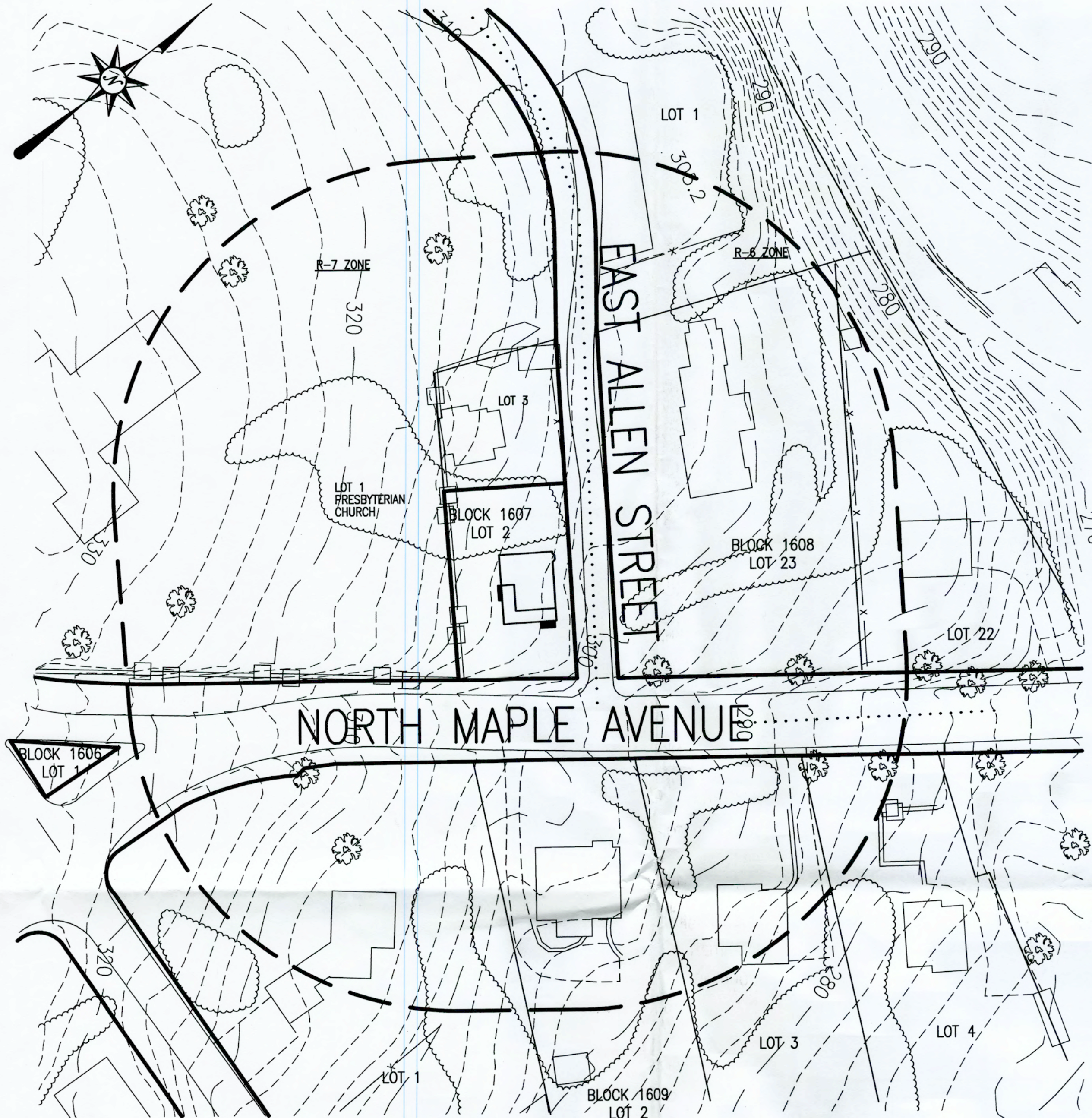
(N)2ND FLOOR
ELEV: 10'-11 3/4" ABOVE
1ST FL. (263.96)
(N)1ST FLOOR CLG.
ELEV: 9'-1 1/8"

(N)1ST FLOOR
ELEV: 0'-0" (252.5)
(N)BASEMENT CLG.
ELEV: -1'-0"
AVERAGE GRADE
ELEV: (249.36)

(N)BASEMENT FLOOR
ELEV: -9'-0"

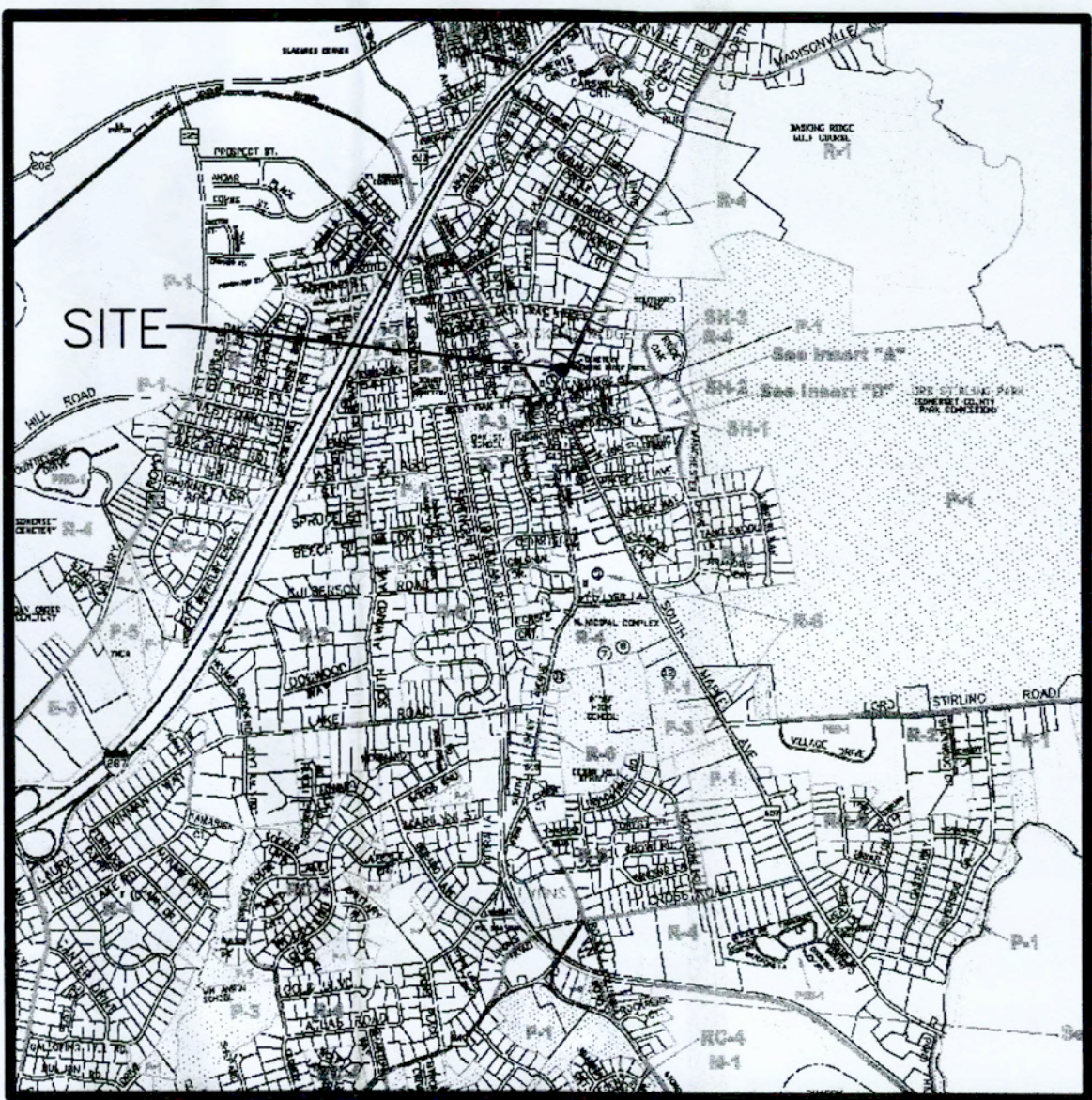


1 REAR ELEVATION
A-05 SCALE: 1/4" = 1'-0"



PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY

BLOCK	LOT	OWNER
1609	4	MENDIOLA, REDENTOR JR & OUTIERREZ, E 21 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1609	3	CHARLAND, PAUL 19 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1609	2	WICHERN, ANNE LOGAN & WALTER A. III 245 E 72ND ST, 186, NEW YORK, NY 10021
1609	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET, BASKING RIDGE, NJ 07920
1608	23	MILTON, DENNIS P. & MARGARET 20 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1608	22	PHILIPSCHICK, SUSAN 24 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1608	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET, 186, NEW YORK, NY 10021
1607	3	GRANT, KATHLEEN L 17 E. ALLEN STREET, BASKING RIDGE, NJ 07920
1607	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET, BASKING RIDGE, NJ 07920



KEY MAP

GENERAL NOTES:

- SUBJECT PROPERTY KNOWN AS LOT 2, BLOCK 1607
TAX MAP SHEET No. 16.
- AREA OF LOT 2, BLOCK 1607 = 8,416 SF; 0.19 AC.
TO SIDELINE
- OWNER & APPLICANT:
MARCO & MICHELLE SCARABAGGIO
SILVER LIVING LLC
106 WOODBINE CIRCLE
NEW PROVIDENCE, NJ 07974
- ATTORNEY FOR APPLICANT:
FREDERICK B. ZELLEY, ESQ.
BISOGNO, LOEFFLER & ZELLEY
88 S. FINLEY AVENUE
PO BOX 408
BASKING RIDGE, NJ 07920
908.766.6666
- ARCHITECT FOR APPLICANT:
DOUGLAS BATTERSBY
BATTERSBY ARCHITECTURE AND DESIGN
PO BOX 370
4 RAMAPO VALLEY ROAD
OAKLAND, NJ 07436
- OWNERS CONSENT
I HEREBY CONSENT TO THE FILING OF THIS PLAN WITH THE
PLANNING BOARD OF THE TOWNSHIP OF BERNARDS

AUTHORIZED SIGNATURE
REQUIRED APPROVALS

- A) BERNARDS TOWNSHIP PLANNING BOARD
B) SOMERSET COUNTY PLANNING BOARD
C) SOMERSET/UNION SOIL CONSERVATION DISTRICT
D) BERNARDS TOWNSHIP SEWERAGE AUTHORITY

TABLE OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	AREA MAP/ZONING SCHEDULE
2	EXISTING/PROPOSED CONDITIONS
3	DETAILS

THIS PLAN HAS BEEN APPROVED BY THE ZONING
BOARD OF THE TOWNSHIP OF BERNARDS
ON _____ DATE _____

CHAIRPERSON—BRAD BRESLIN _____ DATE _____

SECRETARY — CYNDI KIEFER _____ DATE _____

ENGINEER — THOMAS TIMKO, PE _____ DATE _____

ZONING SCHEDULE:

ZONE: R-7

REQUIREMENT

MIN. LOT AREA	1/2 AC.
MIN. LOT WIDTH (CORNER)	156.25 FT
MIN. LOT FRONTAGE	75 FT
MIN. FRONT YARD	40 FT
MIN. REAR YARD	40 FT
MIN. SIDE YARD (ONE)	20 FT
MIN. SIDE YARD (COMBINED)	60
MAX. LOT COVERAGE	20%
MAX. BUILDING HEIGHT	35 FT/2 1/2 STY
MIN. IMPROVABLE LOT AREA	5,000 SF
MIN. ACCESSORY SIDE SETBACK	10 FT
MIN. ACCESSORY REAR SETBACK	10 FT
MIN. ACCESSORY DISTANCE BETWEEN BLDGS	10 FT

REQUIRED

EXISTING

PROPOSED

0.19 AC.*	0.19 AC.*
115.89 FT (EAST ALLEN)*	115.89 FT (EAST ALLEN)*
118.2 FT (EAST ALLEN)	118.2 FT (EAST ALLEN)
10.3 FT*(EAST ALLEN)	5.9 FT*(EAST ALLEN)
33.2 FT*(N. MAPLE)	28.0 FT*(N. MAPLE)
30.0 FT*	23.8 FT**
40.6 FT	22.1 FT**
NA	NA
19.3%	32.5%**
2 1/2 STY*	34.75 FT
4402 SF*	4402 SF*
NA	NA
NA	NA
NA	NA

COVERAGE CALCULATIONS

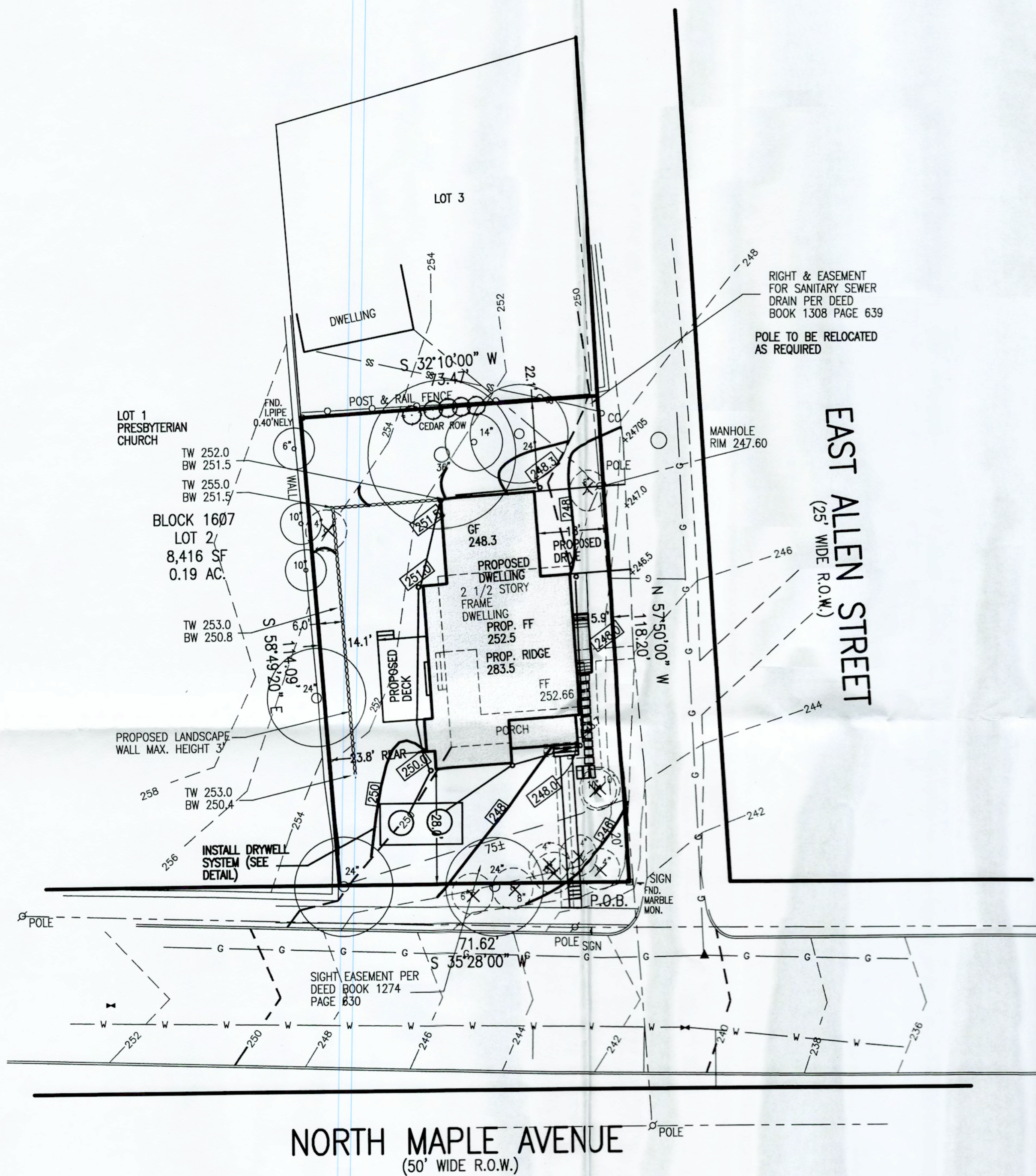
EXISTING	PROPOSED
HOUSE	985 SF
PORCH	366 SF
WALK	275 SF
TOTAL	1626 SF

EXISTING	PROPOSED
HOUSE	1910 SF
PORCHES	180 SF
WALKS	281 SF
DRIVE	367 SF
TOTAL	2738 SF

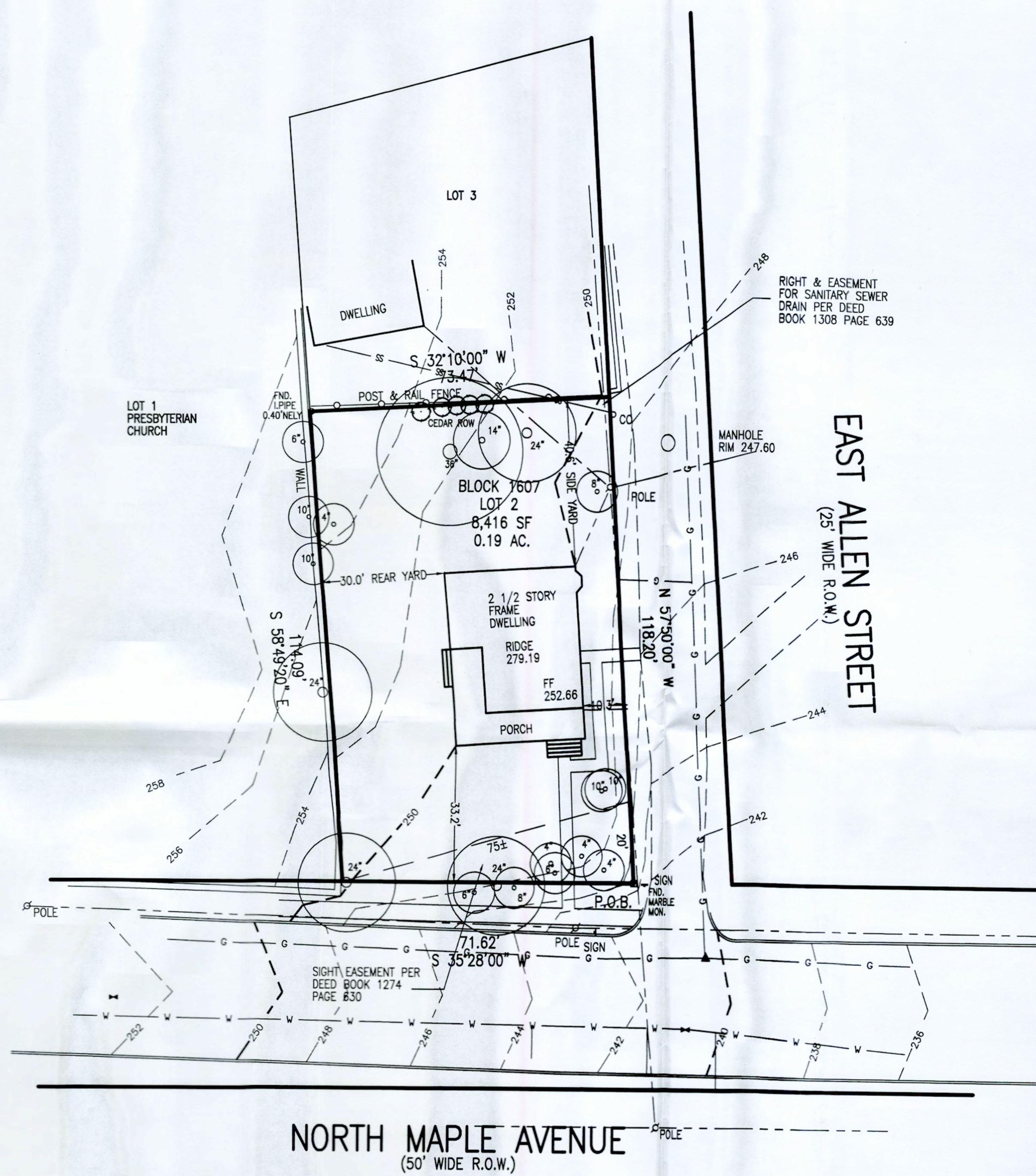
* DENOTES EXISTING NONCONFORMING CONDITION
** DENOTES PROPOSED NONCONFORMING CONDITION

DRAWN BY:	SP	CHECKED BY:	WGH
JOB No.	19-104		
BOOK			
SCALE	1" = 50'		
DATE	NOVEMBER 1, 2019		
REVISIONS	APRIL 27, 2020 HOUSE JANUARY 25, 2021 HOUSE		
CERTIFICATE OF AUTHORIZATION	No. 24GA27959700		
NOTES			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com			
VARIANCE PLAN FOR LOT 2 BLOCK 1607 14 N. MAPLE AVENUE & E. ALLEN STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE	SHEET		
LF19-104	1 OF 3		

N:\CAD Drawings\2019\19-104\REV2\19-104VP2.dwg, 1/28/2021 11:26:09 AM



PROPOSED CONDITIONS



EXISTING CONDITIONS

DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 19-104			
BOOK			
SCALE 1" = 20'			
GRAPHIC SCALE			
DATE NOVEMBER 1, 2019			
REVISIONS APRIL 27, 2020 HOUSE JANUARY 25, 2021 HOUSE			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.586.1255 murphyhollows@gmail.com			
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FILE	SHEET		
LF19-104	2		
	OF		
	3		

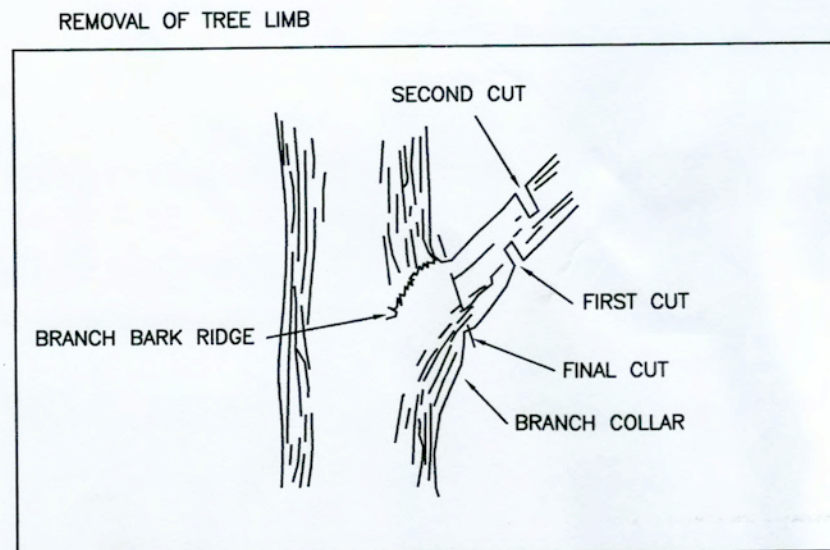
SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKLED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOT 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOT 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCE BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE TOWNSHIP/DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE TOWNSHIP.
- ALL TREES OUTSIDE OF THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE TOWNSHIP MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE TOWNSHIP MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTION FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ FT AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ FT
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATION
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ FT AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ FT
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
 - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
 - APPLY HARD FESCUE SEED AT 2.7 LBS PER 1000 SQ FT AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ FT AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

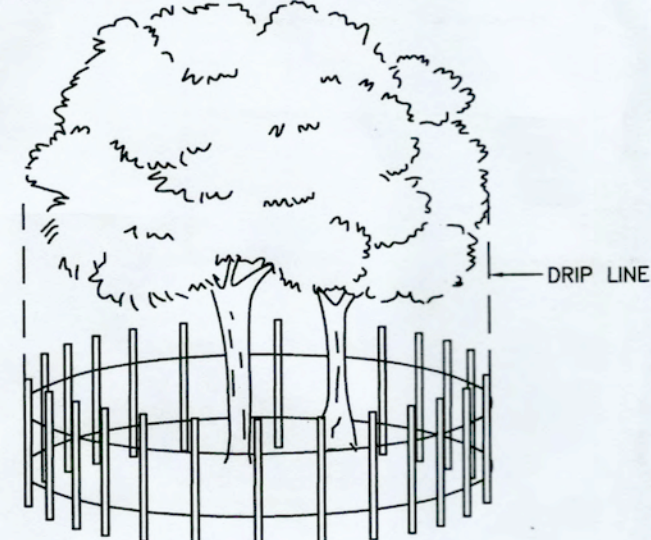
*NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE NOTICE IN WRITING, SHALL BE GIVEN TO BERNARDS TOWNSHIP ENGINEER(INSPECTIONS) & SOMERSET COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

SEQUENCE OF CONSTRUCTION:

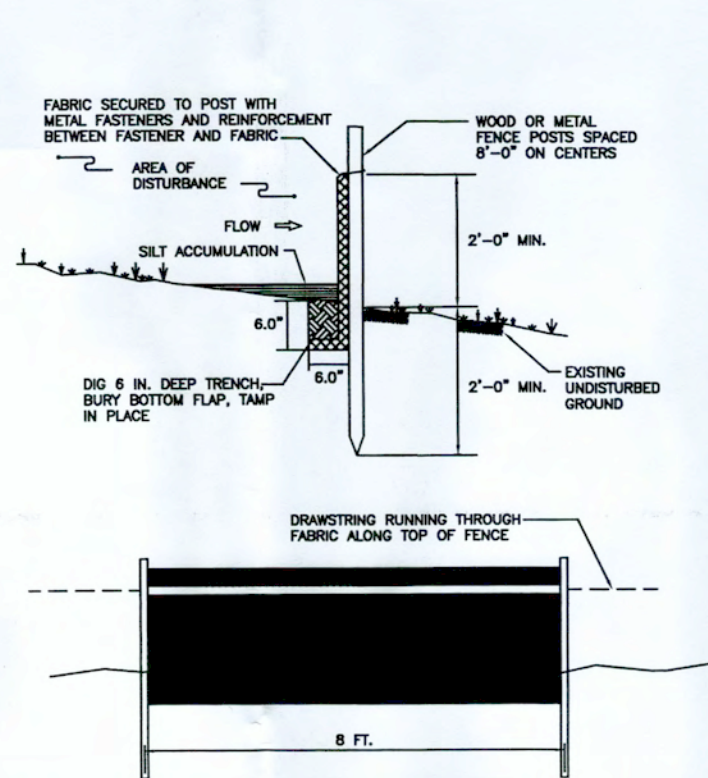
- Clear proposed construction area _____ 2 days
- Install silt fence as shown on plan _____ 1 day
- Rough grade site & stockpile topsoil _____ 2 days
- Begin building addition _____ 6 months
- Install drainage system (if required) _____ 2 days
- Fine grade and seed _____ 2 days
- Power drive _____ 2 days
- Remove silt fence _____ 1 day



CORRECT FENCING FOR TREE PROTECTION



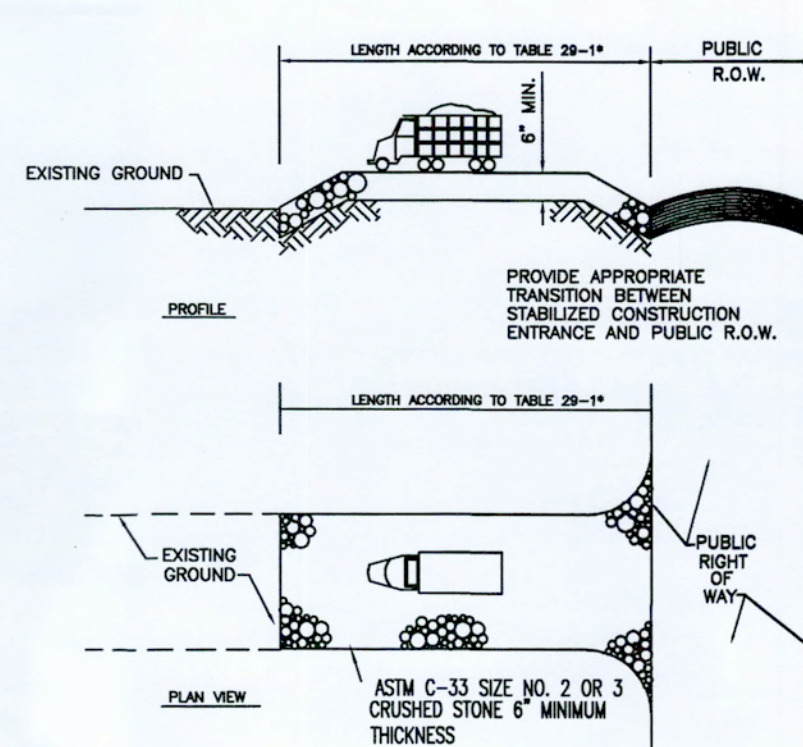
TREE PROTECTION DETAIL
NOT TO SCALE



REQUIREMENTS FOR SILT FENCE:

- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND (TYP. 25-30) FEET SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 4 INCH OR SMALLER OPENINGS AND AT LEAST 8 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SOIL USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 8 FEET ABOVE GROUND. THE FABRIC SHALL BE SECURED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (WIRE MESH, GEOTEXTILES, ETC.) PLACED BETWEEN THE FASTENERS AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POSTS. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

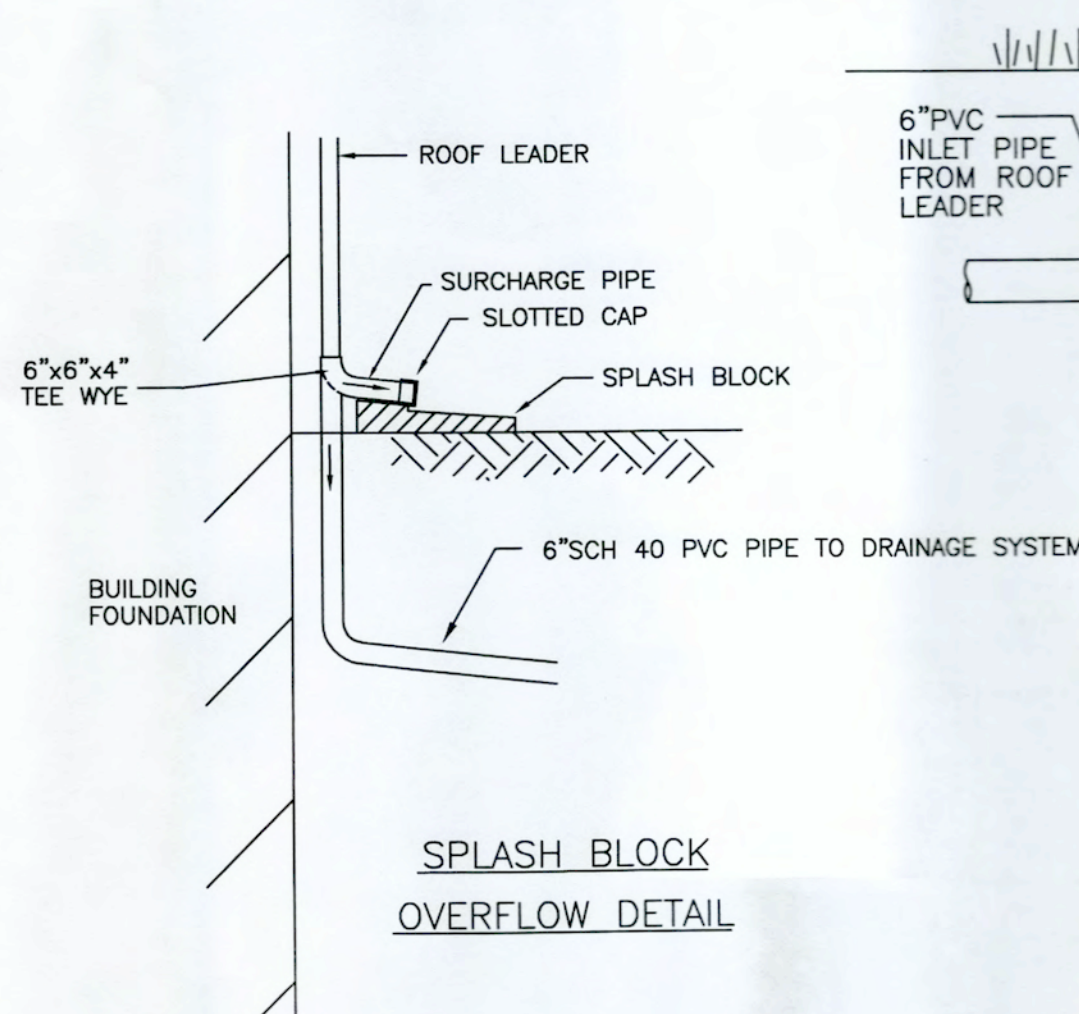
SILT FENCE
NOT TO SCALE



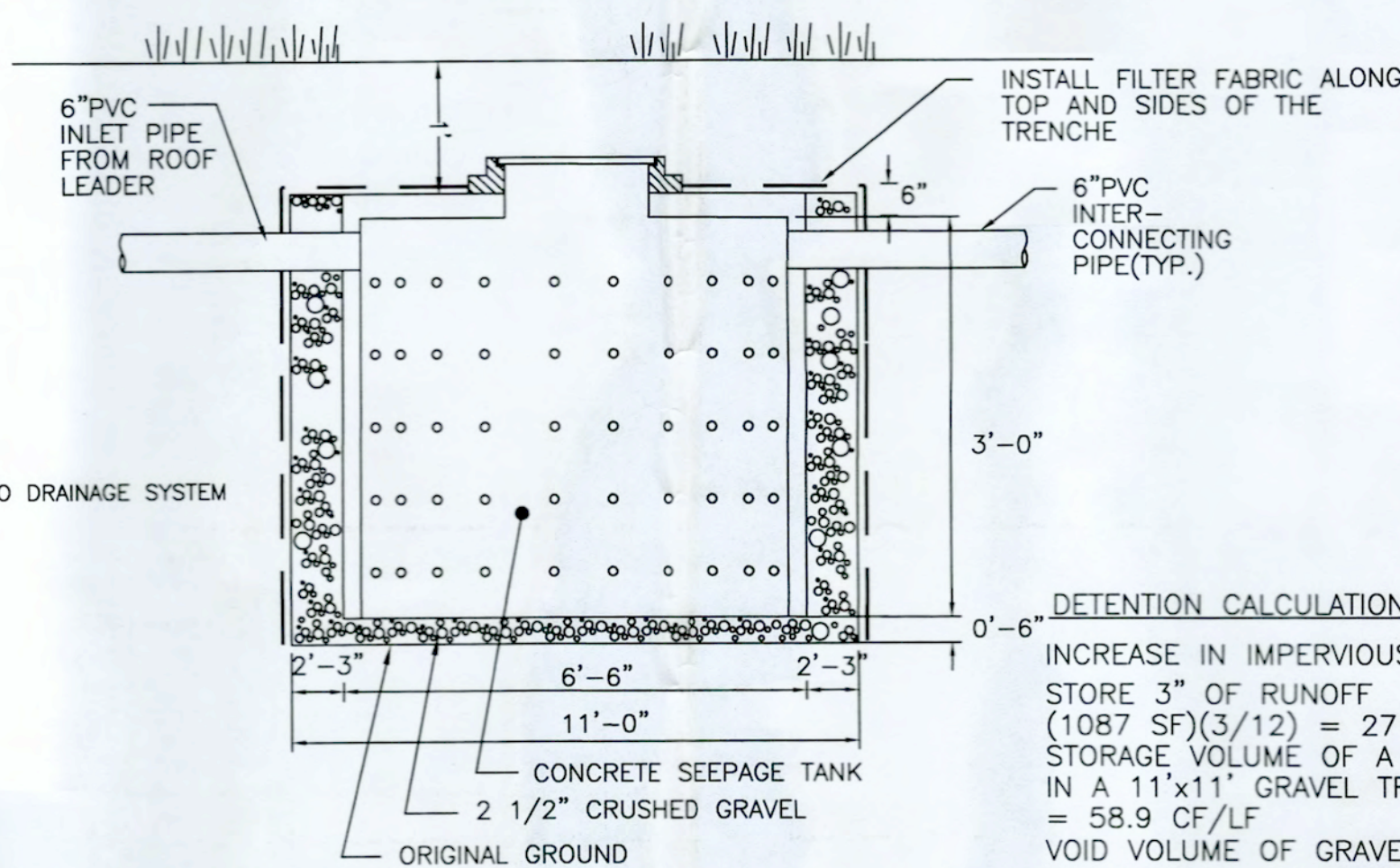
STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE

LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0-2%	50 FT.	100 FT.
2-5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE	



SPLASH BLOCK
OVERFLOW DETAIL

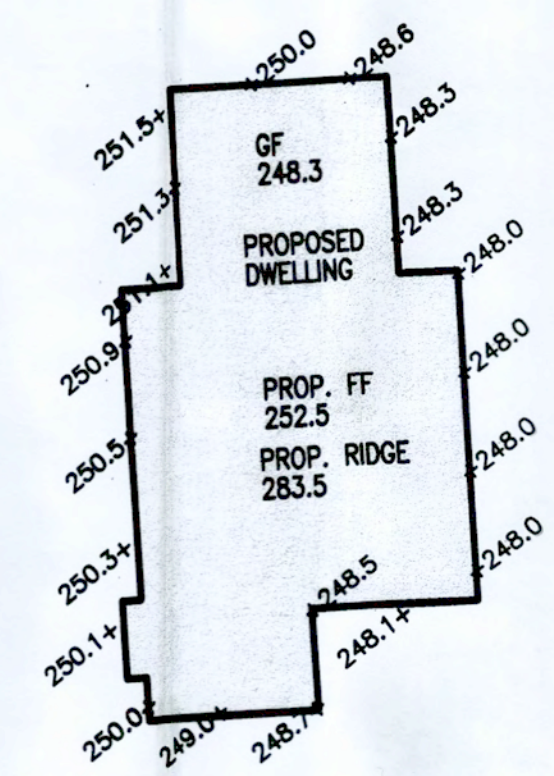
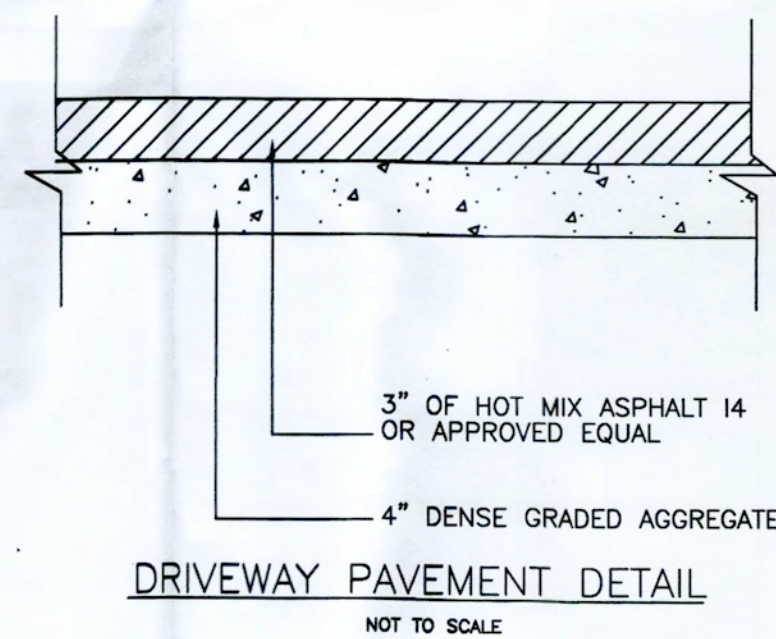


DRYWELL DETAIL

DETENTION CALCULATIONS

INCREASE IN IMPERVIOUS = 1087 SF
STORE 3" OF RUNOFF
(1087 SF)(3/12) = 271.75 CF
STORAGE VOLUME OF A 6' DIA. DRYWELL
IN A 11'x11' GRAVEL TRENCH W/33% VOID VOLUME
= 58.9 CF/LF
VOID VOLUME OF GRAVEL BASE = (10x20x0.5)0.33 = 33 CF
271.75 CF - 33 CF = 238.75 CF
238.75/58.9 = 4.05 LF
INSTALL 2 DRYWELLS 2.5 LF BELOW INVERT
WITH 6" PVC INTERCONNECTION PIPES)

NOTE: THE PROPOSED DRAINAGE IS DEPENDENT UPON THE PERCOLATION RATE OF THE EXISTING SOIL AND WATER TABLE. THE APPLICANT SHALL COMPLETE AN ANALYSIS OF THE SOIL PRIOR TO THE INSTALLATION OF THE SEEPAGE PIT. A COPY OF THE RESULTS SHALL BE FORWARDED TO THE TOWNSHIP ENGINEER'S OFFICE. SHOULD THE EXISTING SOIL BE UNSUITABLE, AN ALTERNATE METHOD SHALL BE DESIGNED AND SUBMITTED TO THE TOWNSHIP ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.



TOTAL 4987.27/20 = 249.36

249.36
249.36
249.36 ALLOWABLE RIDGE HEIGHT

PROPOSED RIDGE HEIGHT = 252.5 + 31.0 = 283.5
F.F. TO RIDGE = 31.0

THEREFORE BUILDING HEIGHT = 283.5-249.36 = 34.15 FT

DRAWN BY: SP CHECKED BY: WGH

JOB No. 19-104

BOOK

SCALE

1" = 20'

GRAPHIC SCALE

DATE

NOVEMBER 1, 2019

REVISIONS
APRIL 27, 2020 HOUSE
JANUARY 25, 2021 HOUSE

CERTIFICATE OF AUTHORIZATION
No. 24GA27959700

NOTES

Murphy & Hollows Associates LLC
CIVIL ENGINEERING AND SURVEYING
192 CENTRAL AVENUE, STIRLING, NJ 07980
908.580.1255 murphyhollows@gmail.com

VARIANCE PLAN
FOR
LOT 2 BLOCK 1607
14 N. MAPLE AVENUE &
E. ALLEN STREET
TOWNSHIP OF
BERNARDS
SOMERSET COUNTY
NEW JERSEY

AIDAN T. MURPHY
N.J. L.C. PROFESSIONAL ENGINEER #21319
1973-2016

William G. Hollows
WILLIAM G. HOLLOWES
N.J. L.C. PROFESSIONAL ENGINEER
& LAND SURVEYOR #27473
N.J. PROFESSIONAL PLANNER #2530

FILE

LF19-104

SHEET

3
OF
3

FL

**TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM**

Application No: ZB21-002 Block: 11102 Lot: 1 Zone: R-3

Applicant: ROTI, JOSEPH S. & LORI SCERBO-ROTI

Address of Property: 10 PACER COURT

Description: (C) FOR 6' FENCE IN FRONT YARD

(C) FOR 5' FENCE IN FRONT YARD

APPLICATION CHECKLIST

☒ Original + 16 copies of Application
☒ W-9
☒ Site Visit Consent (A)
☐ Ownership Form (B)
☒ 200' Property Search List (C)
☒ Tax Certification (D)
☒ Notice to be Served/Published (E)
☒ Dimensional Statistics Form (F)
☐ Contributions Disclosure Form (G)

☒ Engineering Plan/Plot Plan
☐ Architectural Plans
☒ Survey
☒ Photographs
☐ Wetlands Report/LOI
☒ Application Fee
☒ Escrow Deposit
☒ Imaging Fee
☐ Tax Map Revision Fee
☒ Checklist

SCHEDULING

1.7.21 Original Submission Date 60
3.8.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete 60
5.7.21 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
2.3.21 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

1.7.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><input type="checkbox"/> Bulk or Dimensional ("c") Variance</p> <p><input type="checkbox"/> Use ("d") Variance</p> <p><input type="checkbox"/> Conditional Use ("d") Variance</p> <p><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance</p> <p><input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision</p> <p><input type="checkbox"/> Interpretation of Zoning Ordinance</p> <p><input type="checkbox"/> Minor Subdivision</p> <p><input type="checkbox"/> Major Subdivision - Preliminary / Final</p> <p><input type="checkbox"/> Other (specify):</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

1. APPLICANT: Joseph S. Roti / Lori Scerbo Roti

Address: 10 PACER CT.

Phone: (home) 908 647 1029 (work) _____ (mobile) 201 921 2818

Email (will be used for official notifications): joesal100@yahoo.com

2. OWNER (if different from applicant): N/A

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: N/A

Address: _____

Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: _____ Profession: _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

5. PROPERTY INFORMATION: Block(s): 11102 Lot(s): 1 Zone: R3

Street Address: 10 PACER CT. Total Area (square feet/acres): _____

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain) I HAVE A SIX FT. FENCE SURROUNDING MY POOL. THIS AREA FACES RICKEY LANE & THEREFORE DEEMED A FRONT YARD.

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?
[X] No [] Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:
Single family home. My family resides in this home. I plan to add a storage shed on my property. 12x18' in size.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):
I seek a variance to locate this shed on a portion of my property defined as a front yard, 21-16.1
I have a six ft. fence surrounding my pool also in the front yard. 21-16.2

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:
The unusual shape of my property has the majority of open space in the area facing Ricker Lane (front yard)
Given the large population of deer that frequents my property I need a higher fence.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Joseph, Roti and Jori, Roti hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Joseph Roti and Jori Roti

Sworn and subscribed before me, this 6 day of JANUARY, 2021

B. Manjushree
Notary

MANJUSREE R. REVURI
NOTARY PUBLIC OF NEW JERSEY
ID # 50001769
My Commission Expires 8/13/2024

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Joe + Lori Roti

Block: 11102 Lot: 1

Street Address: 10 PACER Ct.

I, Joe Roti, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:

Joseph S. Roti

Date:

1/6/2021

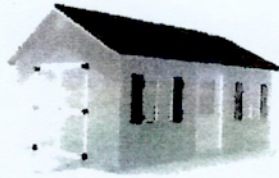
SUBMIT 17 COPIES TOTAL

FORM F

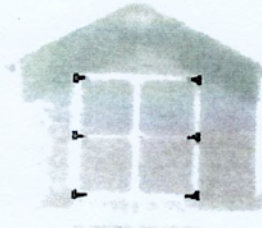
DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	2 ACRES	4.267 ACRES	4.2167 ACRES
LOT WIDTH	250'	360'	360'
FRONTAGE	125'	370' Rickey 639' PACER	370' Rickey 639' PACER
FRONT YARD SETBACK	N/A	105'	140'
REAR YARD SETBACK	20'	78'	232'
COMBINED SIDE YARD	N/A	N/A	N/A
SIDE YARD	N/A	N/A	70'
COVERAGE	15%	6.0%	6.1%
HEIGHT	20'	N/A	10'
IF REQUIRED, GROSS FLOOR AREA	N/A	N/A	N/A
IF REQUIRED, FLOOR AREA RATIO	N/A	N/A	N/A
IF REQUIRED, IMPROVABLE LOT AREA	N/A	N/A	N/A

Images



Perspective



Left

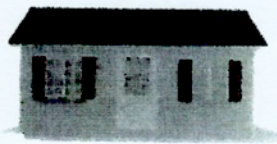


Back

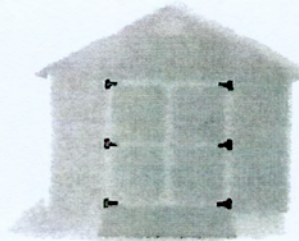
12/1/2020

Yahoo Mail - Your Custom Shed Design Has Been Submitted For A Quote (#1606156708416664-1 - Joe Roti)

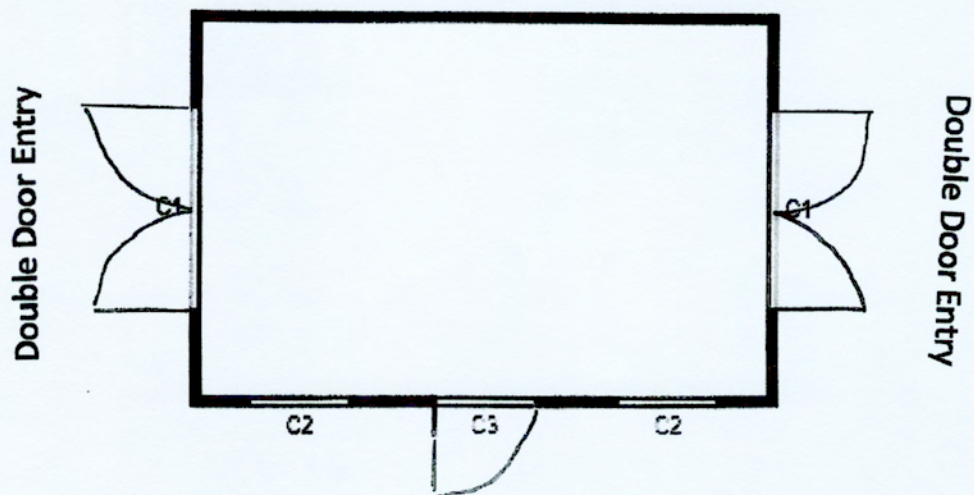
Images

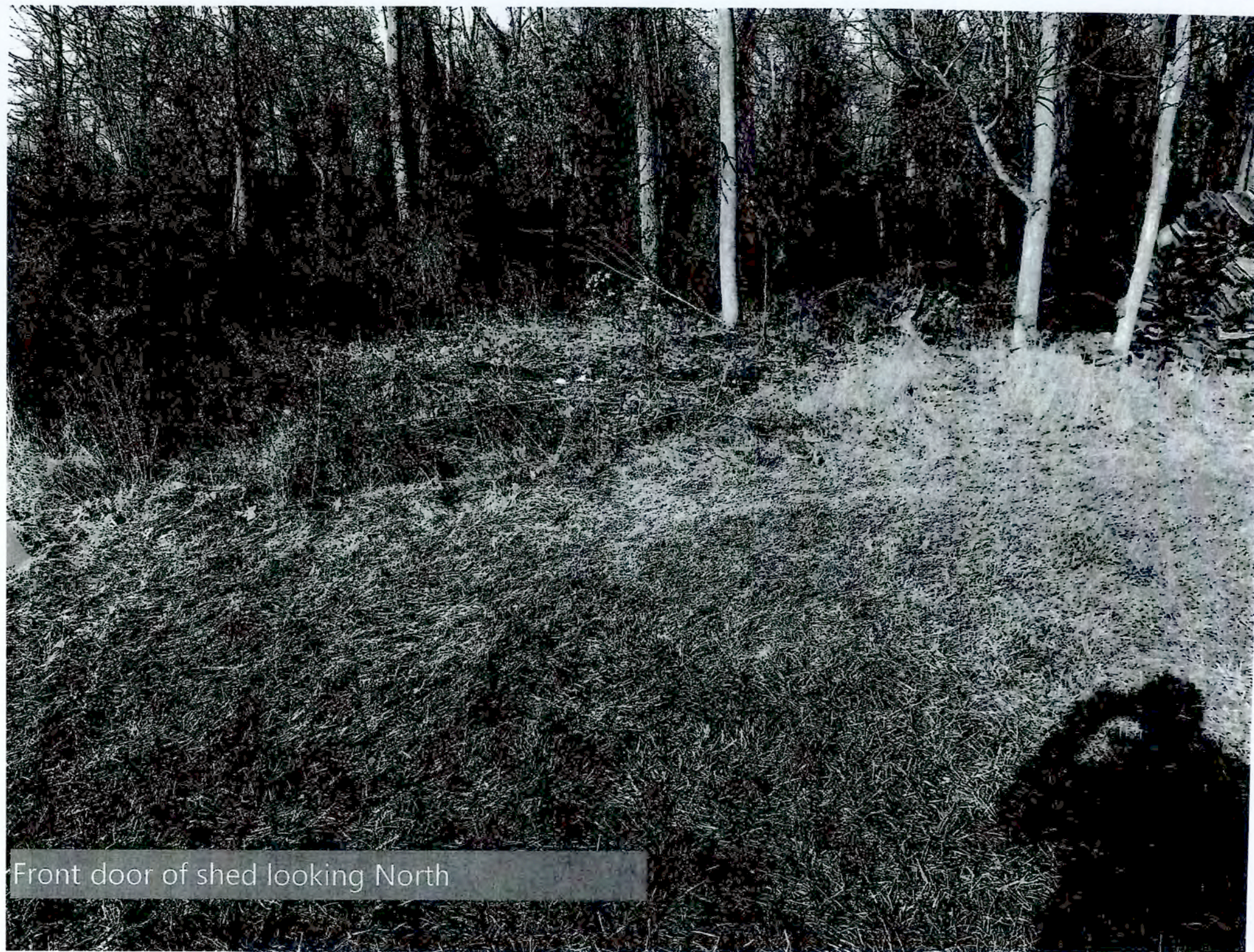


Front

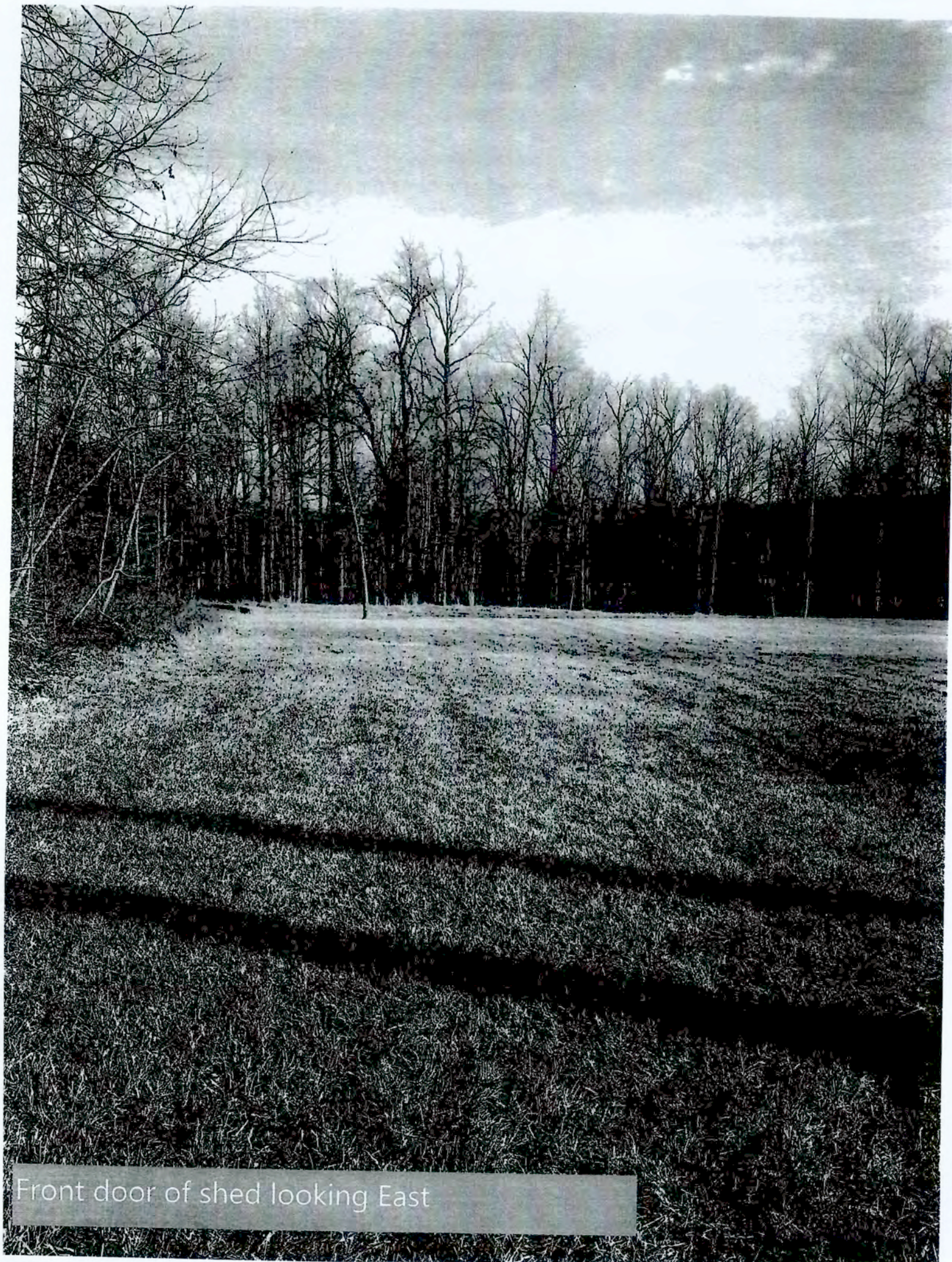


Right





Front door of shed looking North



Front door of shed looking East



Front door of shed looking South



Front door of shed looking West



View from curb of Pacer Ct.

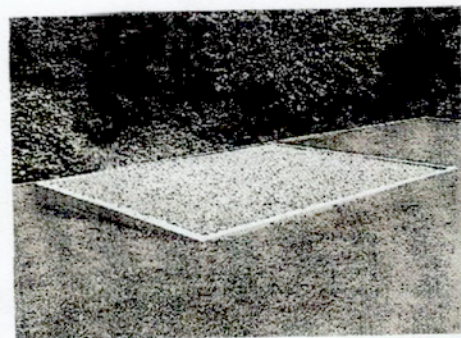
APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	



18' X 20' Crushed Stone Pad



Proposed Shed 12' X 18'

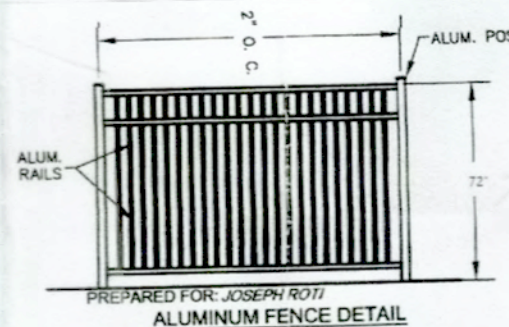
TEMPORARY CUL-DE-SAC
EASEMENT

RICKEY LANE
50' WIDE

BEGINNING POINT
SIGHT EASEMENT

R=25.00'
L=39.27'
Δ=90°00'00"

LOT 59.01
NIF AT ET TAX UNIT



NORTH PER FILED MAP No. 3044

LOT 1
BLOCK
185,892
4.267

Shed location

PACER COURT
50' WIDE

SEPTIC
BED

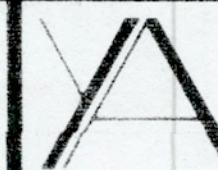
FILED MAP REFERENCE: MAP ENTITLED
"FINAL MAP OF PACER ESTATES" TOWNSHIP
OF BERNARDS, SOMERSET COUNTY, NEW JERSEY
DATED MAR. 10, 1993, LAST REVISED 6-24-93
WHICH MAP WAS FILED IN THE SOMERSET COUNTY
CLERK'S OFFICE ON NOV. 4, 1994 AS MAP No. 3044

NOTES:
1.) AS PER CONTRACTUAL AGREEMENT NO PROPERTY
CORNERS HAVE BEEN SET.
2.) THIS SURVEY IS SUBJECT TO ANY RESTRICTIONS,
RESERVATIONS, EASEMENTS, UNDERGROUND UTILITIES,
PROVISIONS AND CONDITIONS OF RECORD.

DRAWN BY: DAN P.	DATE: Nov. 2, 1995	W.O. 25898 FB 628-52,54
CHECKED BY: DJP	SCALE: 1"=60'	FILE:

DANA J. BEHRE
N. J. LIC. LAND SURVEYOR NO. 30079

SURVEY OF
LOT 18.06 BLOCK 187
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY



YANNACCONI ASSOCIATES, INC.
CIVIL ENGINEERS & SURVEYORS
460 MAIN STREET
P.O. BOX 459
CHESTER, NEW JERSEY 07930
PHONE: 201-879-6646

SHEET
1 OF 1
REV

EC

**TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM**

Application No: ZB21-005 Block: 2701 Lot: 32 Zone: R-2

Applicant: BURCAT, JOSEPH & ADRIENNE

Address of Property: 153 SPENCER ROAD

Description: (C) VARIANCE FOR FRONT YARD SETBACK
(ADDITION) AND FOR POOL NOT LOCATED BEHIND
REAR BUILDING LINE OF ADJACENT DWELLING

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input checked="" type="checkbox"/> Imaging Fee
<input type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
	<input checked="" type="checkbox"/> Checklist

SCHEDULING

1.14.21 Original Submission Date 60
3.15.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete 60
5.14.21 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
3.3.21 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

1.14.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify):</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

1. APPLICANT: Joseph and Adrienne Burcat
Address: 153 Spencer Road, Basking Ridge, NJ 07920
Phone: (home) 908-204-8908 (work) 732-565-5711 (mobile) _____
Email (will be used for official notifications): burcat@earthlink.net

2. OWNER (if different from applicant): _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: _____
Address: _____
Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):
Name: Ann Sears - ANDesign LLC Profession: Architecture - Design
Address: 36 Demarest Rd., Sparta, NJ 07871
Phone: 973-300-1100 Email (will be used for official notifications): _____

5. PROPERTY INFORMATION: Block(s): 2701 Lot(s): 32 Zone: R2
Street Address: 153 Spencer Rd Total Area (square feet/acres): _____

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: Single Family 3 bedroom 2 bath Ranch with deck - add 2nd story so it becomes 2 story 4 bedroom 3.5 bath single family home with additional deck, above ground pool & hot tub on new deck

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

- 12-15.1(D) 1+ table 501 - Required is 100' and existing is 75.7' - proposed to build on top
- 21-8.1 Pool shall be located behind rear building line of existing residential dwelling

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:

- House currently is in the setback and we are adding a second story
- House is located on a sharp curve in Road - rear line of neighboring house is at a near 90° angle to ours.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Joseph Burcat and Adrienne Burcat hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):

[Signature] and [Signature]

Sworn and subscribed before me, this 13TH day of JANUARY, 2021.

[Signature]
Notary Public - New Jersey
Commission #2442187
Expires 01/10/24

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

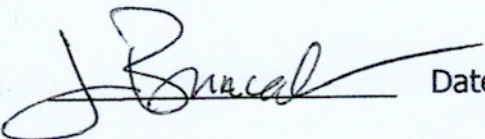
SITE INSPECTION CONSENT FORM

Applicant: ^{in Adrienne} Joseph^h Burcat Application: _____

Block: 2701 Lot: 32

Street Address: 153 Spencer Rd

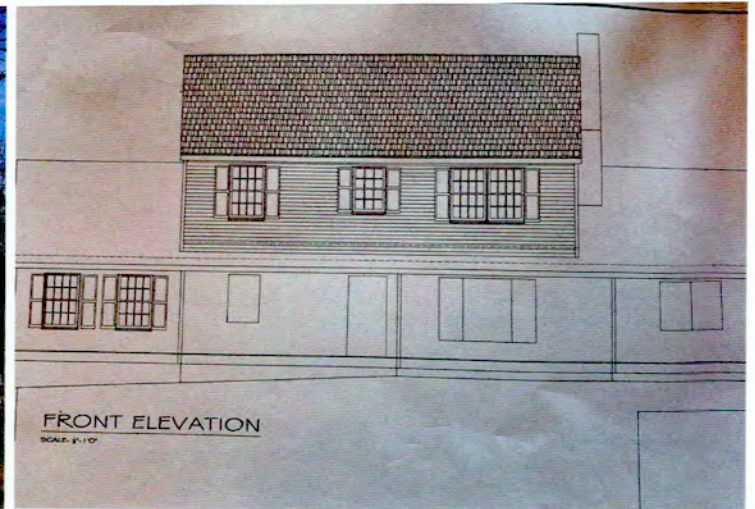
I, Joseph Burcat, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 12/29/20

	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 S.F.	79,554 S.F.	No change
LOT WIDTH	250'	229.1'	No change
FRONTAGE	125'	154'	No change
FRONT YARD SETBACK	100.0'	75.7'	No change
REAR YARD SETBACK	100.0'	+/- 160.7	133.1'
COMBINED SIDE YARD	50' per 100' total	136.5	117.5
SIDE YARD	Rt 50' Lt 50' 100' total	Right 25.2' Left - 92.3'	No change Rt 50' Left 92.3'
COVERAGE	15% 11,493 S.F.	10.4% 8633 S.F.	
HEIGHT	35' max	22.2'	29.75'
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			



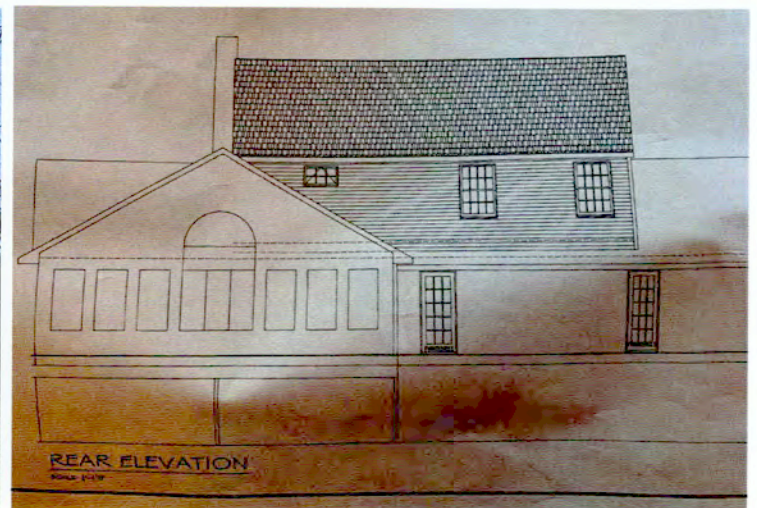
Current Front Elevation



Same View Proposed Front Elevation



Current Rear Elevation

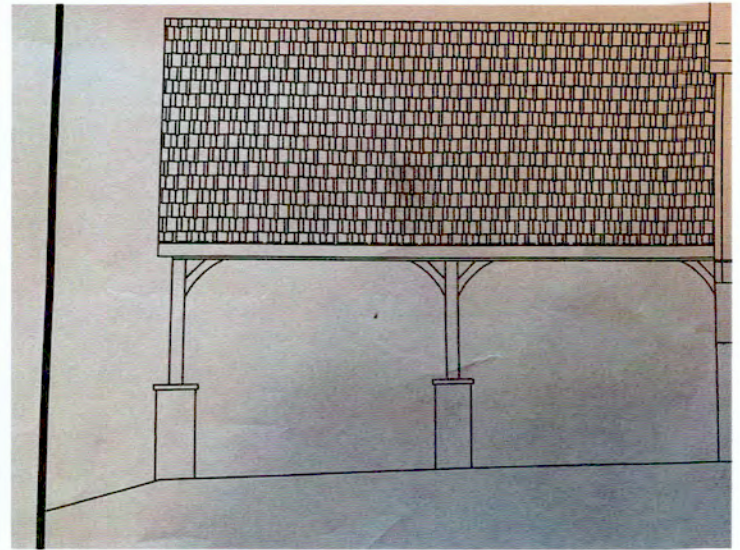


Same View Proposed Rear Elevation

Burcat - 153 Spencer Road
Proposed 2 Car Carport in Existing Driveway



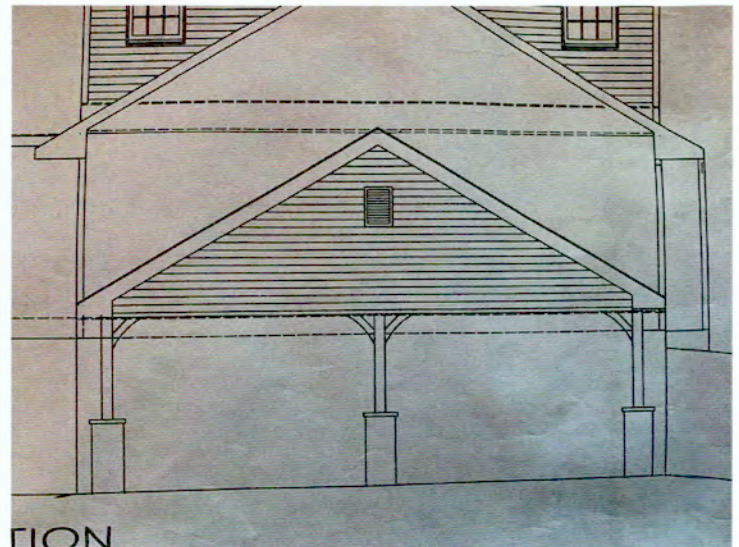
Existing Driveway on Left of House



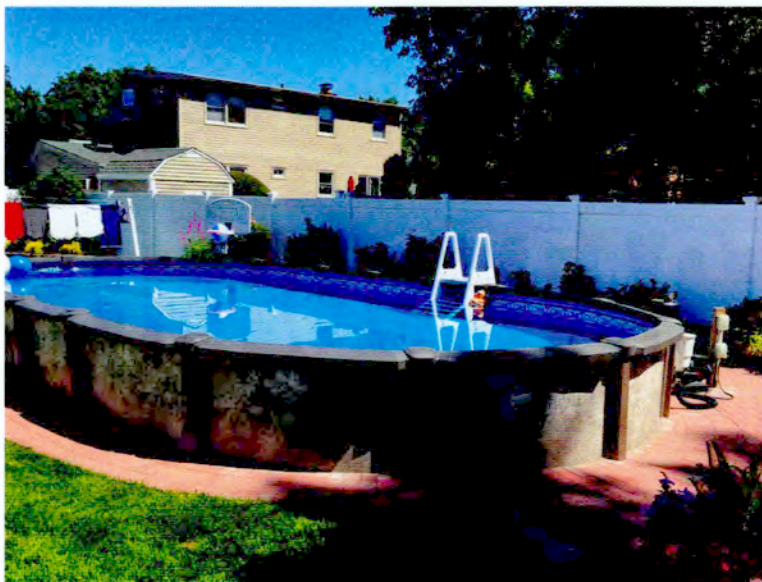
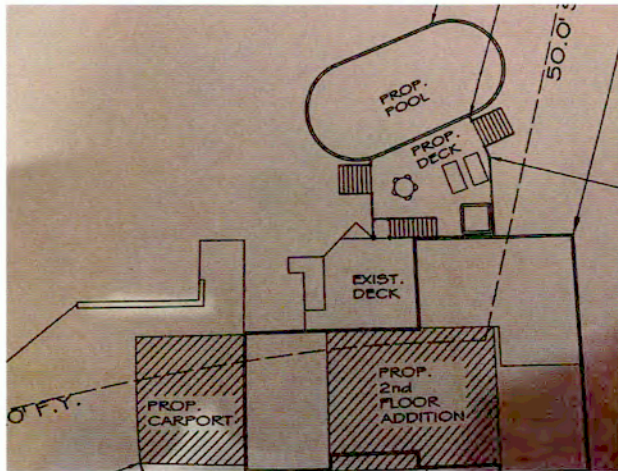
Proposed Carport in Existing Driveway



Current Elevation Driveway towards house



Proposed Elevation with Carport



Burcat proposed above ground/in-ground pool. Photos of pools are for demonstration purposes only. This is an above ground/in-ground pool. Part of the pool will go in the ground. Pool dimensions 21'x 43'x 54" and it is a salt water pool.

ENGINEERING DEPARTMENT APPROVALS	
ENGINEERING	224.52' N/A (5)
BY:	DATE
ZONING	OK
BY:	NK DATE 6-5-13
INSPECTOR	N/A
BY:	DATE

DEED REFERENCE:

VOLUME - 1790
PAGE - 43

CERTIFIED TO:


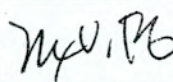
- JOSEPH BURCAT &
- ADRIENNE BURCAT
- MICHELLE F. SPENCER, ESQ.
- VEICHERT TITLE AGENCY
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- WELLS FARGO BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

NOTE:

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40.5.2

FILED MAP DATA:

LOT 20 BLOCK D
"MAP OF LANDS LOCATED IN BASKING RIDGE"
FILED NOV. 2, 1949
MAP NO. 204

LEGEND...		DATE		SCALE		DRAWN		CHECKED		TITLE NO.		ORDER NO.		REVISIONS		TAX MAP DATA									
●	LP. FND.	○	LP. TO BE MARKED	■	MON. FND.	□	MON. TO BE MARKED																		
REPRODUCTION OF THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL.																									
THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.																									
THIS SURVEY MAY NOT SHOW UNDERGROUND UTILITIES, AND/OR EASEMENTS, WETLANDS AND/OR WATERCOURSES, NEW JERSEY TIDELANDS CLAIM LINE, SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS, LOCAL MUNICIPAL AND/OR ZONING ORDINANCES.																									
THIS CERTIFICATE IS MADE ONLY TO HEREON NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY BELOW NAMED PURCHASER. NO LIABILITY WILL BE ASSUMED IF PAYMENT IS NOT RECEIVED FROM ABOVE NAMED PURCHASER OR HIS/HER AGENT(S) WITHIN 60 DAYS OF CLOSING DAY. THIS SURVEY IS NOT TO BE USED FOR LAND CLEARING, LANDSCAPING, CONSTRUCTION OF FENCES OR ANY OTHER STRUCTURES, SURVEY AFFIDAVITS, RESALE/REFINANCE OF PROPERTY OR BY ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY BELOW NAMED SURVEYOR OR A-1 LAND SURVEYS, INC., FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE THAN ITS INTENDED USE.																									
 A-1 LAND SURVEYS, INC. PROFESSIONAL LAND SURVEYORS BOX 1192 TRENTON, NJ 08606		DATE		5-14-09		SCALE		1" = 40'		DRAWN		JH		CHECKED											
		IN NEW JERSEY:		PHONE		1-800-CALL (4) A-1		1-800-225-5421		FAX		1-800-995-5421		CERT. OF AUTH. NO. GA280639		IN PENNA:		PHONE		1-215-493-9742		FAX		1-215-493-9743	
 MAX V. RAFFAELE NJ PROFESSIONAL LAND SURVEYOR		DATE		5-14-09		TITLE NO.		231154		ORDER NO.		109-4435		REVISIONS											
		DATE		NO. 35869		TAX MAP DATA		LOT		32		BLOCK/SECT		102		SHEET		22							

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	

ADD'L MATS

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-005 Block: 2701 Lot: 32 Zone: R-2

Applicant: BURCAT, JOSEPH & ADRIENNE

Address of Property: 153 SPENCER ROAD

Description: (C) VARIANCE FOR FRONT YARD SETBACK
(ADDITION) AND FOR POOL NOT LOCATED BEHIND
REAR BUILDING LINE OF ADJACENT DWELLINGS

APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input checked="" type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

SCHEDULING

1.14.21 Original Submission Date 60
3.15.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete 60
5.14.21 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
3.11.21 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

1.14.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

Burcat - 153 Spencer Road.
Application Addendum for Side Yard Set Back Variance

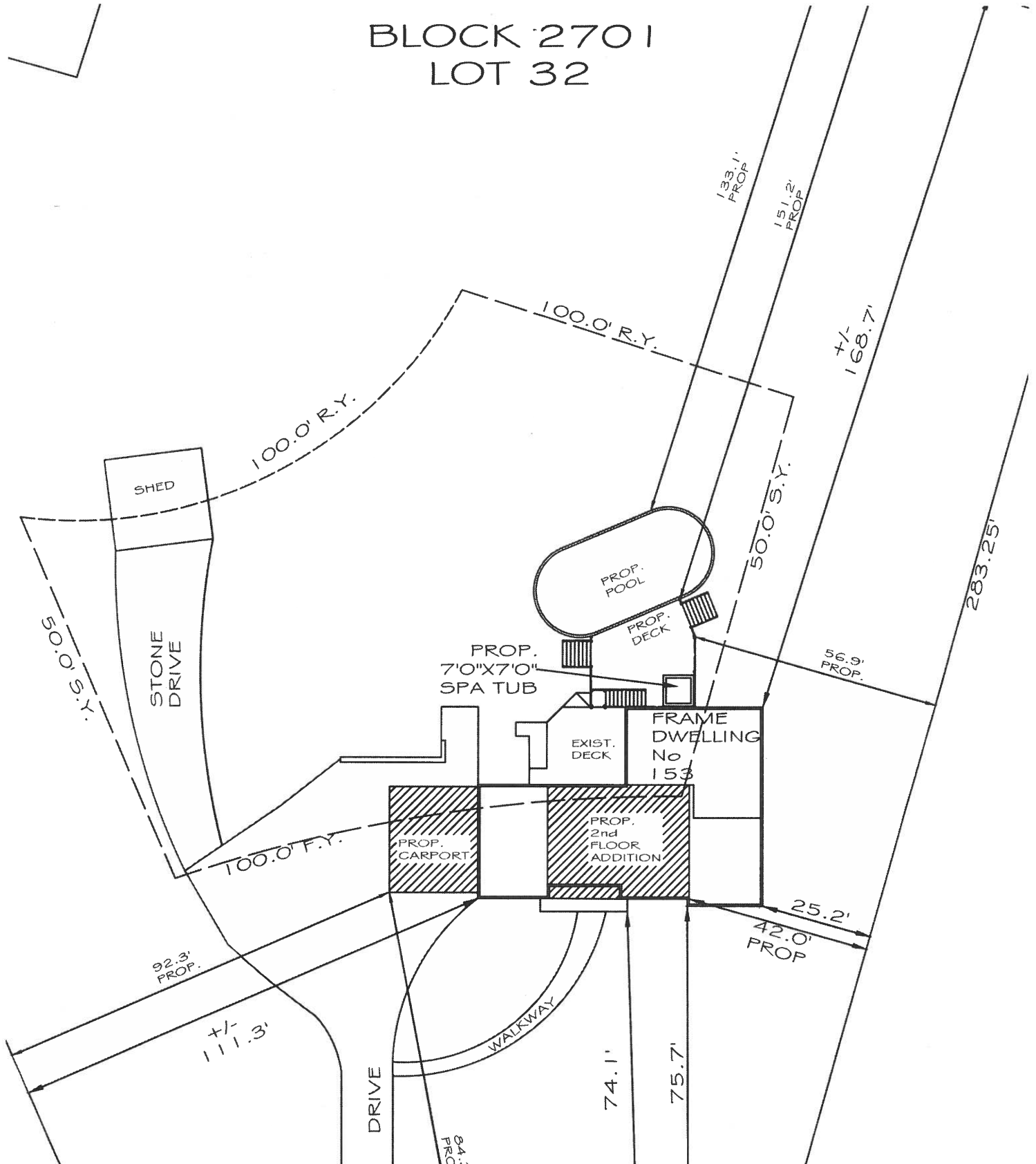
21-15.1 (d)1 table 501 -Application Addendum for Side Yard Set Back Variance -
Required is 50', currently house is located 25.2' from east (right) side yard setback. The proposed 2nd floor addition side yard setback from the right side would be 42' thus requiring a variance.

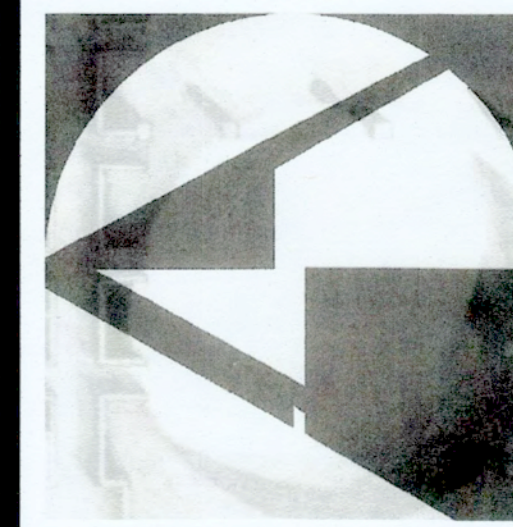
An aerial photograph of a residential area. A red polygon is drawn over a portion of the image, enclosing several houses and a road. A blue 'X' is drawn over the polygon, with its center near a house. A small black circle with diagonal lines is also visible within the polygon. The image shows various houses, roads, and green spaces.

[illegible]

Burcat - 153 Spencer Rd.
Proposed Hot Tub Placement


BLOCK 2701
LOT 32





LANDSIGN

L.L.Co.
36 DEMAREST ROAD
SPARTA
NEW JERSEY
07871
973 300 1100
CA-21AC00077800



ANN R.P. SEARS
ARCHITECT
NJ LIC-15281
NOT VALID WITHOUT RAISED SEAL

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN ARCHITECTURAL AND ENGINEERING DESIGN INFORMATION AND ARE SUBJECT TO CABLE FEDERAL AND STATE PROPERTY, TRADE AND PATENT RIGHTS. ANY REPRODUCTION OR DISSEMINATION OF ANY INFORMATION CONTAINED HEREIN WITHOUT WRITTEN CONSENT OF THE ARCHITECT SHALL BE PROHIBITED. ANY REPRODUCTION OR DISSEMINATION OF ANY INFORMATION CONTAINED HEREIN WITHOUT WRITTEN CONSENT OF THE ARCHITECT SHALL BE PROHIBITED. ANY REPRODUCTION OR DISSEMINATION OF ANY INFORMATION CONTAINED HEREIN WITHOUT WRITTEN CONSENT OF THE ARCHITECT SHALL BE PROHIBITED. ANY REPRODUCTION OR DISSEMINATION OF ANY INFORMATION CONTAINED HEREIN WITHOUT WRITTEN CONSENT OF THE ARCHITECT SHALL BE PROHIBITED.

VARIANCE PLAN
FOR
153 SPENCER RD.
TOWNSHIP OF BERNARDS, NEW JERSEY
BLOCK 2701 LOT 32

DATE: NOV. 2, 2020

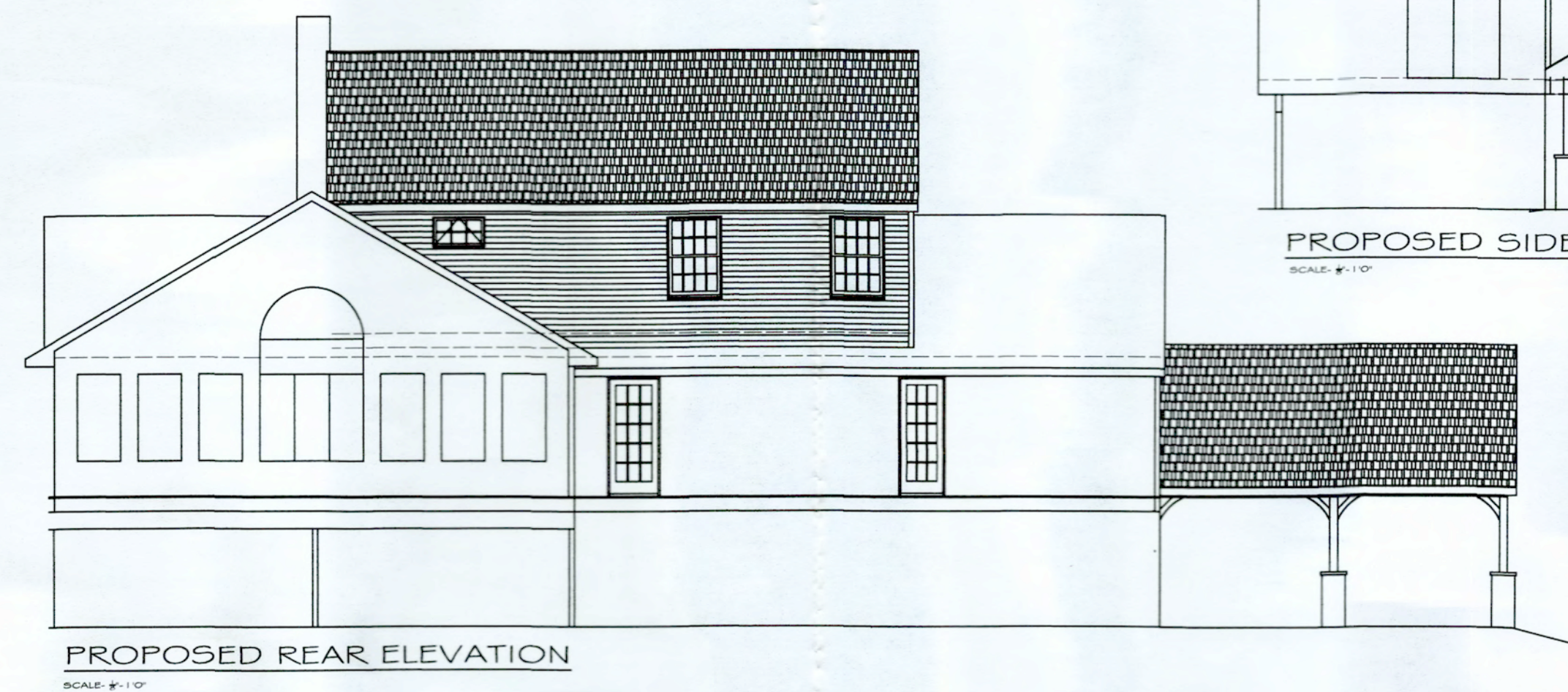
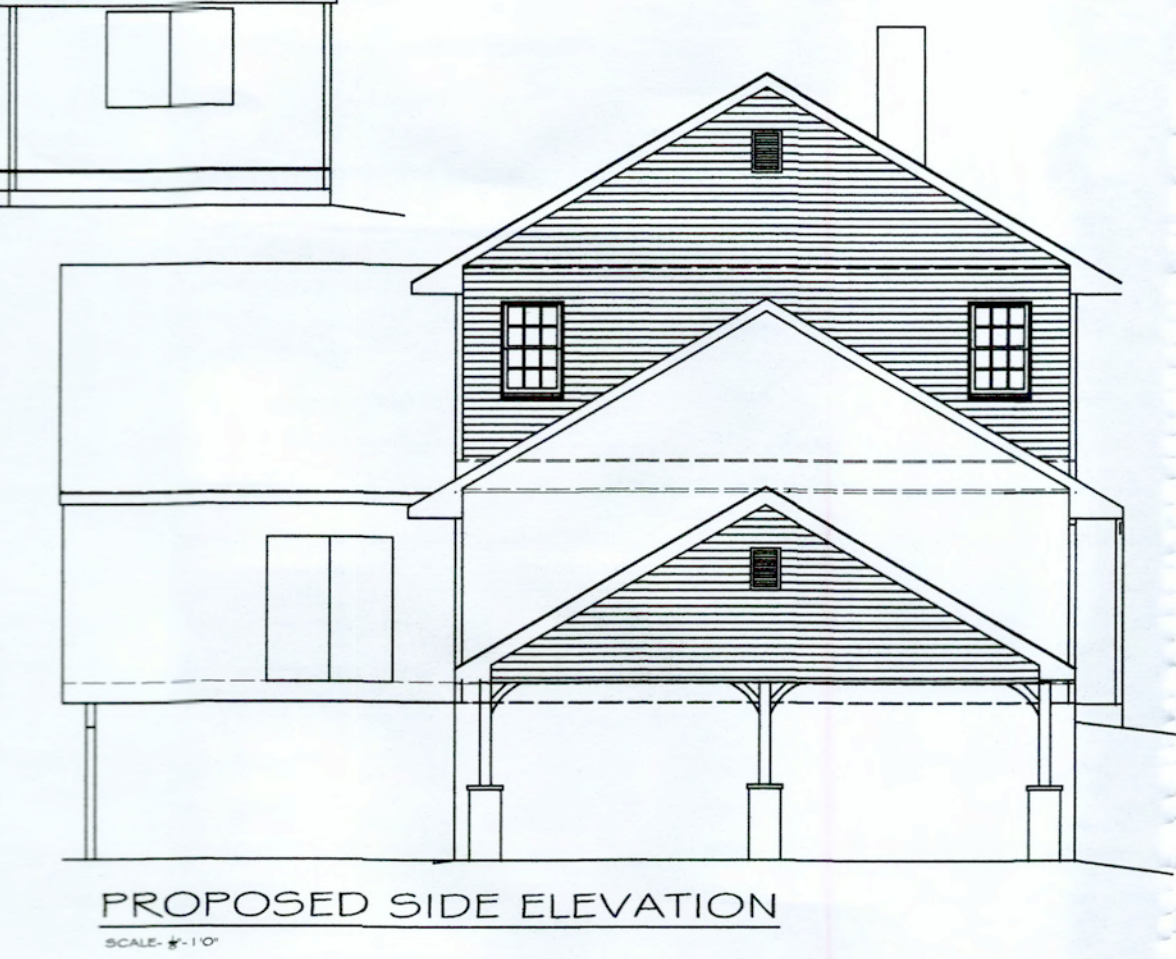
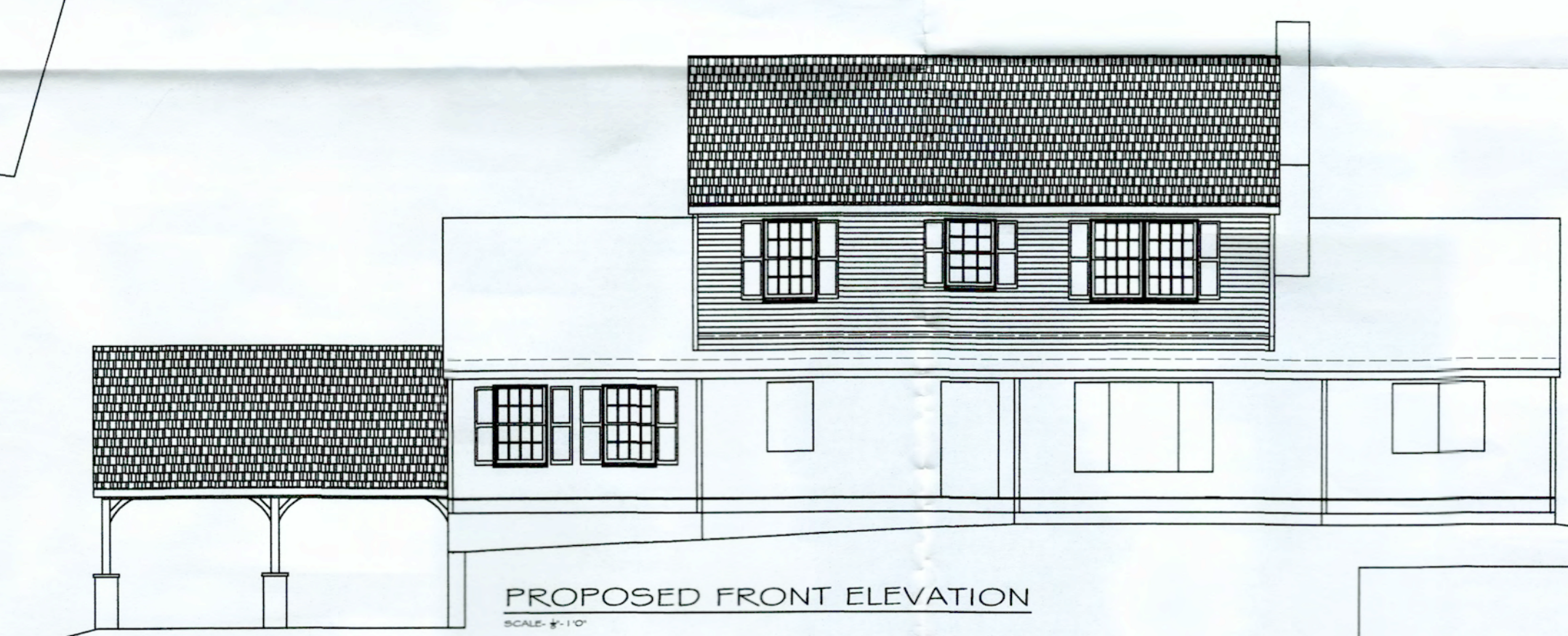
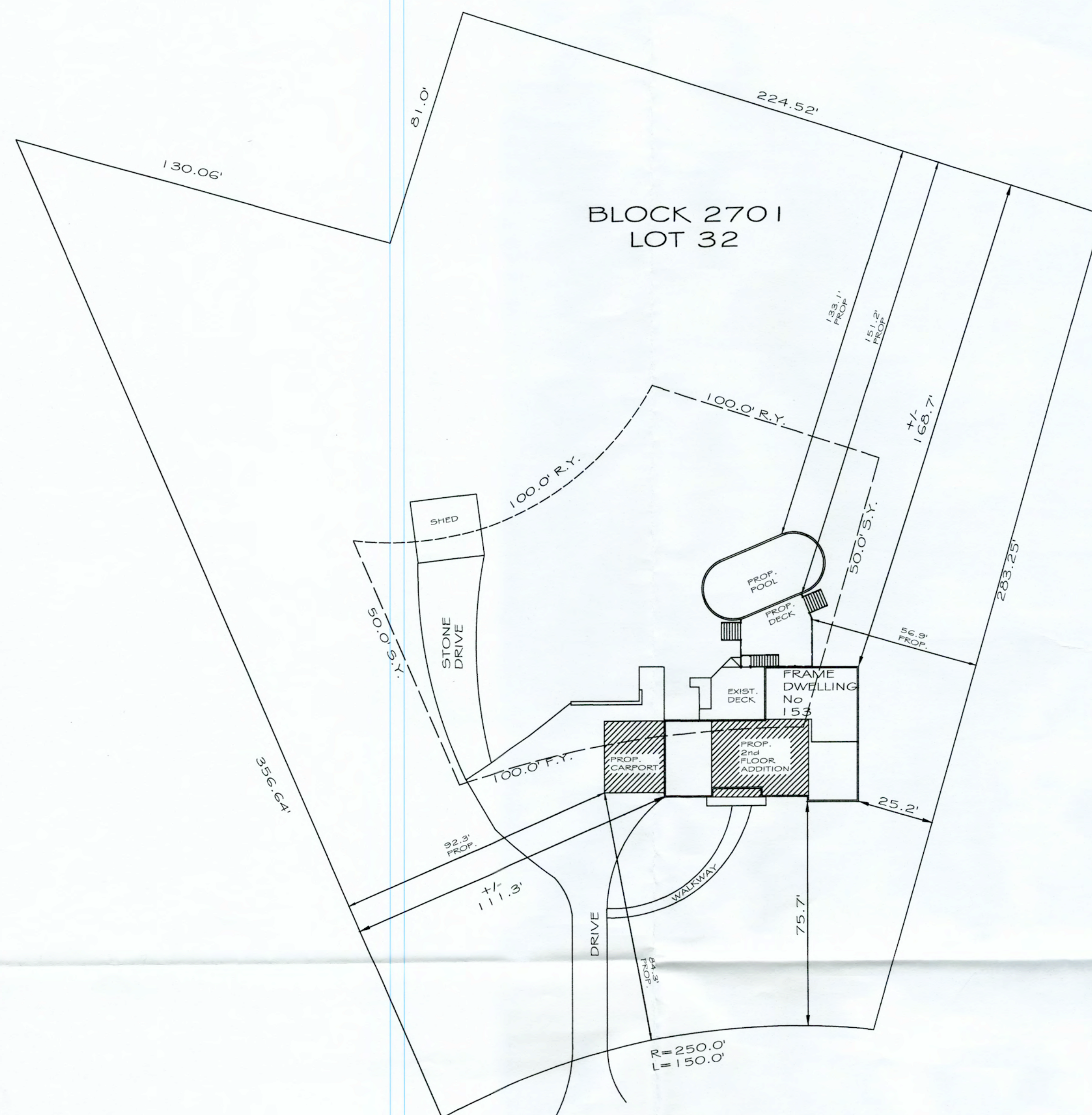
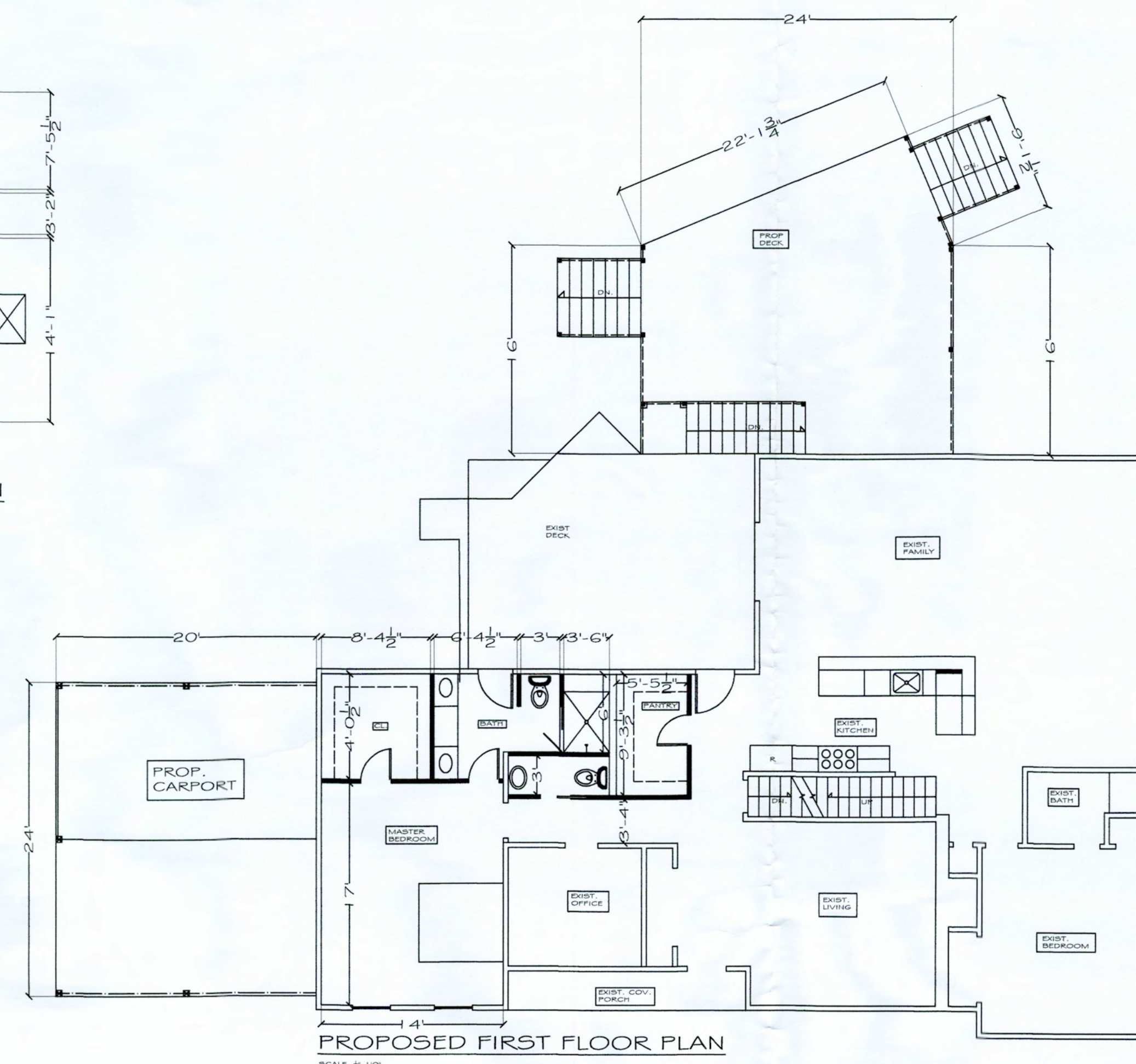
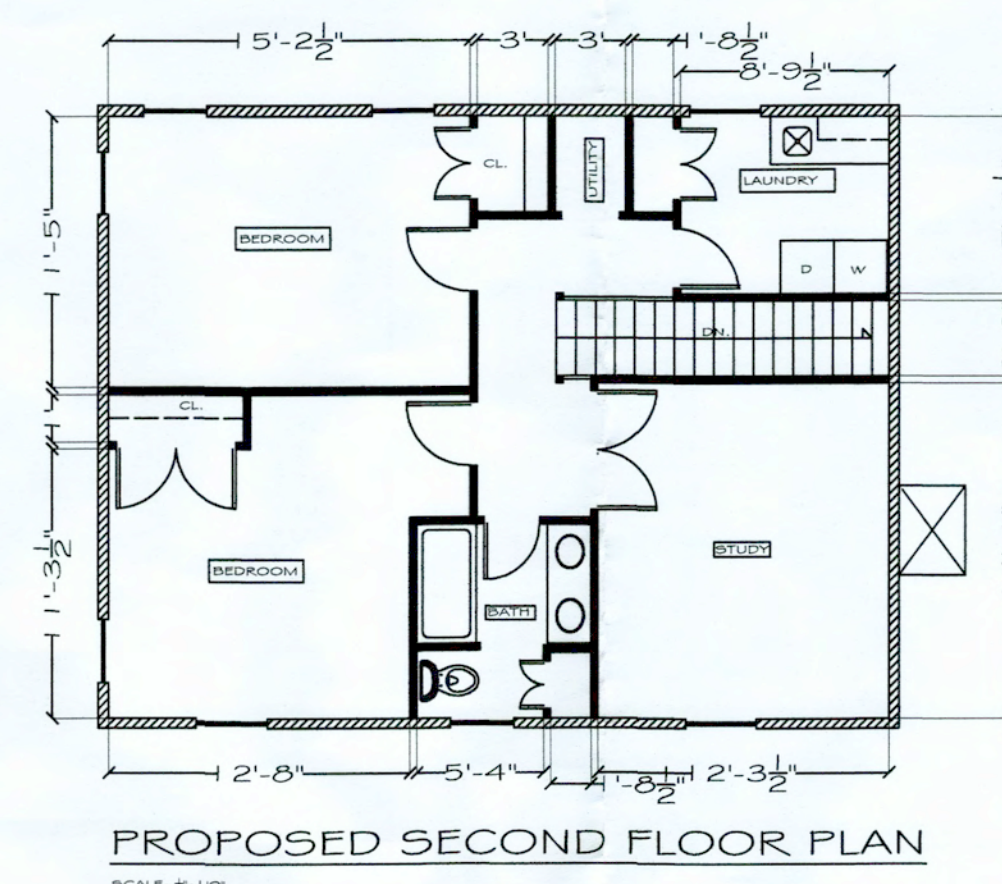
SCALE: AS NOTED

DRAWN BY: DAS/ARPS

PROJECT: 201024

REVISION: SHEET:

A-1



ZONING INFORMATION

ZONING			
ZONE -R-2	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 S.F.	79,554 S.F.	NO CHANGE
FRONT YARD SETBACK	100.0'	75.7'	NO CHANGE
SIDE YARD SETBACK L	50.0	+/- 111.3'	92.3'
SIDE YARD SETBACK R	50.0	25.2'	NO CHANGE
REAR YARD SETBACK	100.0'	+/- 168.7'	NO CHANGE
LOT COVER	15% / 11,993 S.F.	10.4% / 8633 S.F.	11.4% / 9,133 S.F.
DWELLING		2212 S.F.	2692 S.F.
WALKWAYS		342 S.F.	342 S.F.
DRIVEWAY		4769 S.F.	4289 S.F.
SHED		462 S.F.	462 S.F.
PATIO		540 S.F.	540 S.F.
POOL			808 S.F.
	TOTAL	8,325 S.F.	9133 S.F.

OWNER

Mr. & Mrs. Joseph and Adrienne Burcat
153 Spencer Rd.
Basking Ridge, N.J. 07920
Tel. 908 204 8908

REVISED

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-006 Block: 5001 Lot: 21 Zone: R-4

Applicant: ROSENBLATT, MARC & RACHEL

Address of Property: 30 CAMERON COURT

Description: (C) POOL NOT LOCATED BEHIND THE REAR BUILDING LINE OF ADJACENT DWELLING

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input checked="" type="checkbox"/> Imaging Fee
<input type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
	<input checked="" type="checkbox"/> Checklist

SCHEDULING

1.14.21 Original Submission Date
3.15.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete 60
5.14.21 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
33 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

1.14.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance</p> <p><input type="checkbox"/> Use ("d") Variance</p> <p><input type="checkbox"/> Conditional Use ("d") Variance</p> <p><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance</p> <p><input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision</p> <p><input type="checkbox"/> Interpretation of Zoning Ordinance</p> <p><input type="checkbox"/> Minor Subdivision</p> <p><input type="checkbox"/> Major Subdivision - Preliminary / Final</p> <p><input type="checkbox"/> Other (specify):</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

1. APPLICANT: MR. MARC ROSENBLATT + MRS RACHEL ROSENBLATT
Address: 30 CAMERON COURT BASKING RIDGE, NJ 07920
Phone: (home) 646 483 1078 (work) — (mobile) 646 207 6869
Email (will be used for official notifications): RACHELANN.ROSENBLATT@MACL.COM

2. OWNER (if different from applicant): _____
Address: _____
Phone: _____ **Email (will be used for official notifications):** _____

3. ATTORNEY: _____
Address: _____
Phone: _____ **Email (will be used for official notifications):** _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):
Name: DAVID FATINA **Profession:** ENGINEER
Address: 15 SUNSET DRIVE, BERNARDSVILLE, NJ 07924
Phone: 908-696-9598 **Email (will be used for official notifications):** DFATINA@FATINAENGINEERING.COM

5. PROPERTY INFORMATION: Block(s): 5001 Lot(s): 21 Zone: R-4
Street Address: 30 CAMERON COURT **Total Area (square feet/acres):** 1.387 ACRES

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

EXISTING RESIDENTIAL PROPERTY WITH EXISTING 2 STORY FRAME
DWELLING SEEKING TO INSTALL A PRIVATE SWIMMING POOL

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

*PLEASE SEE ATTACHED

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

THE PROPOSED POOL IS TO BE CENTRALLY LOCATED WITHIN THE REAR
YARD OF THE SUBJECT PROPERTY AND STORM WATER IS TO BE COLLECTED
AND STORED ON-SITE THEREBY POSING NO DETRIMENT, NEITHER
PHYSICAL NOR VISUAL TO ADJACENT PROPERTIES.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, MARC ROSENBLATT and RACHEL ROSENBLATT hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): _____ and _____

Sworn and subscribed before me, this 19th day of December, 2021.

Notary

JEANNIE L WILLIAMS
Notary Public - State of New Jersey
My Commission Expires Jan 29, 2022

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

Township of Bernards

2021 Zoning Board of Adjustment Application

Supplementary Attachment 1

Page 2 of 2

Line Item #10:

Applicant seeks relief from Ordinance Section 21.18.1 requiring swimming pools to be located behind the rear line of dwellings located on adjacent lots.

The applicant seeks relief from Ordinance Section 21-15.1(d)1 and Table 501 limiting lots in the R-4 zone to a maximum of 15% of the lot area covered with impervious surface.

Line Item #11:

Variance Request #1: Ordinance Section 21.18.1

The proposed pool has been centrally located within the rear yard of the subject property. It is to be surrounded with landscaping and all stormwater runoff resulting from the proposed increase of impervious coverage is to be collected and stored on-site. It is for these reasons that we believe the proposed improvements pose no detriment, neither physical or visual, to adjacent properties.

Variance Request #2: Ordinance Section 21-15.1(d)1 and Table 501

The subject property experiences an impervious coverage hardship as a direct result of the cul-de-sac located at the Westernmost end of Cameron Court being partially within the limits of the subject property. If the area of the cul-de-sac located on the subject property (354 sf) was not counted against the applicants, the proposed developments would be within the 15% maximum allowable impervious coverage limit as regulated under Section 21-15.1(d)1 and Table 501.

TOWNSHIP OF BERNARDS

ZONING BOARD OF ADJUSTMENT

NOTICE OF HEARING ON APPEAL OR APPLICATION PLEASE TAKE NOTICE:

That the undersigned has filed an appeal or application for development with the Board of Adjustment of the Township of Bernards for a Type 'C' Variance from the requirements of Section 21-18.1 of the Bernards Township Zoning Ordinance so as to permit: The installation of a private swimming pool in the rear yard of an existing residential lot where the pool will not be located behind the rear line of an existing dwelling located on an adjacent lot as is required by Section 21-18.1. and Section 21-15.1(d)1 and Table 501 limiting properties within the R-4 zone to 15% maximum allowable impervious coverage any other variances the Board may deem necessary, on the premises located at #30 Cameron Court and designated as Block 5001, Lot 21, on the Township Tax Map, and this notice is sent to you as an owner of property in the immediate vicinity.

A public hearing has been set for March 3, 2021, at 7:30 p.m. or as soon thereafter as the matter may be reached, in the Municipal Building, 1 Collyer Lane, Basking Ridge, New Jersey, and, when the case is called, you may appear either in person, or by Attorney, and present any objections which you may have to granting of the relief sought in the petition.

The application and maps in support thereof are on file in the office of the Secretary, Planning Offices located at 277 South Maple Avenue, Monday through Friday, 8:30 AM to 4:30 PM and are available for inspection. If possible, call to make an appointment at (908) 204-3026.

The applicant, by order of the Board of Adjustment, sends this notice to you.

Respectfully,

Marc and Rachel Rosenblatt

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-006 Block: 5001 Lot: 21 Zone: R-4

Applicant: ROSENBLATT, MARC & RACHEL

Address of Property: 30 CAMERON COURT

Description: (C) POOL NOT LOCATED BEHIND THE REAR BUILDING LINE OF ADJACENT DWELLING

APPLICATION CHECKLIST

- | | |
|-------------------------------------------------------------------------|----------------------------------------------------------------|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9 | <input type="checkbox"/> Architectural Plans |
| <input checked="" type="checkbox"/> Site Visit Consent (A) | <input checked="" type="checkbox"/> Survey |
| <input checked="" type="checkbox"/> Ownership Form (B) | <input checked="" type="checkbox"/> Photographs |
| <input checked="" type="checkbox"/> 200' Property Search List (C) | <input type="checkbox"/> Wetlands Report/LOI |
| <input checked="" type="checkbox"/> Tax Certification (D) | <input checked="" type="checkbox"/> Application Fee |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E) | <input checked="" type="checkbox"/> Escrow Deposit |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F) | <input checked="" type="checkbox"/> Imaging Fee |
| <input type="checkbox"/> Contributions Disclosure Form (G) | <input type="checkbox"/> Tax Map Revision Fee |
| | <input checked="" type="checkbox"/> Checklist |

SCHEDULING

1.14.21 Original Submission Date
3.15.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete 60
5.14.21 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
2.3 OR 3.3 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

1.14.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

1. APPLICANT: MR. MARC ROSENBLATT + MRS. RACHEL ROSENBLATT

Address: 30 CAMERON COURT, BASKING RIDGE, NJ 07920

Phone: (home) 646-483-1098 (work) - (mobile) 646-207-6869

Email (will be used for official notifications): RACHEL ANN ROSENBLATT@gmail.com

2. OWNER (if different from applicant): _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: DAVID FANTINA Profession: ENGINEER

Address: 15 SUNSET DRIVE, BERNARDSVILLE, NJ 07924

Phone: 908-696-9598 Email (will be used for official notifications): DFANTINA@FANTINAENGINEERING.COM

5. PROPERTY INFORMATION: Block(s): 5001 Lot(s): 21 Zone: R-41

Street Address: 30 CAMERON COURT Total Area (square feet/acres): 1.387 ACRES

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

EXISTING RESIDENTIAL PROPERTY WITH EXISTING 2 STORY FRAME DWELLING
SEEKING TO INSTALL A PRIVATE SWIMMING POOL THAT WILL NOT BE
LOCATED BEHIND REAR BUILDING LINE OF ADJACENT DWELLINGS.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.): _____

REQUESTING RELIEF FROM SUBSECTION 21.18.1 STATING THAT ALL
POOLS SHALL BE LOCATED BEHIND THE REAR BUILDING LINE
OF DWELLINGS ON ADJACENT PROPERTIES.

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

THE PROPOSED POOL IS TO BE CENTRALLY LOCATED WITHIN THE REAR
YARD OF THE SUBJECT PROPERTY AND STORMWATER IS TO BE COLLECTED
AND STORED ON-SITE THEREBY POSING NO DETRIMENT, NEITHER PHYSICAL
NOR VISUAL TO ADJACENT PROPERTIES

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, MARC ROSENBLAT and RAHEL ROSENBLAT hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): _____ and _____

Sworn and subscribed before me, this 13

day of January, 2021.

Notary

JEANNIE L. WILLIAMS
Notary Public - State of New Jersey
My Commission Expires Jan 29, 2022

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

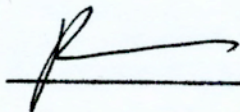
Applicant: MARC + RACHEL ROSENBLATT

Block: 5001 Lot: 21

Street Address: 30 CAMERON COURT, BASKING RIDGE, NJ 07120

I, RACHEL ROSENBLATT, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:



Date:

1-13-21

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 ACRE	1.3872 ACRES	1.3872 ACRES
LOT WIDTH	200	164.24	164.24
FRONTAGE	100	75.29	75.29
FRONT YARD SETBACK	75	130.91	130.91
REAR YARD SETBACK	75	137.50	137.50
COMBINED SIDE YARD	50	66.75	66.75
SIDE YARD	20	22.65	22.65
COVERAGE	1590	10.8590	14.8790
HEIGHT	35	UNKNOWN	TO REMAIN
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	X		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	X		
7	Calculations of existing & proposed lot coverage percentages.	X		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.			
9	Photographs of the property in the location of the proposed improvements.	X		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		X	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		X	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	X		



EXISTING CONDITIONS PHOTO #1



EXISTING CONDITIONS PHOTO #2



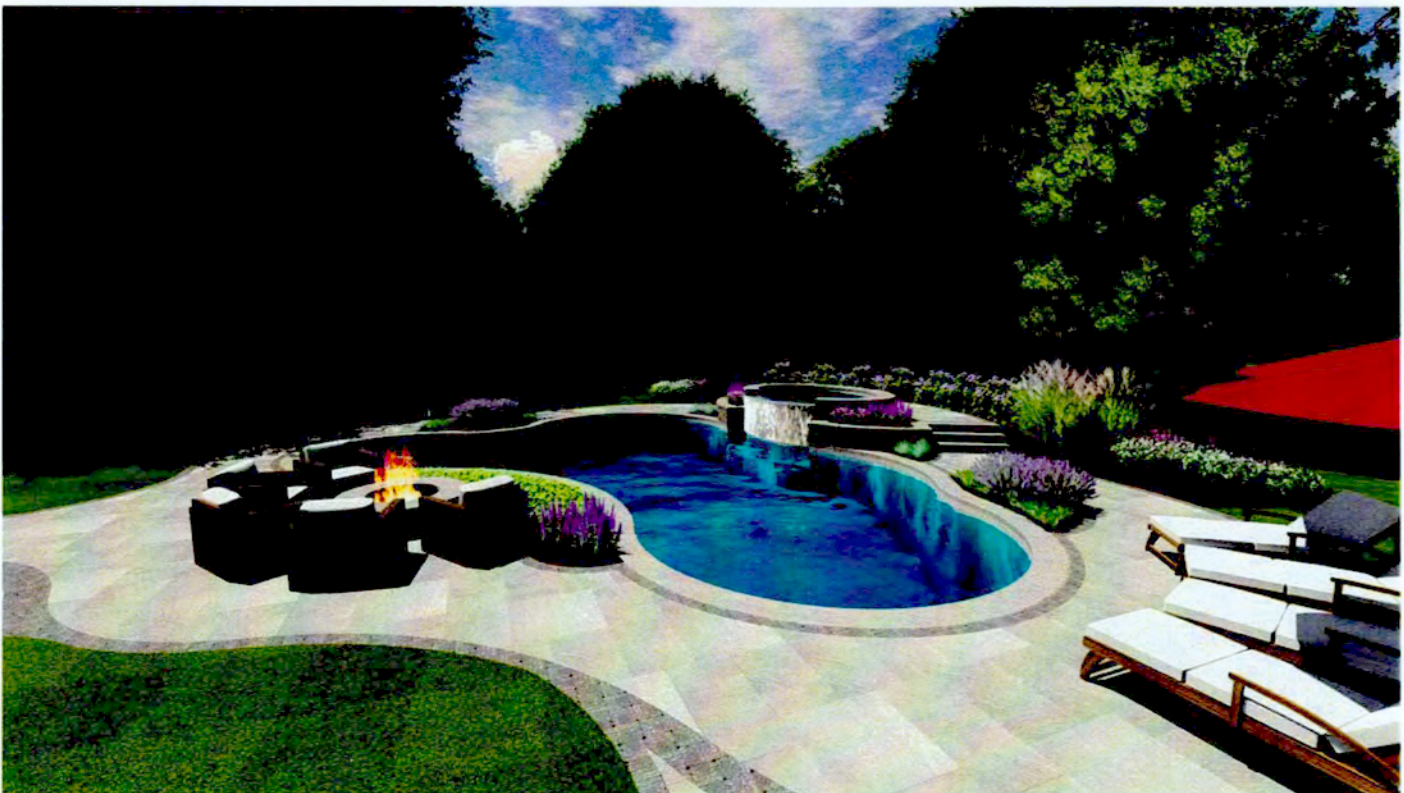
EXISTING CONDITIONS PHOTO #3



EXISTING CONDITIONS PHOTO #4



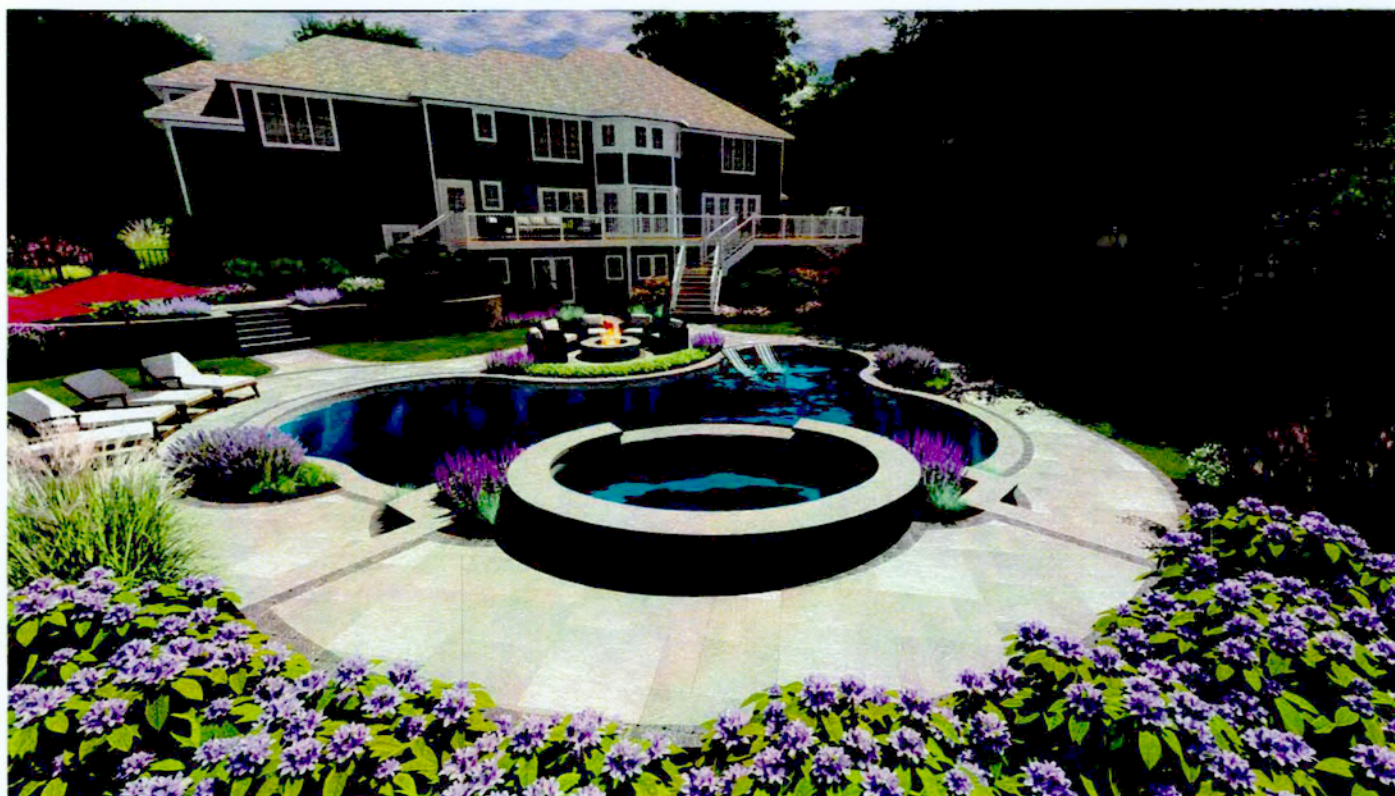
PROPOSED CONDITIONS PHOTO #1



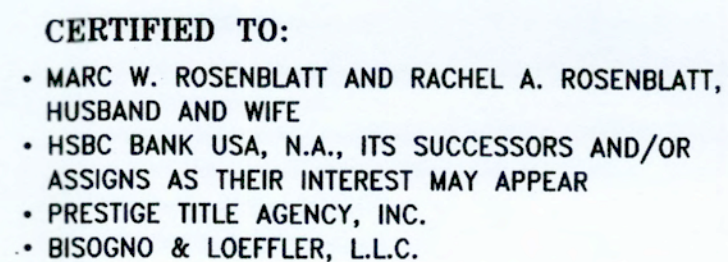
PROPOSED CONDITIONS PHOTO #2



PROPOSED CONDITIONS PHOTO #3



PROPOSED CONDITIONS PHOTO #4

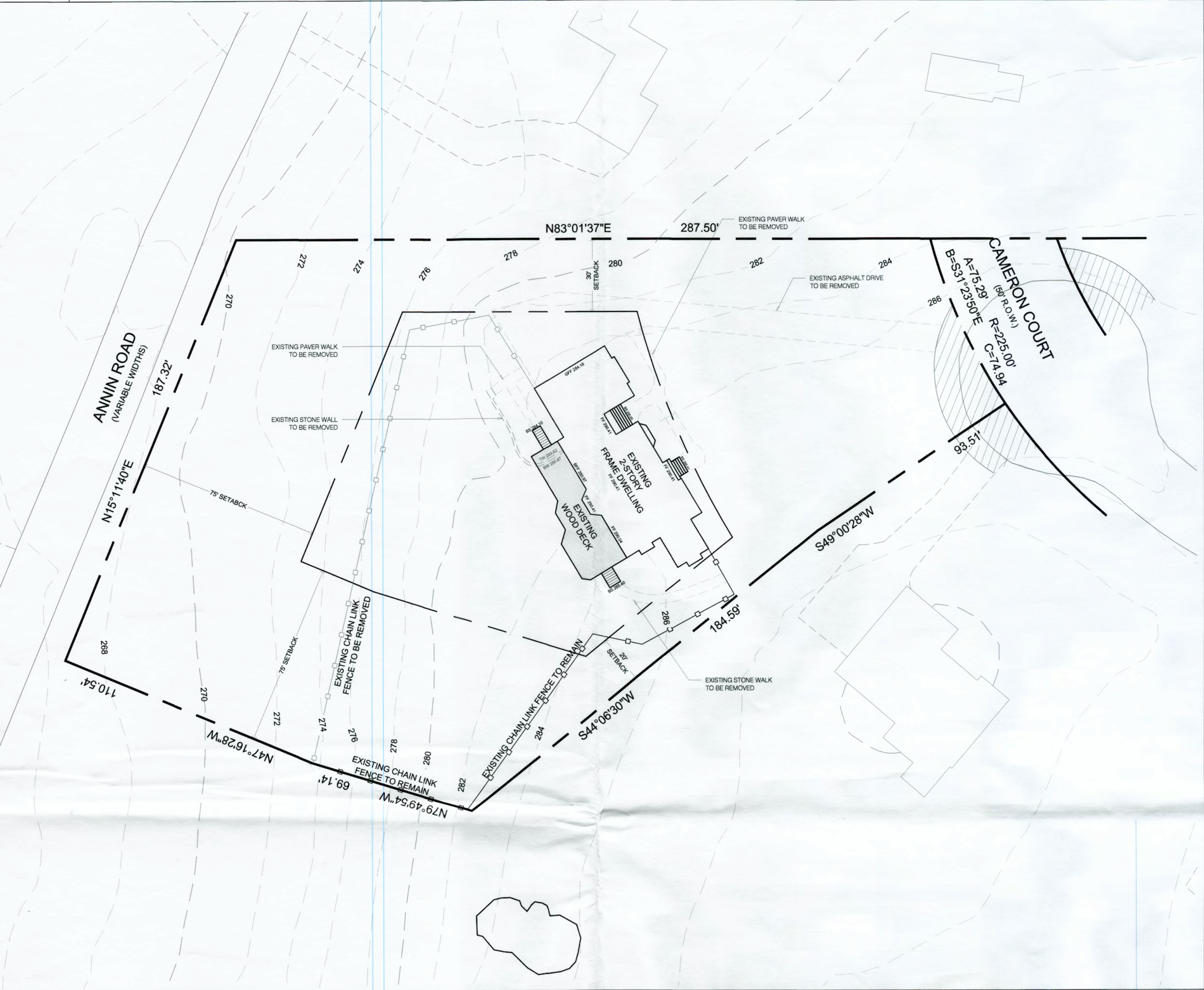


1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
4. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
5. DEED REFERENCE: BOOK 2124 PAGE 32, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE.

BEING KNOWN & DESIGNATED AS LOT 11.1, BLOCK 132 ON A MAP ENTITLED "FINAL MAP OF HIGHLAND WOODS, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" DATED JULY, 1992, LAST REVISED OCTOBER 7, 1992 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OCTOBER 22, 1992 AS MAP NO. 2891.

REVISIONS	DATE	Scale: 1"=20'
		Date: 07/25/12
		Dwn. By: M.M.
		Chk'd By: J.C.R.
		FILE# 1802-889-1
		BK 305 PG 10

BY: John C. Ritt
John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100
Certificate No. 24GA28199000



SOMERSET - UNION SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES

1. All Soil Erosion and Sediment Control practices shall be installed prior to any major soil disturbances, or in their proper sequence and maintained until permanent protection is established.

2. Any Disturbed areas that will be left exposed more than 30 Days and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of two (2) tons per acre, according to NJ State Standards

3. Permanent Vegetation shall be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch will be used for protection until seeding is established

4. All work shall be done in accordance with the NJ State Standards for Soil Erosion and Sediment Control in New Jersey, 7th Edition last revised January 2014

5. A sub-base course will be applied immediately following rough grading and installation of improvements in order to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within 15 days or preliminary grading.

6. Immediately following initial disturbance or rough grading all critical areas subject to erosion (i.e.: steep slopes, roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to the NJ State Standards.

7. Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation proceeds (i.e.: slopes greater than 3:1)

8. Traffic control Standards require the installation of a 50"x30"x6" pad of 1 1/2" or 2" stone, at all construction driveways, immediately after initial site disturbance.

9. The Somerset-Union Soil Conservation District shall be notified in writing 48 hours in advance of any land disturbing activity.

10. At the time when the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites.

11. In that NJSA 4:24-39 et seq., requires that no Certificate of Occupancy be issued before the provisions of the Certified Plan for Soil Erosion and Sediment Control have been complied with for permanent measures, all site work for site plans and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.

12. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.

13. Any changes to the Certified Soil Erosion and Sediment Control Plan will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current NJ State Soil Erosion & Sediment Control Standards.

14. The Somerset-Union Soil Conservation District shall be notified of any changes in ownership.

15. Mulching to the NJ Standards is required for obtaining a Conditional Report of Compliance. Conditionals are only issued when the season prohibits seeding.

16. Contractor is responsible for keeping all adjacent roads clean during life of construction project.

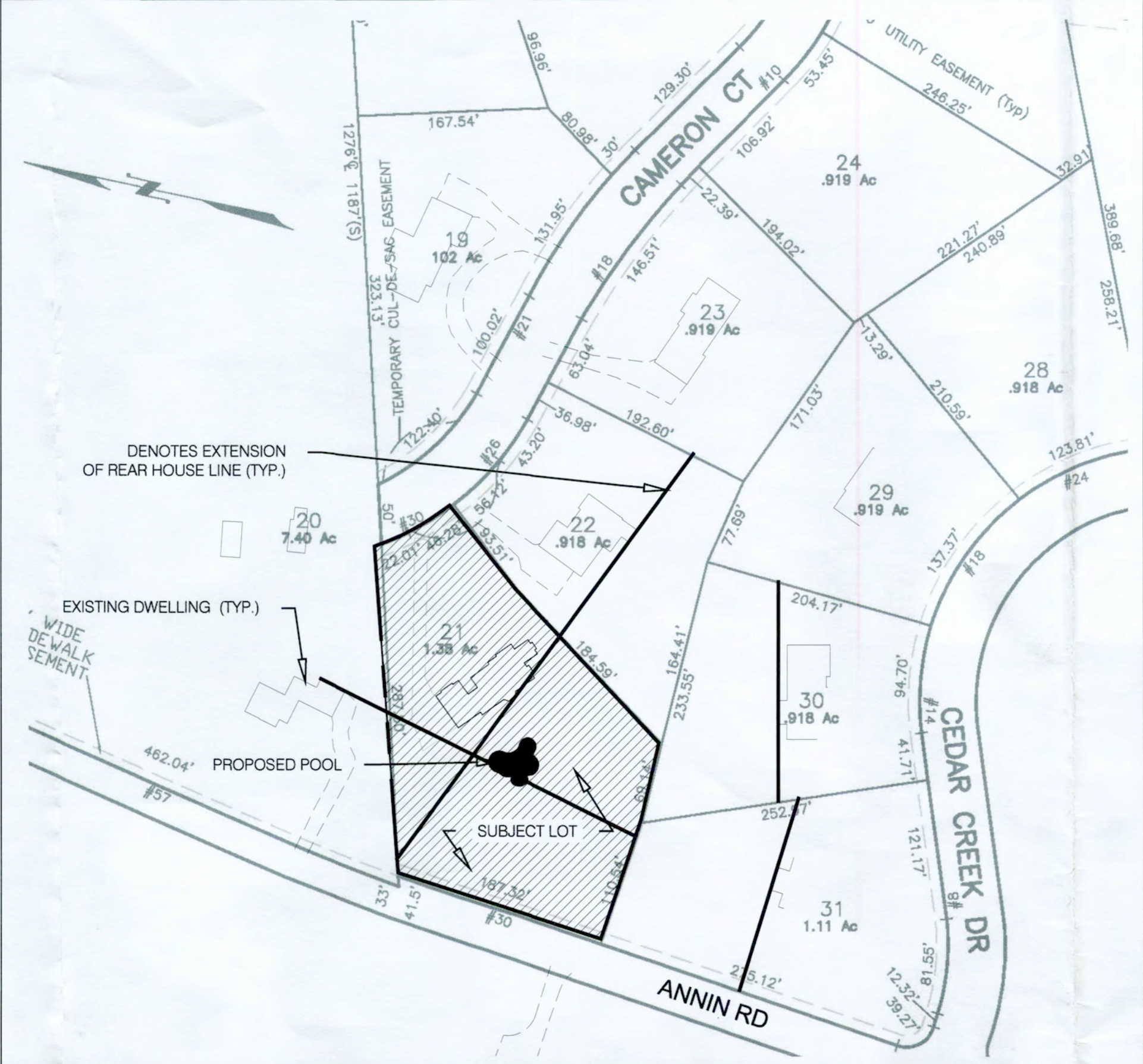
17. The developer shall be responsible for remediating any erosion or sediment problems that arise as a result of ongoing construction at the request of the Somerset-Union Soil Conservation District.

18. Hydro seeding is a two- step process. The first step includes seed, fertilizer, lime, etc., along with minimal amounts of mulch to promote consistency, good seed to soil contact, and give a visual indication of coverage. Upon completion of seeding operation, hydro-mulch should be applied at a rate of 1500 lbs. per acre in second step. The use of hydro-mulch, as opposed to straw, is limited to optimum seeding dates as listed in the NJ Standards.

REV 8/24/20

300153060120

GRAPHIC SCALE
SCALE: 1" = 30'



3

PROJECT SUMMARY

AGENCY:

BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

OWNER:

MR. AND MRS. ROSENBLATT

ADDRESS:

#30 CAMERON COURT, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

PRCJECT SITE ADDRESS:

#30 CAMERON COURT, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

USE:

PRIVATE RESIDENTIAL

ZONE:

R-4

LOT / BLOCK:

LOT 21 BLOCK 5001

PROJECT DESCRIPTION:

REPLACEMENT OF EXISTING DRIVEWAY AND FRONT WALK, INSTALLATION OF THE PROPOSED IN-GROUND SWIMMING POOL PATIO, AND RETAINING WALL.

TOTAL PROJECT DISTURBED AREA:

23,175 SQ. FT.

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ZONING INFORMATION

SUBJECT PROPERTY IS LOCATED IN THE R-4 ZONE OF THE TOWNSHIP OF BERNARDS.

LOT AREA 60,428 +/- SF.

ZONE REQUIREMENTS

GENERAL LOT

	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM LOT AREA	1 ACRE	1.387 ACRES	1.387 ACRES	
MAXIMUM LOT COVERAGE	15%	11.43%	15.46%	YES

ACCESSORY BUILDING

ACCESSORY BDLG. SIDE YARD

ACCESSORY BDLG. REAR YARD

ACCESSORY BDLG. TO OTHER STRUCTURE

POOL TO BE LOCATED BEHIND REAR LINE OF DWELLING ON ADJACENT PROPERTIES

20 FT.	NA	79.02 FT.	
20 FT.	NA	105.67 FT. **	
10 FT.	NA	23.56 FT.	
	NA	NOT POSSIBLE	YES

** DIMENSION FROM POOL TO "REAR YARD" PROPERTY EDGE ALONG ANNIN ROAD

IMPERVIOUS COVERAGE STUDY

SOURCE	EXISTING AREA	PROPOSED AREA
DWELLING	2,884 SF.	2,884 SF.
DRIVEWAY	2,798 SF.	3,350 SF.
CUL-DE-SAC ON PROP.	354 SF.	354 SF.
PORCH	118 SF.	118 SF.
FRONT WALK	405 SF.	478 SF.
LEFT SIDE WALK	198 SF.	0 SF.
REAR WALK	154 SF.	140 SF.
POOL PATIO	0 SF.	958 SF.
POOL WATER	0 SF.	871 SF.
POOL COPING	0 SF.	154 SF.
POOL EQUIPMENT PAD	0 SF.	28 SF.
TOTAL COVERAGE	6,911 SF.	9,345 SF.
COVERAGE PERCENTAGE	11.43%	15.46%

PROPOSED INCREASE IN IMPERVIOUS COVERAGE = 2,434 SF.
AREA OF DISTURBANCE = 23,175 SQ. FT.

- 5
- GENERAL NOTES
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND UNDER MUNICIPAL SUPERVISION.

2. ALL SPECIFICATIONS, WHETHER NOTED OR NOT, TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AS THEY EXIST AT THE TIME OF CONSTRUCTION.

3. ALL UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE, BASED UPON SURFACE STRUCTURES VISIBLE ON THE DATE OF BOUNDARY AND TOPOGRAPHIC SURVEY. THE LOCATION OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES AND STRUCTURES MAY BE ENCOUNTERED. ALL SUBSURFACE UTILITY LOCATIONS MUST BE VERIFIED AND FIELD MARKED BY THE APPROPRIATE UTILITY AUTHORITIES PRIOR TO EXCAVATION/CONSTRUCTION. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR THE LACK THEREOF.

4. ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.

5. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON SURVEY COMPLETED BY JOHN C. RITT NJ PLS LIC NO. 24GS04324100 OF JAMES P. DEADY SURVEYOR DATED JULY 25th 2012.

6. ALL PROPOSED GRADING CAN TIE INTO EXISTING TOPOGRAPHIC CONTOURS ON THE SUBJECT PROPERTY WITHOUT AN ADVERSE GRADING OR DRAINAGE IMPACT TO ADJOINING LOTS

7. ALL DISTURBANCE AND GRADING IS TO BE LIMITED TO THE SUBJECT PROPERTY.

8. THE CONTRACTOR SHALL INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS DIRECTED BY THE TOWNSHIP ENGINEER.

9. ALL EXCESS SOILS ARE TO REMAIN ON SITE. SEE CUT AND FILL CALCULATIONS BELOW.

10. REFER TO SOIL EROSION AND SEDIMENT CONTROL PLANS FOR DETAILS AND NOTES.

11. DEVIATIONS FROM THE PLAN MUST BE APPROVED BY THE TOWNSHIP ENGINEER IN WRITING PRIOR TO CHANGE. ANY DEVIATIONS WITHOUT PRIOR APPROVAL WILL RENDER THE PERMIT NULL AND VOID.

12. ANY DAMAGE TO THE PUBLIC ROAD SHALL BE REPAIRED BY THE CONTRACTOR AT THE DIRECTION OF THE TOWNSHIP ENGINEER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

13. THERE WILL BE NO BURYING OF STUMPS, CONSTRUCTION DEBRIS, OR GARBAGE. ALL WASTE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

14. NO REGULATED SLOPES ARE TO BE DISTURBED AS PART OF THIS PROJECT.

15. POOL IS TO BE SURROUNDED ON ALL SIDES WITH POOL CODE FENCING. ALL GATES ARE TO BE POOL CODE SELF-CLOSING AND LATCHING. ALL DOUBLE GATES SHALL HAVE KEYED LOCKS.

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CONSTRUCTION SCHEDULE

OPERATION	ESTIMATED TIME TO COMPLETE
NOTIFY THE BERNARDS TOWNSHIP ENGINEERING DEPARTMENT 72 HOURS PRIOR TO COMMENCING ON SITE WORK.	
PHASE 1: REAR YARD	
INSTALL SILT FENCE	1 DAY
REMOVE PORTION OF DRIVEWAY/INSTALL STABILIZED ACCESS	1 DAY
STRIP AND STOCKPILE TOPSOIL	1 DAY
INSTALL DRYWELL FIELD #1	1 DAY
INSTALL POOL	4 WEEKS
INSTALL PATIOS AND WALLS	3 WEEKS
FINISH GRADE AND INSTALL SPRINKLER SYSTEM	2 DAYS
PLANTING INSTALLATION	2 DAYS
FINISH GRADE AND INSTALL PERMANENT STABILIZATION	2 DAYS
PHASE 2: FRONT YARD	
REMOVE EXISTING DRIVEWAY AND WALK	1 DAY
STRIP AND STOCKPILE TOPSOIL	1 DAY
INSTALL DRYWELL FIELD #2	1 DAY
ROUGH GRADE	1 DAY
INSTALL DRIVEWAY	4 DAYS
INSTALL WALKWAY	4 DAYS
FINISH GRADE AND INSTALL SPRINKLER SYSTEM	2 DAYS
PLANTING INSTALLATION	2 DAYS
FINISH GRADE AND INSTALL PERMANENT STABILIZATION	2 DAYS
CLEAN SITE, REMOVE DEBRIS AND EXIT	1 DAY
TOTAL ESTIMATED PROJECT DURATION	14 WEEKS

7

CUT/FILL CALCULATIONS

CUT/FILL CALCULATIONS		
SOURCE/OPERATION	CUT	FILL
POOL EXCAVATION	175 CY	
DRYWELL EXCAVATION	76 CY	
GRADING	36 CY	287 CY
TOTAL	287 CY	287 CY
NO SOIL IS TO BE REMOVED FROM OR IMPORTED TO THE SITE		

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SHEET INDEX

C1.0 TITLE SHEET

S1.0 SOIL EROSION AND SEDIMENT CONTROL PLAN

S1.1 ANTICOMPACTION AND SOIL STABILIZATION NOTES

S1.2 GRADING AND DRAINAGE PLAN

D1.0 PROJECT DETAILS AND NOTES

COVER SHEET

LOT 21 in BLOCK 5001

#30 Cameron Court, Bernards Township

Somerset County New Jersey

DAVID E. FANTINA, P. E.

Professional Engineer

15 Sunset Drive, Bernardsville, NJ 07924

Scale AS NOTED

Date 12/28/20

file ROSENBLATT.dwg

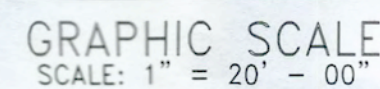
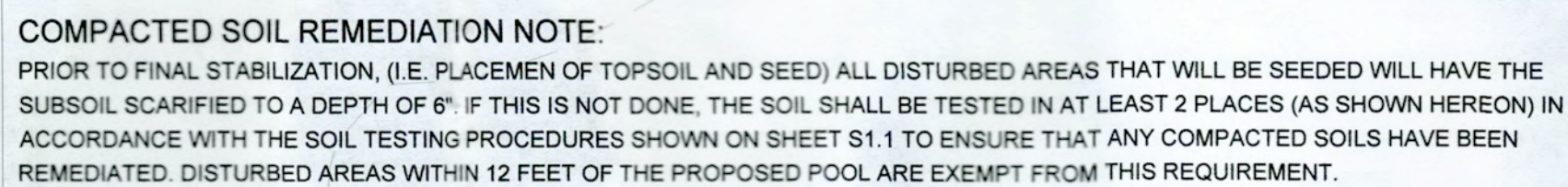
Sheet C1.0

Revisions

1-18-21 PER COMMENTS OFFERED BY LETTER DATED 1-15-21 DF

Date Item(s) By

NJPE Lic#32395



FABRIC SECURED TO POST WITH METAL FASTENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC

SILT ACCUMULATION

2'-0" (MAX)

6"

2'-0"

DRAWSTRING RUNNING THROUGH FABRIC ALONG TOP OF FENCE

DIG 6 in. DEEP TRENCH, BURY BOTTOM FLAP, TAMP IN PLACE.

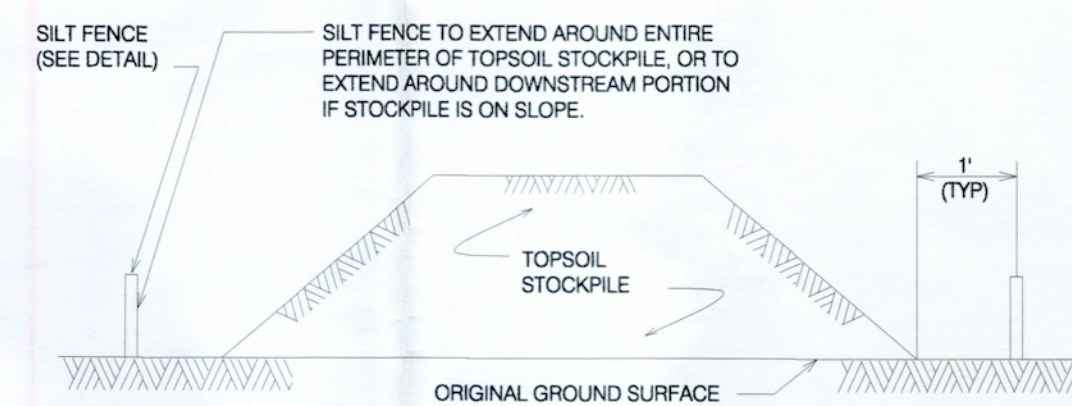
REF.: STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL
IN NEW JERSEY, PAGE 25-4.

REQUIREMENTS FOR SILT FENCE:

- (1) FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 6 FEET ABOVE GROUND. THE POSTS SHALL BE FASTENED TO THE FENCE FABRIC WITH A MINIMUM DIAMETER OF 1/2" AND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF STEEL OR WOOD WITH A MINIMUM DIAMETER OF 1/2" AND AT LEAST 2 FEET ABOVE GROUND.
- (2) A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. IT MUST BE FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHEREAS FOR OTHER PRACTICES IS LIMITED AND HEAVY SIDEWALK LOADING IS EXPECTED.
- (3) GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE SOIL. THE FABRIC SHALL BE FASTENED TO THE FENCE POSTS USING METAL RINGS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL NOT BE TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE.

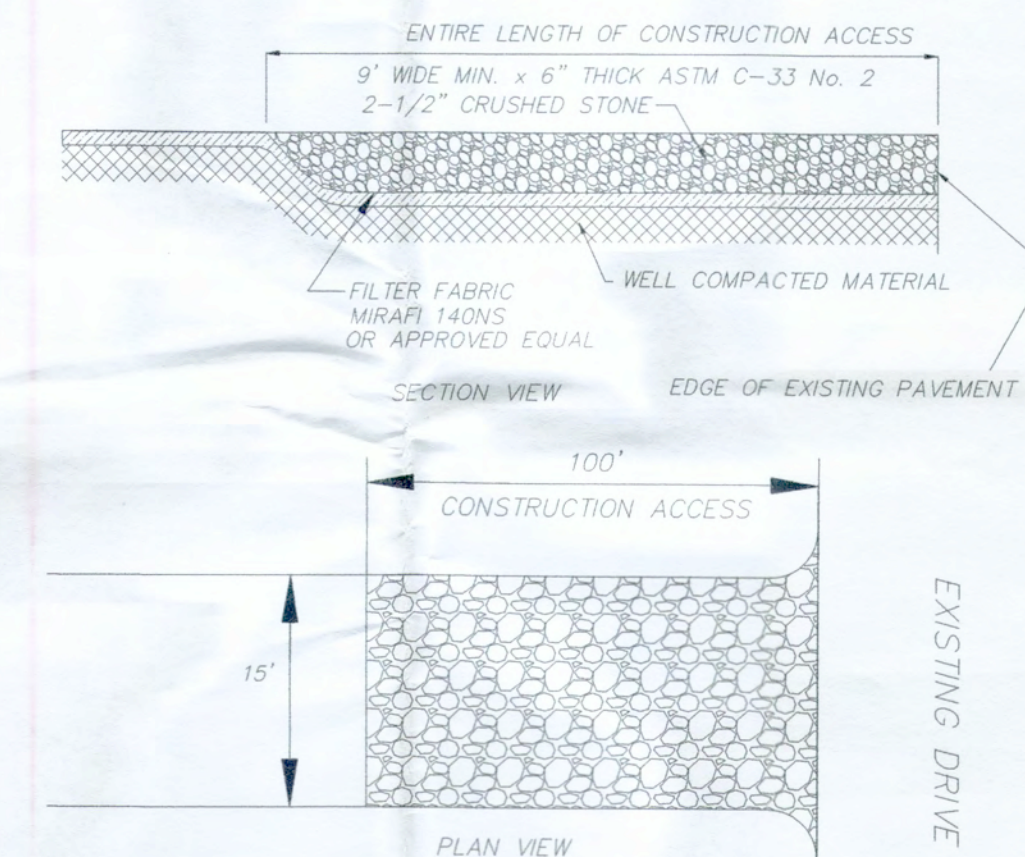
2	SILT FENCE DETAIL
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SCALE: N.T.S.



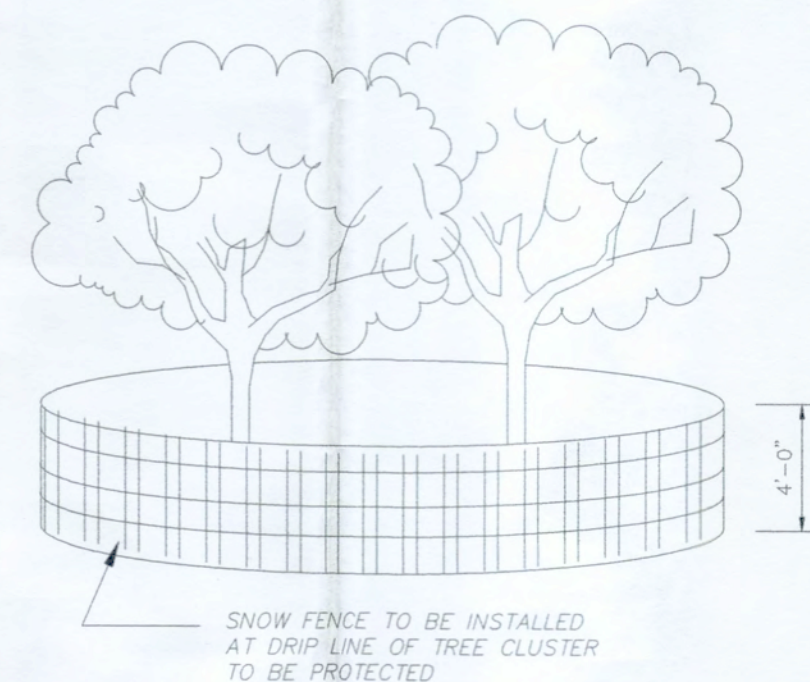
3	SOIL STOCKPILE DETAIL
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SCALE: N.T.S.



4	STABILIZED CONSTRUCTION ACCESS DETAIL
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SCALE: N.T.S.



5	TREE PROTECTION DETAIL
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SCALE: N.T.S.

SOIL EROSION AND SEDIMENT CONTROL PLAN

LOT 21 in BLOCK 5001

#30 Cameron Court, Bernards Township

Somerset County

New Jersey

DAVID E. FANTINA, P. E.

Professional Engineer

15 Sunset Drive, Bernardsville, NJ 07924

Scale AS NOTED	Date 12/28/20	file ROSENBLATT.dwg	Sheet S1.0
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WTF Lic#32395

1

SOIL EROSION AND SEDIMENT CONTROL PLAN

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Methods and Materials

1. Site Preparation

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
- B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading .
- C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
- D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.

2. Seedbed Preparation

- A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://njaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- B. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

3. Seeding

- A. SEE SEEDING SPECIFICATIONS ON THIS SHEET.
Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested.
1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.
2. Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85° F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.
3. Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85°F. Many grasses become active at 65°F. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.
- B. Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil.
- C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- D. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Shortfibered mulch may be applied with a hydroseeder following seeding. (also see Section 4-Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth.

4. Mulching

Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- A. Straw or Hay. Unrotted small grain straw, hay free of seeds, to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.
Application - Spread mulch uniformly by hand or mechanically so that at least 85% of the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section.
Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.
1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
2. Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
3. Crimper (mulch anchoring coulter tool) - A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
4. Liquid Mulch-Binders - May be used to anchor salt hay, hay or straw mulch.
- a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.
- b. Use one of the following:
(1) Organic and Vegetable Based Binders - Naturally occurring, powder-based,

hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turf grass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

- (2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and, following application of mulch, drying and curing, shall no longer be soluble or dispersible in water. Binder shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.

- B. Wood-fiber or paper-fiber mulch - shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. Mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.
- C. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weedseed free mulch is desired, or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.
5. Irrigation (where feasible)
If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch applied up to twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.
6. Topdressing
Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.
7. Establishing Permanent Vegetative Stabilization
The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates in Table 4-3 are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

SEEDING SPECIFICATIONS

TEMPORARY STABILIZATION SPECIFICATIONS

1. Apply ground limestone at a rate of 90 lbs/1000 SF.
2. Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 SF, and work into the soil 4" deep.
3. Apply seed mixture: Perennial ryegrass at 100 lbs/acre and annual ryegrass at 100 lbs/acre or approved equal.
4. Mulch with unrotted, seed free salt hay or small grain straw immediately after seeding. Apply at a rate of 70 to 90 lbs/1000 SF.
5. Plant seed between March 1 & May 15 or between August 15 & October 1, if possible.

PERMANENT STABILIZATION SPECIFICATIONS

1. Apply topsoil to a depth of 5" (unsettled) on all graded areas.
2. Apply ground limestone at a rate of 90 lbs/1000 SF.
3. Apply fertilizer (10-10-10) at a rate of 11 lbs/1000 SF.
4. Apply seed mixture: Hard fescue 130 lbs/acre, Chewings Fescue at 45 lbs/acre, Strong Creeping Red Fescue at 45 lbs/acre, and Perennial Ryegrass at 10 lbs/acre.
6. Mulch with unrotted seed free salt hay or small grain straw immediately after seeding. Apply at a rate of 70 to 90 lbs/1000 SF, according to NJ Standards.
7. Anchor mulch with organic, vegetable-based or synthetic binders. Other approved methods (i.e. peg and twine, or mulch netting) may be used. If possible, plant between March 1 & May 15 or between August 15 & October 1, if possible.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Methods and Materials

1. Site Preparation

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg. 19-1.
- B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
- C. Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
2. Seedbed Preparation
- A. Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone at the rate of 2 tons/acre unless soil testing indicates otherwise. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
- B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- C. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retitled in accordance with the above.
- D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

3. Seeding

- A. SEE SEEDING SPECIFICATIONS ON THIS SHEET.
- B. Conventional Seeding. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- C. Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.
- D. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

4. Mulching

- Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.
- A. Straw or Hay. Unrotted small grain straw, hay free of seeds, applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application. Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.
1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
2. Mulch Nettings. Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
3. Crimper (mulch anchoring tool). A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
4. Liquid Mulch-Binders. - May be used to anchor hay or straw mulch.
- a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.
- b. Use one of the following:

(1) Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

(2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names give above are registered trade names. This does not constitute a commendation of these products to the exclusion of other products.

- B. Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 ponds per acre (or as recommended by the project manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.
- C. Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applies in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs./1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has bee found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

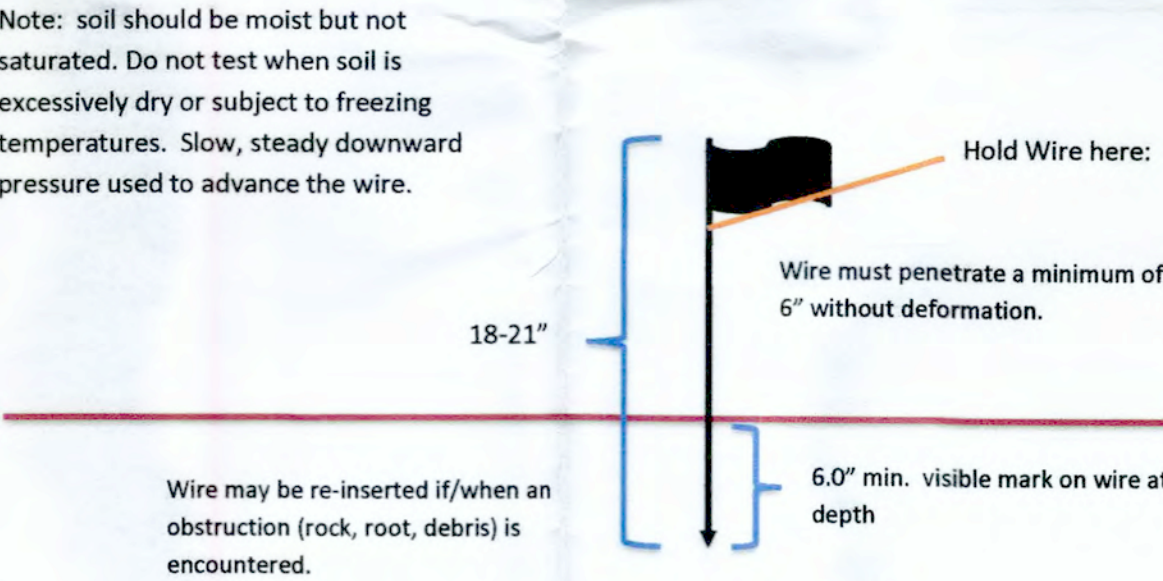
Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

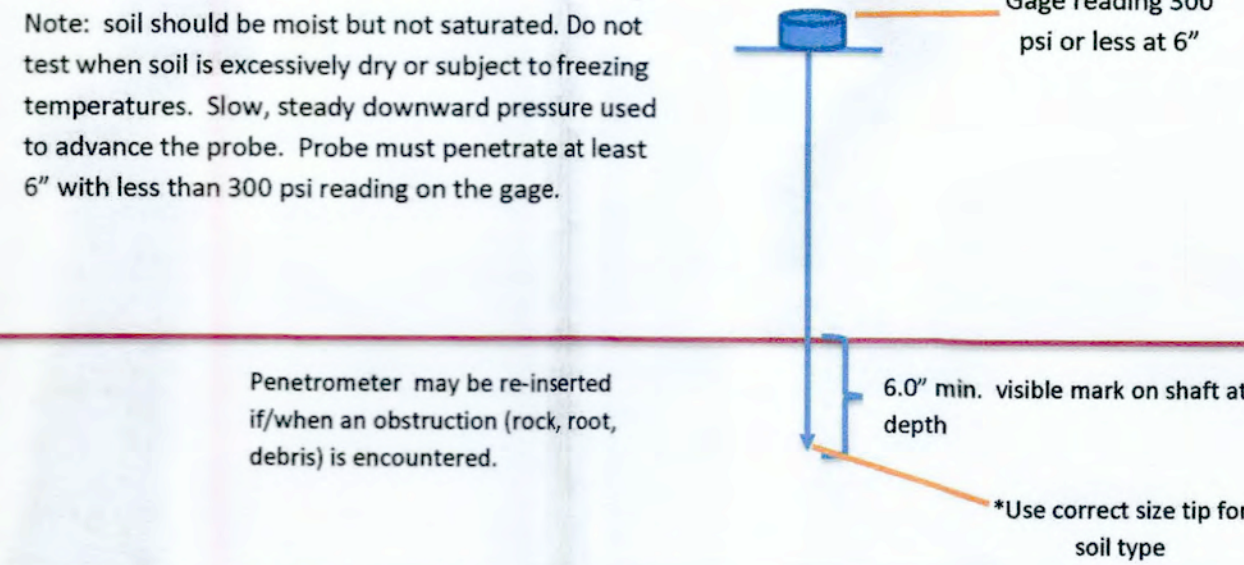
Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Simplified Testing Methods

Probing Wire Test- 15.5 ga steel wire (survey flag)



Handheld Soil Penetrometer Test



STABILIZATION AND COMPACTION MITIGATION NOTES AND DETAILS

LOT 21 in BLOCK 5001

#30 Cameron Court, Bernards Township

Somerset County

New Jersey

DAVID E. FANTINA, P. E.

Professional Engineer

15 Sunset Drive, Bernardsville, NJ 07924

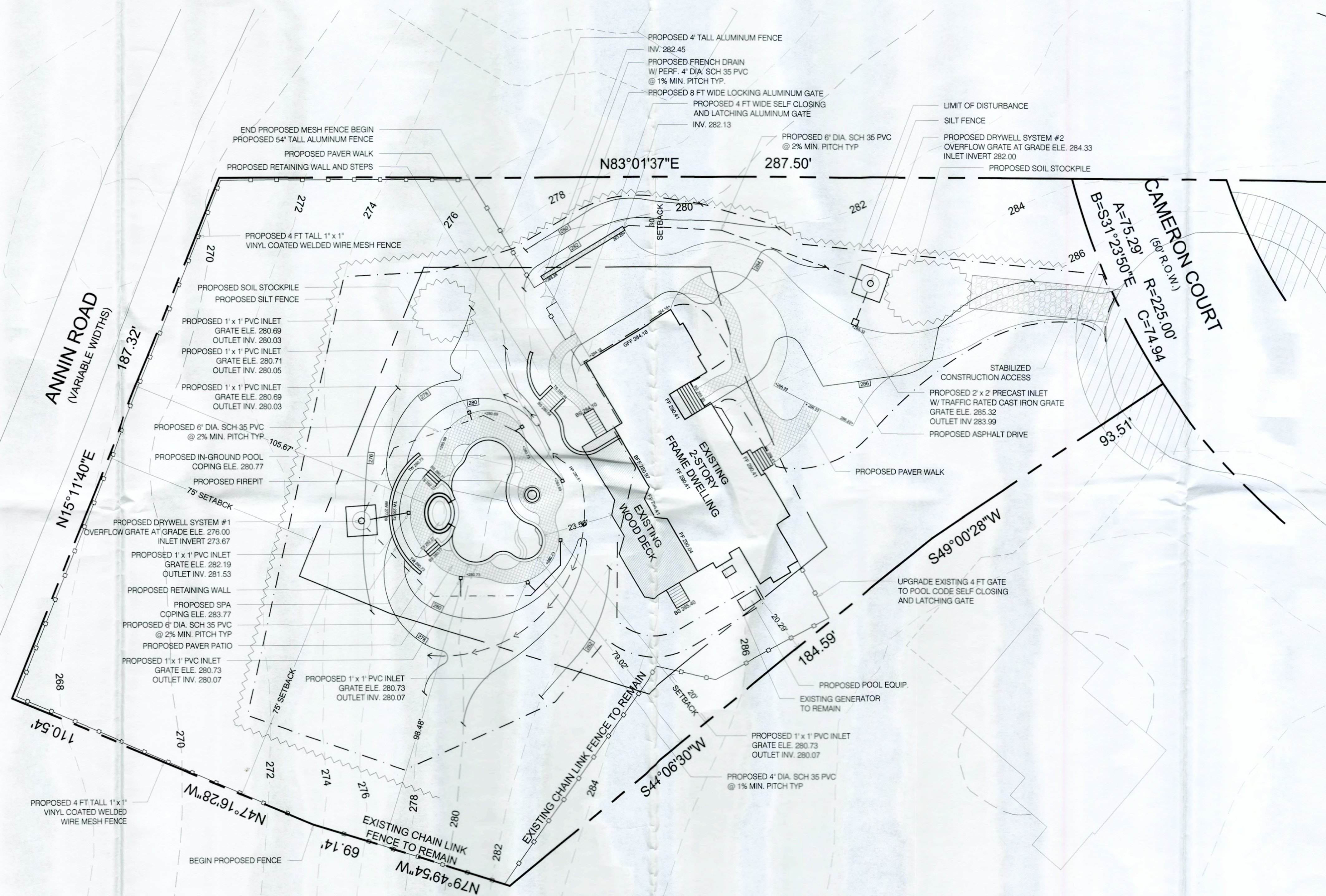
Scale
AS NOTED

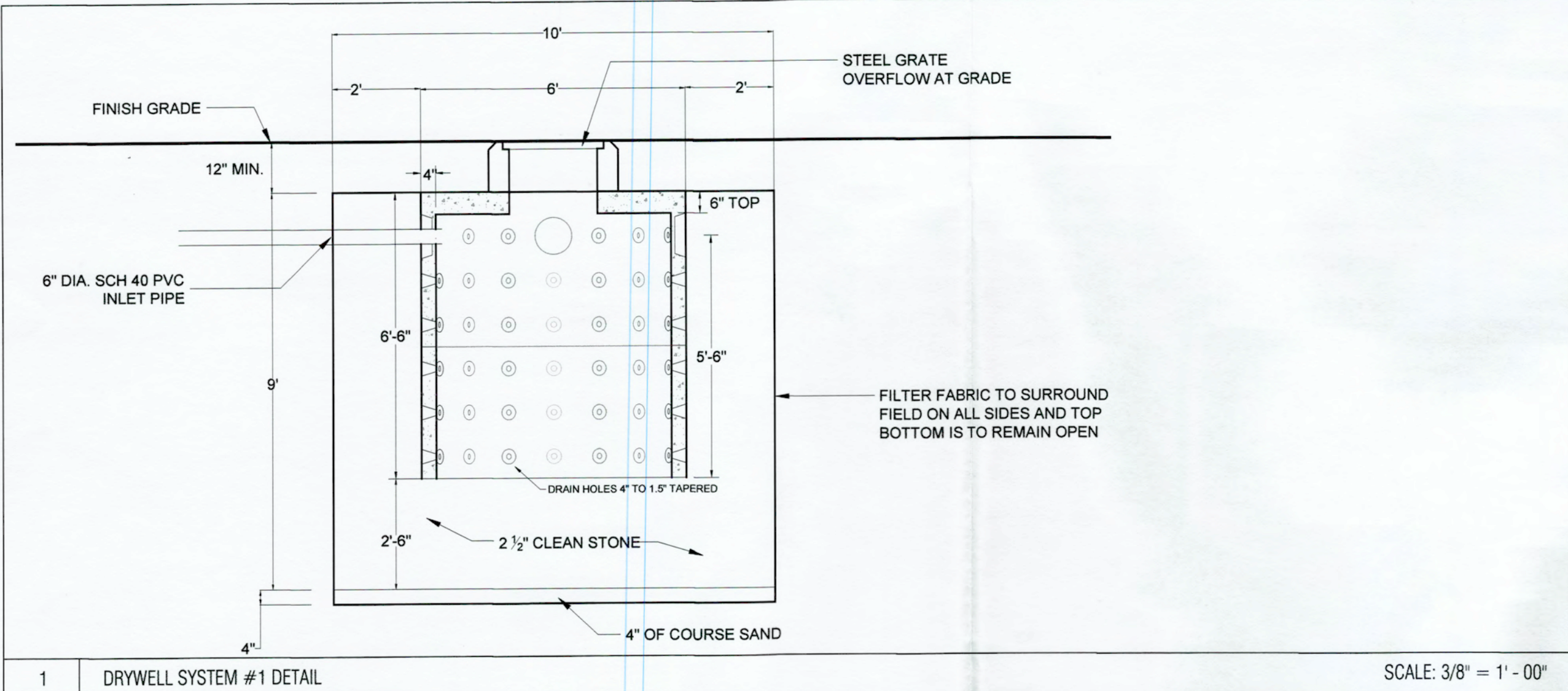
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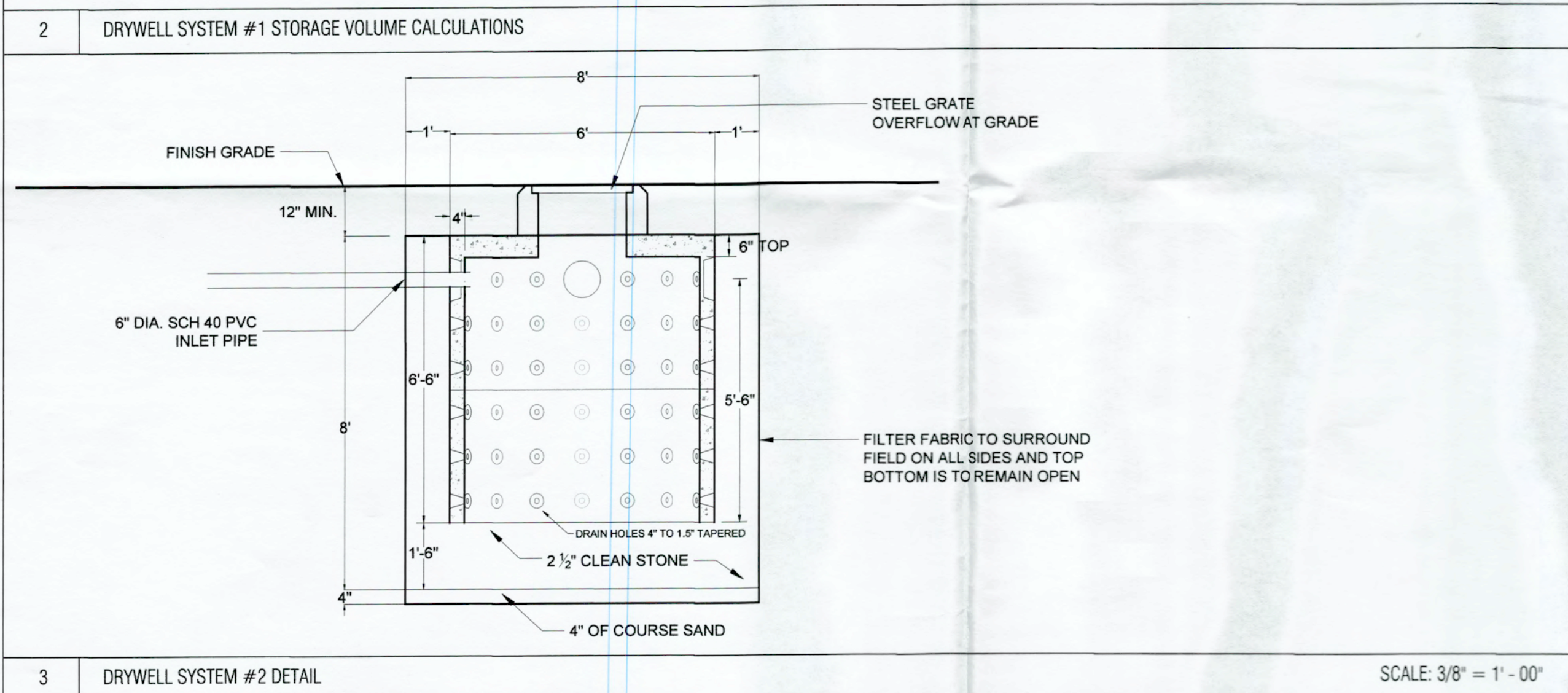
1 DRYWELL SYSTEM #1 DETAIL SCALE: 3/8" = 1' - 00"

DRYWELL SYSTEM 1: STORAGE VOLUME CALCULATIONS
DRYWELL SYSTEM IS DESIGNED TO PROVIDE STORAGE FOR A 3" STORM OVER THE 1,831 SF. NET INCREASE OF IMPERVIOUS COVERAGE IN THE REAR YARD LESS THE 871 SF. WATER SURFACE OF THE POOL AND SPA WHICH IS STORMWATER NEUTRAL.

TOTAL REQUIRED STORAGE = 240 FT³

DRYWELL SYSTEM TO BE COMPOSED OF A 8' WIDE x 8' LONG x 8' DEEP CLEAN STONE BED WITH 1 - 6'-0" DIAMETER x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONCRETE SEEPAGE TANK.

DISPLACEMENT VOLUME OF SEEPAGE TANKS:
 $3.14 \times R^2 \times H = 3.14 \times (3')^2 \times 6' = 169.56 \text{ FT}^3$
STORAGE VOLUME OF SEEPAGE TANKS:
 $3.14 \times R^2 \times H = 3.14 \times (2.67')^2 \times 5.5' = 123.12 \text{ FT}^3$
VOLUME OF STONE BED:
 $L \times W \times H = 8' \times 8' \times 8' = 512 \text{ FT}^3$
STORAGE VOLUME OF STONE BED:
(VOL. OF BED - DISP. VOL. OF TANKS) x 40% VOID RATIO
(512 FT³ - 169.56 FT³) x .40 = 136.97 FT³
STORAGE VOLUME OF DRYWELL:
STORAGE VOL. OF STONE BED + STORAGE VOL. OF TANKS
136.97 FT³ + 123.12 FT³ = 260.09 FT³
TOTAL STORAGE VOLUME REQUIRED = 240 FT³
TOTAL STORAGE VOLUME PROVIDED = 260.09 FT³
SURPLUS VOLUME 20.09 FT³



2 DRYWELL SYSTEM #1 STORAGE VOLUME CALCULATIONS SCALE: 3/8" = 1' - 00"

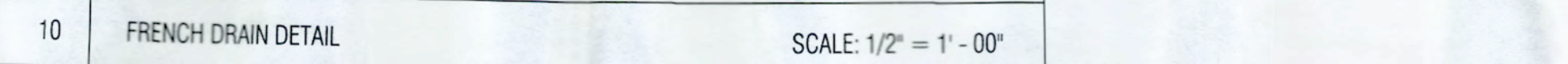
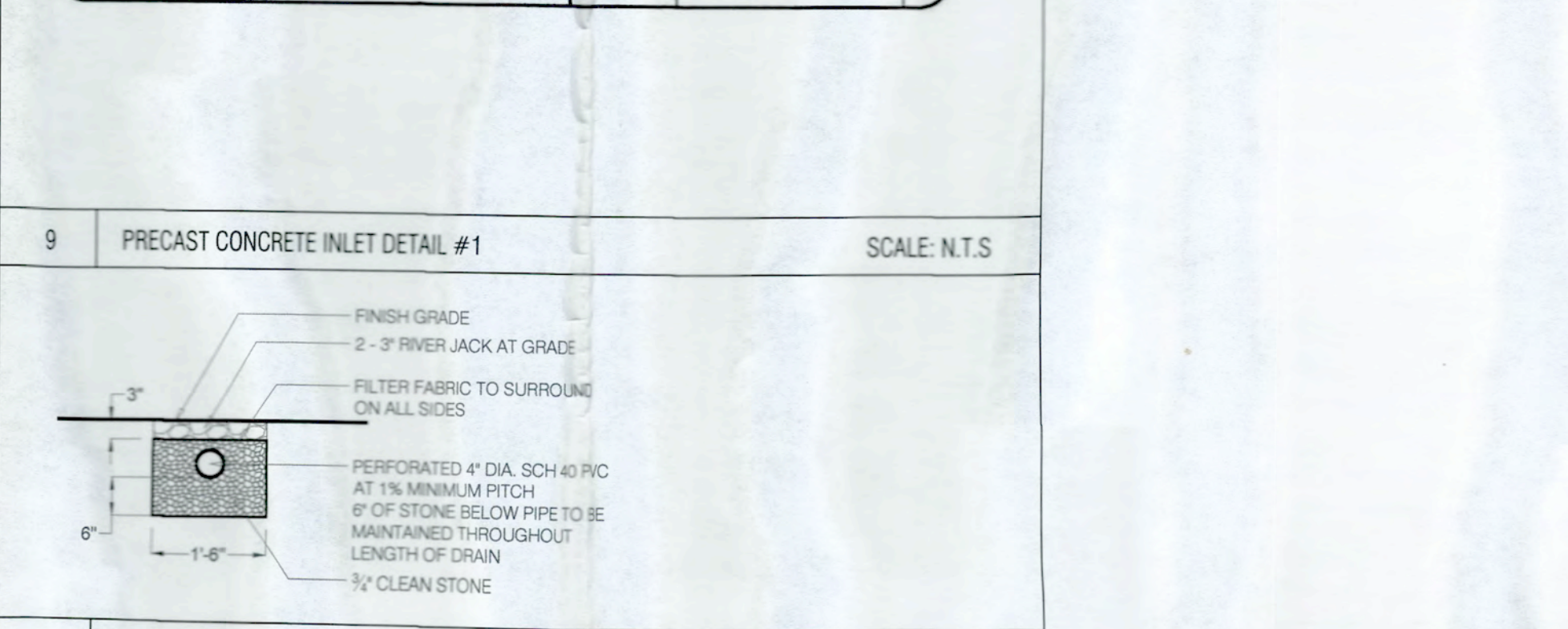
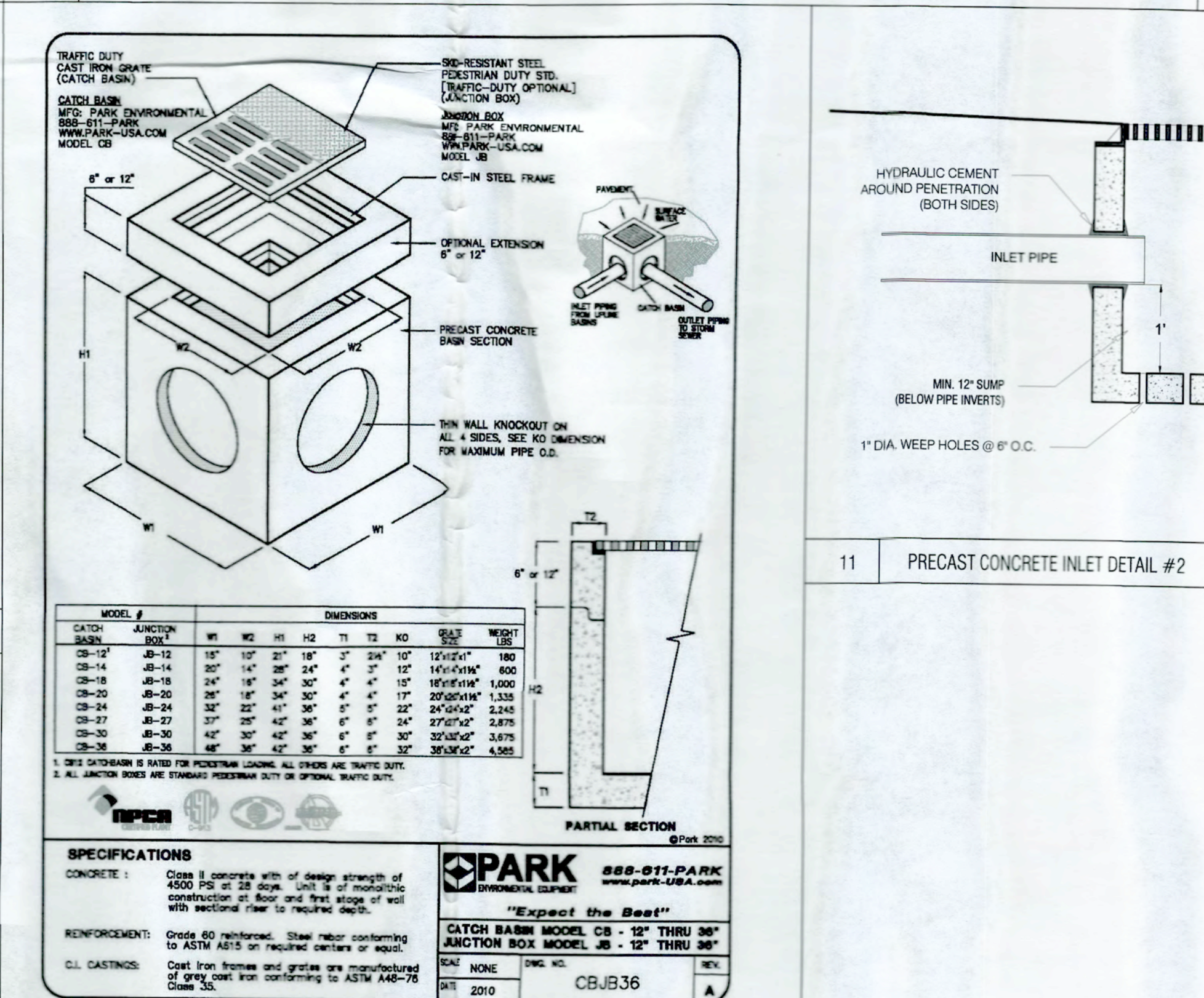
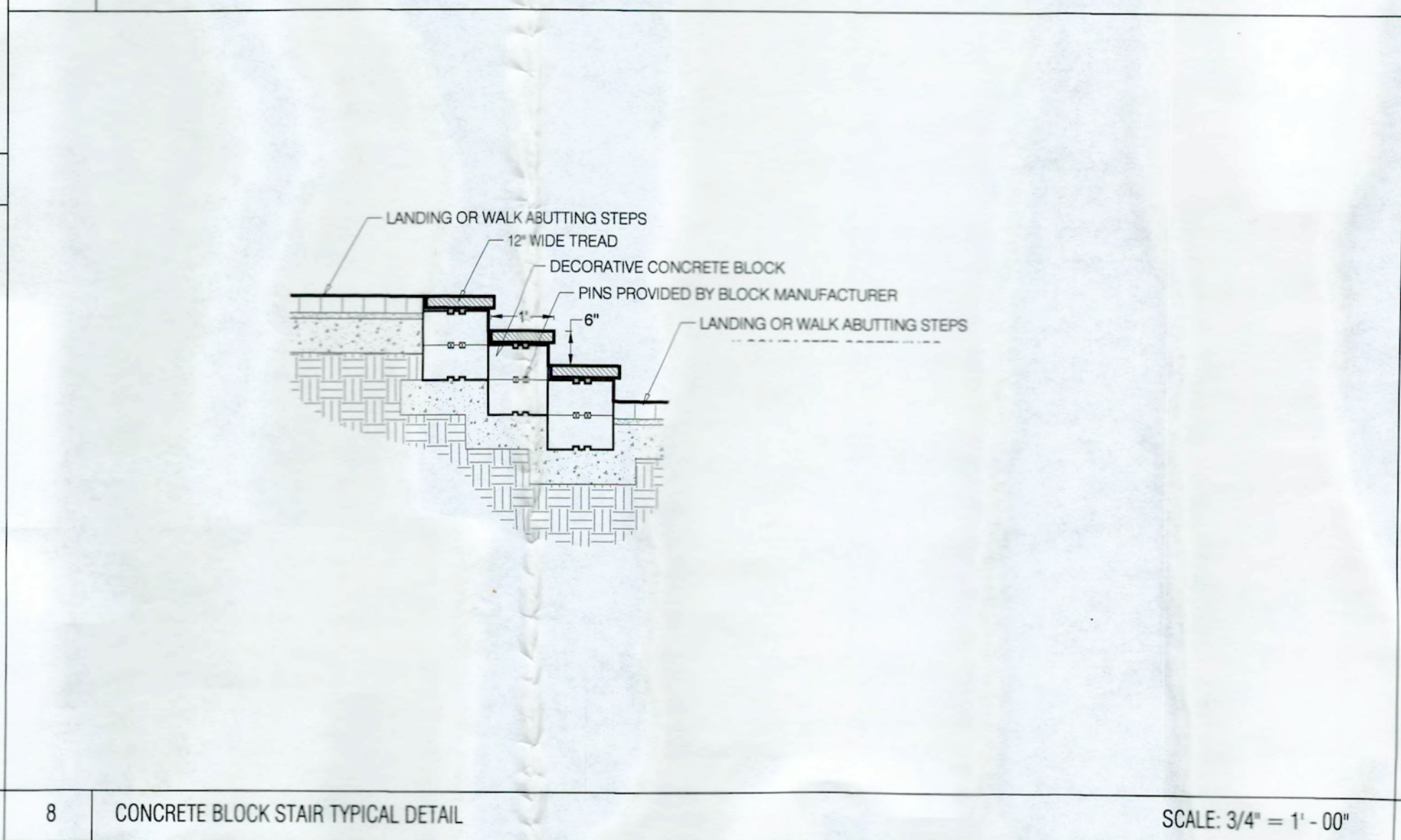
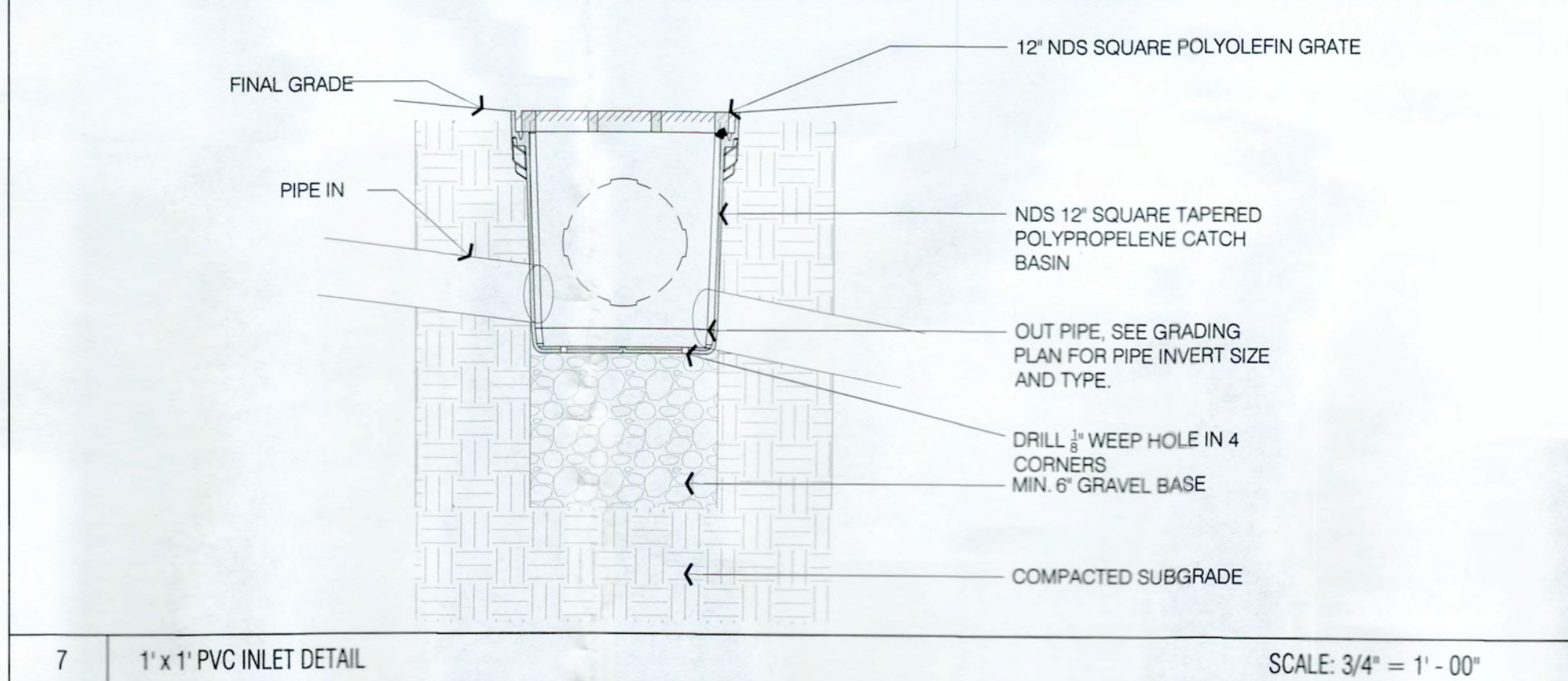
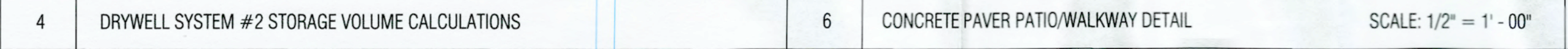
DRYWELL SYSTEM 2: STORAGE VOLUME CALCULATIONS
DRYWELL SYSTEM IS DESIGNED TO PROVIDE STORAGE FOR A 3" STORM OVER THE 625 SF. NET INCREASE OF IMPERVIOUS COVERAGE IN THE FRONT YARD.

PLEASE NOTE: THE DRAINAGE SYSTEM FOR THE DRIVEWAY HAS BEEN DESIGNED TO COLLECT RUNOFF FROM THE ENTRY COURT AND GARAGE PARKING AREAS. THIS AREA EXCEEDS THE REQUIRED 625 SF NET IMPERVIOUS INCREASE. AS SUCH DRYWELL SYSTEM 1 HAS BEEN OVER DESIGNED TO ACCOMMODATE RUNOFF FROM THE TOTAL AREA COLLECTED.

TOTAL REQUIRED STORAGE = 156.25 FT³

DRYWELL SYSTEM TO BE COMPOSED OF A 10' WIDE x 10' LONG x 9' DEEP CLEAN STONE BED WITH 1 - 6'-0" DIAMETER x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONCRETE SEEPAGE TANK.

DISPLACEMENT VOLUME OF SEEPAGE TANKS:
 $3.14 \times R^2 \times H = 3.14 \times (3')^2 \times 6' = 169.56 \text{ FT}^3$
STORAGE VOLUME OF SEEPAGE TANKS:
 $3.14 \times R^2 \times H = 3.14 \times (2.67')^2 \times 5.5' = 123.12 \text{ FT}^3$
VOLUME OF STONE BED:
 $L \times W \times H = 10' \times 10' \times 9' = 900 \text{ FT}^3$
STORAGE VOLUME OF STONE BED:
(VOL. OF BED - DISP. VOL. OF TANKS) x 40% VOID RATIO
(900 FT³ - 169.56 FT³) x .40 = 292.17 FT³
STORAGE VOLUME OF DRYWELL:
STORAGE VOL. OF STONE BED + STORAGE VOL. OF TANKS
292.17 FT³ + 123.12 FT³ = 415.29 FT³
TOTAL STORAGE VOLUME REQUIRED = 156.25 FT³
TOTAL STORAGE VOLUME PROVIDED = 415.29 FT³
SURPLUS VOLUME 259.04 FT³



Dust Control Notes

The following methods should be considered for controlling dust:

Mulches - See Standard for Stabilization with Mulches Only (pg. 5-1)

Vegetative Cover - See Standard for Temporary Vegetative Cover (pg. 7-1), Permanent Vegetative Cover for Soil Stabilization (pg. 4-1), and Permanent Stabilization with Sod (pg. 6-1)

Spray-On Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
Anionic asphalt emulsion	7:1	Coarse Spray	1200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300
Polyacrylamide (PAM) - spray on Polyacrylamide (PAM) - dry spray	Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard (pg. 26-1)		
Acidulated Soy Bean Soap Stick	None	Coarse Spray	1200

Tillage - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling - Site is sprinkled until the surface is wet.

Barriers - Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

Calcium Chloride - Shall be in the form of loose, dry granulates of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams, or accumulation around plants.

Stone - Cover surface with crushed stone or coarse gravel.

Standards for SE&SC in NJ 16-1.2 July 1999

PROJECT DETAILS

LOT 37 in BLOCK 9501
#22 High Meadow Lane, Bernards Township
Somerset County New Jersey

DAVID E. FANTINA, P. E.
Professional Engineer
15 Sunset Drive, Bernardsville, NJ 07924

Scale AS NOTED Date 12/28/20 file ROSENBLATT.dwg Sheet D1.0

1-18-21 PER COMMENTS OFFERED BY LETTER DATED 1-15-21 DF
Date Item(s) By

Revisions